



**Central Pine Barrens Commission Meeting Agenda**  
**Wednesday, December 18, 2024 at 2:00 pm**  
**Riverhead Town Hall**  
**4 West Second Street**  
**Riverhead, NY 11901**

1. **Administrative and Public Comment**
  - a. Public Comment
  - b. Minutes for 11/20/24 review (*approve*)
2. **Education and Science and Stewardship**
  - a. Education and Outreach Division: update (*Mr. Motz*)
  - b. Science and Stewardship Division: update (*Mr. Smith*)
  - c. NYWIMA: update (*Ms. Drew*)
3. **Planning, Land Use and the Pine Barrens Credit Program**
  - a. Compliance and Enforcement Division: update (*Ms. Lawston*)
  - b. Land Use Division: update (*Ms. Hargrave*)
  - c. Credit Program: update (*Mr. Tverdy*)

**Core Preservation Area**

- d. Jackowski / 79 East Bartlett Road, Middle Island / 200-480-3-7 / proposal to remove five trees including one dead tree on a 4.5 acre property with a single-family residence in the A Residence 2 Zoning District / *draft response* (*Mr. Tverdy*)
- e. PSEG-LI Dead Tree Removal / Old Country Road, Eastport / proposal to cut 27 dead trees posing a hazard to power lines / *draft response* (*Ms. Hargrave*)
- f. Request for Determination of Jurisdiction: Miloski / River Road, Calverton / 600-118-4-3.1 / proposal to construct a 1,600 square foot agricultural storage barn on a 4.18 acre property with horses and a stable in the Riverfront Corridor Zoning District / *draft response* (*Ms. Hargrave*)

**Compatible Growth Area**

- g. 1456 Speonk Riverhead Road Site Plan / east side of Speonk Riverhead Road, Speonk / 900-327-1-2 / development of two warehouses on a 2.8 acre property with a single-family residence in the Light Industrial 40 Zoning District / *draft response* (*Ms. Murphy*)
- h. Request for Determination of Jurisdiction: Governale / 2542 River Road, Calverton / 600-137-1-24 / proposal to construct a 1,816 square foot barn on a 3.05 acre property with a single-family residence in the RB-40 Zoning District / *draft response* (*Ms. Murphy*)
- i. Request for Determination of Jurisdiction: Steiger / 135 Hidden Acres Path, Wading River / 600-96-1-14.25 / in-ground pool installation on a 0.43 acre property with a single-family residence in the Residence B-80 Zoning District / *draft response* (*Ms. Hargrave*)
- j. Brookhaven Town Referral: Suffolk Muslim Cemetery / Montauk Highway, Eastport / 200-684-5-3, 200-685-1-1.1, 200-722-1-1 / revised site plan to demolish the existing Spadaro Airport structures and develop a cemetery on 27 acres in the A1 Residence (86%) and J2 Business (14%) zoning districts; 14 acres in the CGA in A1, 13 acres not within the Central Pine Barrens / *draft response* (*Ms. Hargrave*)
- k. Brookhaven Sewage Treatment Plant Expansion Application / 200-554-3-4.39, 4.40 and 4.53 / expansion of an existing community scale STP on 5.4 acres in the Light Industrial Zoning District / decision deadline 3/3/25 / *draft response, schedule public hearing* (*Ms. Hargrave*)

4. **Public Comment**
5. **Closed Advisory Session** (if necessary)

Next Commission Meeting, Wednesday, January 15, 2025 at 2:00 pm, Riverhead Town Hall  
For meeting information visit <https://pb.state.ny.us/>

Timothy C. Hubbard  
*Member*

Maria Z. Moore  
*Member*

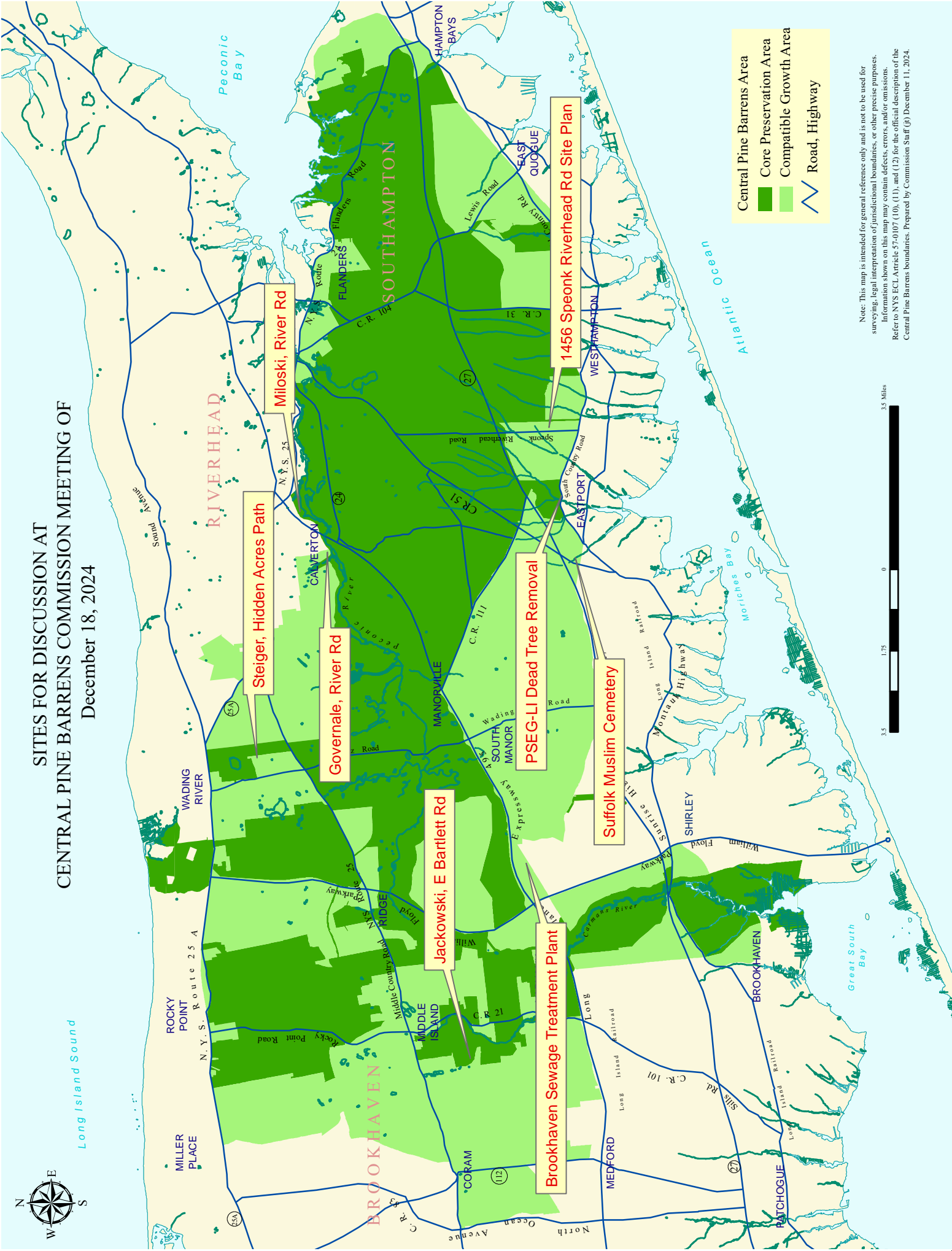
Daniel J. Panico  
*Member*

Edward P. Romaine  
*Member*

624 Old Riverhead Road  
Westhampton Beach, NY  
11978

Phone (631) 288-1079  
Fax (631) 288-1367  
[www.pb.state.ny.us](http://www.pb.state.ny.us)

SITES FOR DISCUSSION AT  
 CENTRAL PINE BARRENS COMMISSION MEETING OF  
 December 18, 2024



- Central Pine Barrens Area
- Core Preservation Area
- Compatible Growth Area
- Road, Highway

Note: This map is intended for general reference only and is not to be used for surveying, legal interpretation of jurisdictional boundaries, or other precise purposes. Information shown on this map may contain defects, errors, and/or omissions. Refer to NYS ECL Article 57-0107 (10), (11), and (12) for the official description of the Central Pine Barrens boundaries. Prepared by Commission Staff (j) December 11, 2024.





**Central Pine Barrens Commission Meeting Summary  
Wednesday, November 20, 2024 (draft)  
Southampton Town Hall  
116 Hampton Road  
Southampton, NY**

**2:00 pm**

**Commission members present:** Ms. DiBrita (for Brookhaven), Ms. Lansdale (for Suffolk County), Mr. Charters (for Riverhead), Ms. Moore and Ms. Scherer (for Southampton).

**Others present:** Commission and other agency staff members included Ms. Jakobsen, Mr. Milazzo, Ms. Hargrave, Ms. Murphy, Ms. Lawston and Ms. Brown-Walton.

The meeting started with the pledge to the flag lead by Ms. Moore and Ms. Jakobsen noted with four Commission members present, there is a quorum.

Timothy C. Hubbard  
Member

Maria Z. Moore  
Member

Daniel J. Panico  
Member

Edward P. Romaine  
Member

**1. Administrative and Public Comment**

a. *Public Comment*

Summary: No public comments were received

b. *Minutes for 10/16/24 review*

Summary: **The motion was made by Ms. Moore and seconded by Mr. Charters to adopt the October 16, 2024 meeting minutes. The motion was approved by 4:0 vote.**

c. *2025 Draft Commission Meeting Schedule*

Summary: **The motion was made by Ms. Lansdale and seconded by Ms. Moore to adopt the 2025 Commission Meeting schedule. The motion was approved by 4:0 vote**

d. *Law Enforcement Council Amended Bylaws*

Summary: Ms. Jakobsen discussed the Law Enforcement Council has amended their bylaws and is requesting approval of the amended bylaws by the Commission. Since the Law Enforcement Council is a council of the Commission, the changes are required to be approved by the Commission. The changes have been highlighted and are on pages 4-7 of the Amended Bylaws document.

**The motion was made by Ms. DiBrita and seconded by Ms. Lansdale to approve the Law Enforcement Council Amended Bylaws. The motion was approved by 4:0 vote**

e. *Invoice payment for Bond Schoeneck & King PLLC*

Summary: **The motion was made by Mr. Charters and seconded by Ms. Moore to approve payment for invoice from Bond Schoeneck & King PLLC. The motion was approved by 4:0 vote**

**2. Planning, Land Use and the Pine Barrens Credit Program**

*Compatible Growth Area, Core Preservation Area and Critical Resource Area*

a. **Lewis Road Planned Residential Development** Assertion of Jurisdiction Application / East Quogue / development of a seasonal resort community with 130 residences including 12 workforce housing units, an 18 hole golf course, sewage treatment plant and other amenities on a 608 acre project site / proposal to remove Southern Pine Beetle infested trees in 12 acres to minimize potential wildfire risk

Summary: Ms. Hargrave discussed the Commission received a request from the Discovery Land Ventures to remove dead trees from portions of the Lewis Road Development Project

624 Old Riverhead Road  
Westhampton Beach, NY  
11978

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site. The applicant has identified that the trees marked for removal are dead due to infestation by Southern Pine Beetles, pose a significant threat to public safety and to reduce risk of wildfire. The 12 acres identified are in the open space area which is subject to a Conservation Management Plan approved by the Commission. The East Quogue Fire Department and New York State Department Environmental Conservation agreed with the recommendation to remove the SPB infested trees because it poses a significant public safety threat and fire risk. Also included is a resolution from The Southampton Town Supervisor declaring a state of emergency on November 8, 2024 through to November 10, 2024 due to red flag warning for areas in Long Island. Ms. Moore clarified that the declaration was extended to November 30. The areas of dead trees to be removed will be inspected by the town.

Mr. Reiner, Mr. Schmidt and Ms. Insalaco from Lewis Road Discovery Land and Nelson, Pope and Voorhis provided details of the proposed plans. The Commissioners and Designated Representatives asked thorough questions about the proposed plans which were satisfactorily answered.

**The motion was made by Ms. Moore and seconded by Ms. DiBrita to approve sending the response contingent upon the changes discussed, staff to recirculate the response confirming everything was captured regarding Lewis Road Planned Residential Development proposal to remove Southern Pine Beetle infested trees in 12 acres to minimize potential wildfire risk. The motion was approved by 4:0 vote.**

#### **Compatible Growth Area**

- b. **Expressway Drive North Solar** / west of Sills Road, Yaphank / 200-662-2-5.16 / construct solar panels on the roofs of three industrial buildings and ground mounted equipment on 71 acres in the Light Industrial zoning district / draft response (Ms. Murphy)

**Summary: The motion was made by Mr. Charters and seconded by Ms. DiBrita to approve sending a draft response regarding Expressway Drive North Solar. The motion was approved by 4:0 vote**

- c. **Southampton Town Referral:** Busil Properties 4, LLC / 1368 Speonk Riverhead Road, Speonk / 900-327-1-1.1 / site plan to develop a 5,000 square foot building on 4.88 acres developed with a two-story, 36,459.5 square foot building with a special trade contractor use and parking in the Light Industrial 40 zoning district

**Summary: A discussion occurred about the referral, clearing, credits and revegetation. It was agreed that minor edits were necessary and the letter would be circulated for review again before it is sent.**

**The motion was made by Ms. Moore and seconded by Mr. Charters to approve sending the response to the Town of Southampton contingent upon the changes discussed, staff to recirculate the response confirming everything was captured. The motion was approved by 4:0 vote**

#### **4. Public Comment**

**Summary: No public comments were received**

The meeting was adjourned by Ms. DiBrita and seconded by Ms. Lansdale at approximately 3:15 pm. The motion was approved by a 4:0 vote.



Attachments (in order of discussion)

1. Draft Commission meeting summary for October 16, 2024
2. Final Commission meeting summary for October 16, 2024
3. Draft 2025 Commission Meeting Schedule
4. Final 2025 Commission Meeting Schedule
5. Law Enforcement Council Bylaws dated November 7, 2024
6. Bond, Schoeneck & King, PLLC Invoice dated November 4, 2024
7. Draft response regarding Lewis Road Planned Residential Development proposal to remove Southern Pine Beetle infested trees dated November 20, 2024; Memo, maps and attachments from Nelson Pope Voorhis proposal request for authorization to remove Southern Pine Beetle damaged trees and branches dated November 6, 2024
8. Final response regarding Lewis Road Planned Residential Development proposal to remove Southern Pine Beetle infested trees dated November 20, 2024
9. Draft response and attachments regarding Expressway Drive North Warehouse Building f/k/a Brookhaven Logistics dated November 20, 2024; Letter and maps from Certilman Balin regarding proposed Yaphank Solar Energy Production Facility dated November 6, 2024
10. Final response regarding Expressway Drive North Warehouse Building f/k/a Brookhaven Logistics dated November 20, 2024
11. Draft response regarding referral of the site plan for Busil Properties 4 LLC dated November 20, 2024; Letter to Town of Southampton Planning Board and maps regarding comment period extension request for Busil Properties 4 LLC dated November 8, 2024
12. Final response regarding referral of the site plan for Busil Properties 4 LLC dated November 20, 2024

# **Educational Outreach and Communications Division Update**

**December 2024**

**Submitted by Tim Motz, Educational Outreach and Communications Coordinator**

## **Annual Report**

- **Work is underway on the Commission’s Annual Report, which we redesigned three years ago to make it more dynamic and accessible for readers. This year’s report will again feature the highlights of the year of our various divisions, information about the Central Pine Barrens and the Commission’s mission and function, a letter from Executive Director Jakobsen touting the highlights of the year and the most interesting news coming out of the commission as a whole in 2024. This year, we’re also adding photos from a Commission meeting and news about Commission actions. The report is expected to be ready for distribution by mid-February.**

## **NYWIMA Promotional Video**

- **We’re also working on a brief and dynamic video promoting the Commission’s New York Wildfire and Incident Management Academy. We took footage and conducted interviews at the fall academy and wrapped up shooting at this week’s winter classes at the Suffolk County Fire Academy. Our goal is to produce a video of at most two minutes that conveys, via rapid-fire imagery, why the academy is the best place for firefighters or emergency workers looking to advance in their fields or for those new to these fields to launch their careers.**

## **Social Media**

- **The initiative to provide a more comprehensive and systematic social media program for the Commission is now underway. The project includes creating a more efficient system of password/username access; establishing division-by-division protocols for social media content creation; creating a multi-month schedule of posts to ensure we have a constant presence on social media that covers all aspects of our work; and evaluating ways to boost our social media numbers. I will be updating the Commission periodically on the initiative’s progress.**

## **“A Day in the Life” Program**

- **We have concluded another successful year for the “A Day in the Life” of a local river program, adding a junior workbook for elementary schoolchildren, revamping our data collection to make it more efficient and adding new schools to the program at multiple locations. We will be holding a meeting with our partners in the program this week to assess this year’s program and make any needed adjustments for 2025.**



## SCIENCE AND STEWARDSHIP PROGRAM DIVISION REPORT

December 18, 2024

### **Onboarding and Orientation**

October 22, 2024, was my first day with the Central Pine Barrens Commission (CPBC). Day one was spent in Oakdale with SCWA HR and the onboarding staff for orientation.

October 23, 2024, was my first day at the CPBC. I got the chance to meet most of the CPBC staff, took the grand tour of the CPBC office and the Westhampton Beach facilities, and settled into my new workspace. On the 24<sup>th</sup>, I met with both Judy Jakobsen and Julie Hargrave for my orientation to the CPBC and the Science and Stewardship Program.

### **Literature Review and Training**

Since my orientation I have focused on learning essential background information in a few key knowledge areas and began two different job training programs.

My review of the relevant literature is an ongoing process that is centered on pre-existing conservation and management action plans that have been drafted since the formation of the CPBC. This includes the following:

- Long Island Pine Barrens Maritime Reserve Act (Article 57)
- Central Pine Barrens Comprehensive Land Use Plan
- Central Pine Barrens Comprehensive Prescribed Fire Management Plan
- Natural Resource Management Plan for Brookhaven National Laboratory

Additional management plans have already been identified. For example, location specific plans for the Carmans (Carmans River Partnership) and Peconic (Peconic Estuary Partnership) Rivers as well as the Dwarf Pine Plains (The Nature Conservancy) and overarching plans such as Southern Pine Beetle Management Plan (NYSDEC).

This effort will help me better understand the ways in which the future CPB conservation plan can benefit the whole ecosystem and the services it provides, improve coordination with our partners in conservation, and provide a holistic blueprint for assessing and monitoring the health of the CPB and the species within.

I have also begun two training programs. The first program is through the New York Wildfire and Incident Management Academy (NYWIMA). I have completed the following training classes:

- S-110 (Basic Wildland Fire Orientation)
- S-190 (Intro to Wildland Fire Behavior)
- S-130 (Firefighter Training)
- S-180 (Human Factors in the Wildland Fire Service)
- Intro to Wildland Fuels
- IC-100 (Intro to the Incident Command System)



## SCIENCE AND STEWARDSHIP PROGRAM DIVISION REPORT

December 18, 2024

- IC-200 (Basic Incident Command for Initial Response)

I supplemented my online fire training by coordinating with Bob Panko for a specific orientation to the fire program at the CPBC. This took place from November 13-15<sup>th</sup>, 2024. This included a review of the CPBC fire program's capabilities such as a review of existing burn plans, available fire data, general logistics, and an inspection of the equipment that is available for use during the coming fire season. The orientation also discussed the history of fire in the Central Pine Barrens and included site visits to the Dwarf Pine Plains, David A. Sarnoff State Forest, and Rocky Point State Forest to examine the ground conditions of recently burned and mechanically treated areas.



*Figure 1: Sarnoff PBSF - Rx Fire on left side of trail and no treatment on right.*



*Figure 2: Engine 7 stored near Rocky Point.*

I also attended the in-person and field day classes of the New York Wildfire and Incident Management Academy on December 10-12, 2024, to complete my initial wildland fire training.

My second training program is for unmanned aircraft system (UAS) operation. In 2018, I was certified under the FAA's Part 107 remote pilot authorization process to operate UAS after completing extensive training through the NYSDEC, NYDHSES, and the NYS Police. Lt. Frank Carbone was my primary instructor at that time, and I was authorized to conduct UAS missions in DEC's Region 2 (NYC area) prior to the pandemic. During the pandemic the DEC's UAS program was restructured into OEM. As a result, I did not renew my Part 107 authorization.

Upon learning of the CPBC's UAS capability I began the steps to refresh my knowledge of UAS operation, the requirements for Part 107 renewal, and updating my information with the FAA to reestablish my FAA authorization to operate UAS so that I may conduct flight operations on behalf of the CPBC.



## SCIENCE AND STEWARDSHIP PROGRAM DIVISION REPORT

December 18, 2024

As part of that training, I reviewed all training presentations that were developed by NY's UAS instructors for the initial Part 107 knowledge exam for new remote pilots. This included three (3) presentations authored by Lt. Carbone, now retired from NYSDEC and the CPBC. Those presentations were Intro to UAS, Part 107 Small UAS Test Prep Day 1, and Day 2. Additionally, I used knowledge and test prep materials found online at Gleim Aviation as recommended by the NYS UAS Instructors to supplement my UAS operation training.

I took the FAA required renewal training course (ALC-677: Part 107 Small UAS Recurrent) just prior to completing the Part 107 Renewal Exam. As of December 6, 2024, I am authorized by the FAA to operate UAS on behalf of the CPBC.

I will begin flight training on the CPBC drones to familiarize myself with the equipment and capabilities of same to establish currency in the aircraft prior to conducting any CPBC missions. This training will take place in areas previously identified for UAS flight training. Alena Lawston and Edwin Ward both CPBC Enforcement Officers are currently enrolled in NY's initial UAS knowledge training program and are in the process of qualifying to take the Part 107 certification exam. Having three CPBC staff members certified as remote pilots will provide the foundation for a robust UAS program within the Commission.

### **2025 Seasonal Fire Crew Hiring Process**

In November, the hiring process for selecting the 2025 CPBC fire crew was initiated. Judy Jakobson, Julie Hargrave, and Bob Panko met with me to discuss the work responsibilities of the hires, some potential returning employees, the hiring timelines and other details associated with the CPBC hiring process.

During the December Wildland Fire Academy, I had the opportunity to meet with two former CPBC fire crew employees (Ron Bagan and Nate LeClair) who were assisting with the NYWIMA training and will be returning in 2025. It was a great opportunity to introduce myself to them, to see them in action, while getting a head start on developing our working relationship.

### **Other Activities**

On November 7, 2024, I attended the monthly meeting of the Law Enforcement Council as an opportunity to introduce myself to several members of the Council and get familiar with how their compliance and enforcement efforts assist the CPBC.

On December 5, 2024, I attended the Carmans River Partnership's annual meeting which was conducted via an online web conference. Prior to the event, I was contacted by the Partnership and asked to provide a 2024 update on the Southern Pine Beetle. I prepared a brief PowerPoint presentation that provided background information on Southern Pine Beetle, the stages of an infestation, the risk to the Pine Barrens, management techniques with special consideration to the Northern Long-eared Bat and the recent protective measures designed to limit any habitat loss while the species tries to recover from White Nose





## SCIENCE AND STEWARDSHIP PROGRAM DIVISION REPORT

December 18, 2024

Syndrome, with an emphasis on proactive methods such as forest thinning and prescribed fire to improve forest resilience to future Southern Pine Beetle infestations.

This meeting was also an opportunity to introduce myself to the participants, many of which are partners with the Commission, and will be integral to the development of a Central Pine Barrens conservation plan in the future.

## Compliance and Enforcement Division Report October - November 2024 Prepared by CAED Chief Enforcement Officer Alena Lawston



- We received forty-one complaints this period for dumping, encroachment and clearing. The dumping was consistent being primarily furniture, household trash and landscaping debris.
- Eight of these incidents were captured on surveillance cameras and referred to our law enforcement partner agencies. One subject is caught on surveillance dumping landscaping debris and charcoal on five separate dates. One case was resolved with a total of \$500 paid in fines and clean up by violator. Multiple cases are pending.
- Our division is beginning to utilize social media to highlight the importance of citizen stewardship to assist in protecting the Central Pine Barrens. We are providing the 1-877-BARRENS phone number which is staffed on a 24/7 basis by the Suffolk County Sheriff's Office.
- We continue to utilize the Flock surveillance camera and all integrated shared cameras with the outside partner agencies. This type of surveillance enables our division to provide multiple leads to law enforcement for dumping within the Pine Barrens.
- UAS (Unmanned Aircraft Systems) training continues. In October our division attended the two-day UAS Part 107 classroom training provided by the NY Wildfire Academy (NYWIMA) and NYS Division of Homeland Security and Emergency Services (DHSES). Enforcement officer Ward and I are both currently preparing to take our UAS Part 107 test. When time allows, we will begin training on the SYMA training drones in the indoor setting kindly provided to us by the Ridge Fire Department.

Timothy C. Hubbard  
*Member*

Maria Z. Moore  
*Member*

Daniel J. Panico  
*Member*

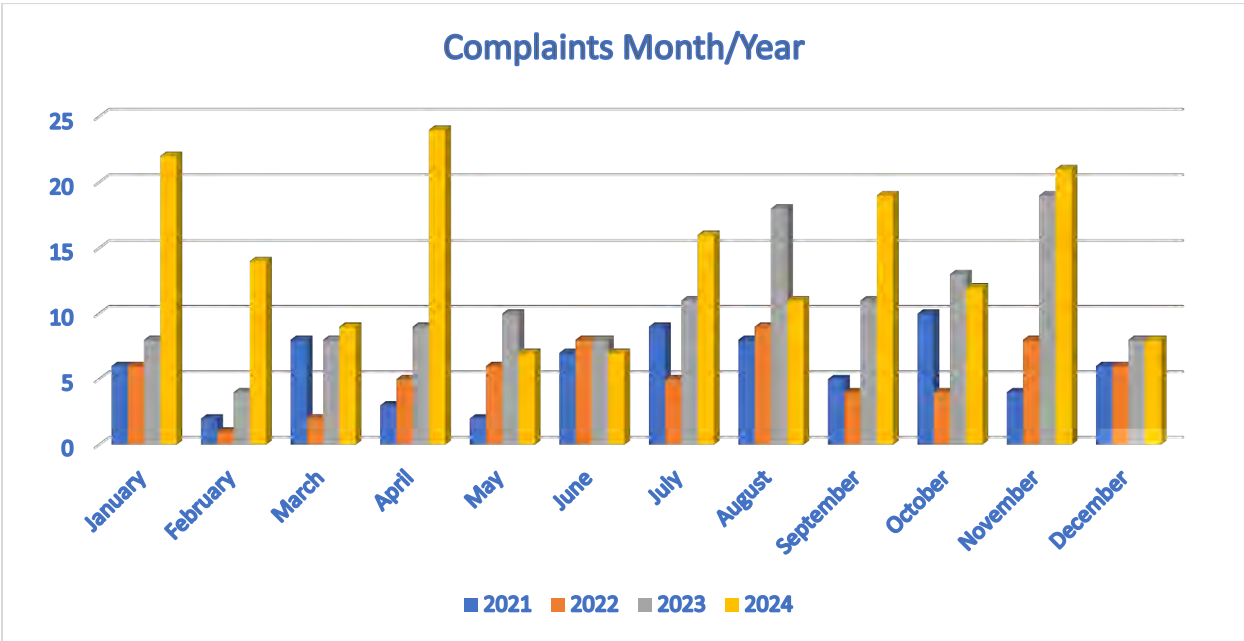
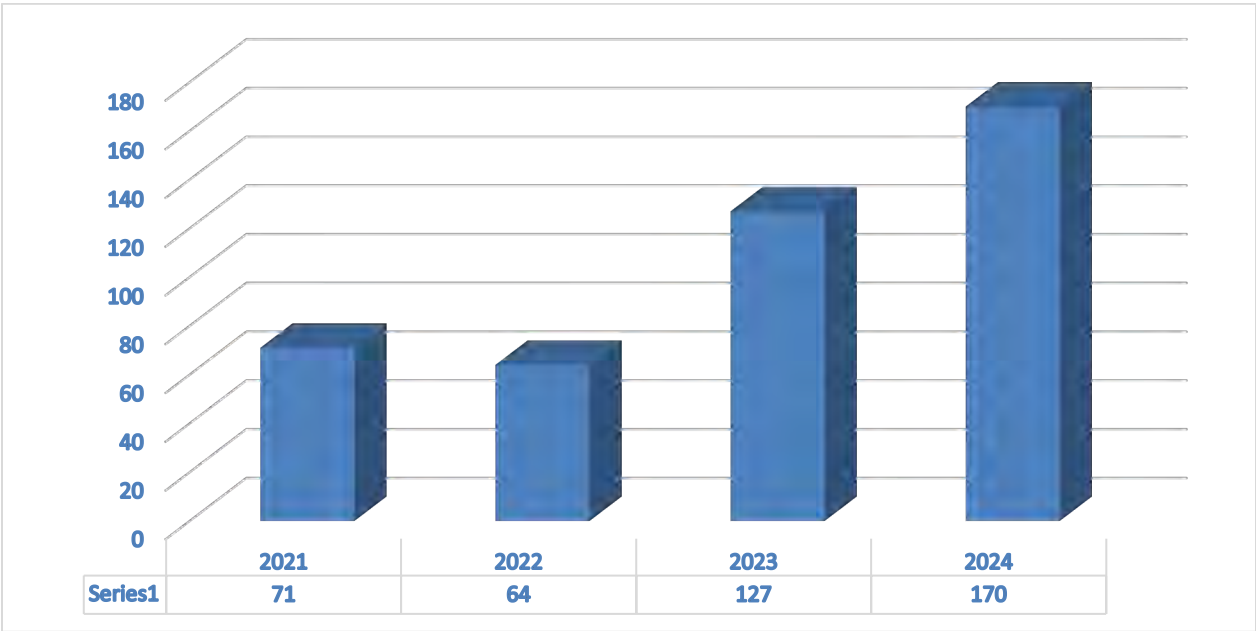
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<b>Incident Statistics - Reporting Period 2021 - 2024</b>				
<b>Year</b>	<b>2021</b>	<b>2022</b>	<b>2023</b>	<b>2024</b>
<b>Intake</b>				
Sent by Agency to Commission	11	14	17	7
Discovered by Commission Staff	48	41	104	154
Called in by Individual to Commission	12	8	6	9
Total Incidents Reported	71	63	127	170
<b>Location of Incident</b>				
Brookhaven	54	46	69	92
Southampton	10	17	50	73
Riverhead	6	0	8	5
Occurring on Public Land	26	21	79	148
Occurring on Private Land	35	22	23	20
Occurring on Public & Private Land	10	20	25	0
Core	35	38	78	133
Compatible Growth Area (CGA)	18	13	39	27
Core & CGA	0	1	1	0
Outside CPBA	18	12	9	8
<b>Nature of Incident*</b>				
Clearing/Encroachment	24	24	20	19
Structures	0	1	2	1
Dumping	35	35	103	143
Mining	1	0	0	1
Hunting	1	0	1	0
ATV	2	1	0	0
Other	8	4	1	2
<i>*Note-some incidents involve more than one land use issue</i>				
<b>Referrals*</b>				
Sent to Town	17	20	6	4
Sent to County	17	12	36	28
Sent to State	16	22	33	15
Commission	21	15	8	1
Sent to AG	0	1	0	0
Other	0	5	37	15
<i>*Note-some incidents are sent to multiple agencies</i>				
<b>Status</b>				
Founded	60	50	125	166
Unfounded	11	13	2	1
Open	39	18	52	63
Closed	32	45	75	107
<b>Inspections</b>				
Conservation Easement Inspections		1	0	0
Development project inspections		2	0	0



**Central Pine Barrens Joint Planning and Policy Commission**

Land Use Division Bi-Monthly Update for the Meeting of Wednesday, December 18, 2024

Action	Central Pine Barrens Location		
Municipality	Brookhaven Town	Riverhead Town	Southampton Town
<p align="center"><b>Pending Applications, Requests for Determination of Jurisdiction, SEQRA Coordination, inquiries, proposals and other activities</b></p>	<ul style="list-style-type: none"> <li>• Application: Brookhaven Industrial Park Sewage Treatment Plant Expansion, Yaphank, CGA.</li> <li>• Inquiry: Garafola three lot subdivision, William Floyd Parkway, Ridge, Core.</li> <li>• Referral: Suffolk Muslim Cemetery at former Spadaro Airport, Old Country Road, Eastport, CGA.</li> </ul>	<ul style="list-style-type: none"> <li>• Inquiries: 123 Hidden Pheasant Path and 124 Hidden Pheasant Path, Wading River, CGA.</li> <li>• Inquiry: Empire Metals at former site of SAS Industries, Calverton, Core.</li> <li>• Requests: Governale, 1,816 square foot residential accessory use barn, River Road, Calverton, CGA; Miloski, 1,600 square foot agricultural barn for farm equipment storage, Calverton, Core; Steiger, pool, Wading River, CGA..</li> <li>• Application: Venezia Square Development of Regional Significance, Wading River, CGA. Extended until 4/16/25.</li> </ul>	<ul style="list-style-type: none"> <li>• Referral: Busil Properties Site Plan, CGA.</li> <li>• 1456 Speonk Riverhead Road Site Plan, CGA.</li> <li>• Inquiry: Ketchaponack subdivision, Old Country Road, Westhampton, CGA.</li> <li>• Request: Lewis Road PRD Southern Pine Beetle Fire Risk dead tree removal, East Quogue, CGA.</li> <li>• Lewis Road PRD project modifications, CGA.</li> <li>• Request: PSEG-LI, cut 27 dead trees near utility lines, Eastport, Core.</li> </ul>
<p align="center"><b>Division Activity, Regional Projects and Participation</b></p>	<ul style="list-style-type: none"> <li>• Environmental review of land use development projects including Core Preservation Area and Compatible Growth Area Hardship waivers, SEQRA Coordination, interagency referrals, information requests, inquiries, requests for determination of jurisdiction and conformance reviews. Applications include commercial and industrial uses, mixed uses and other site plans, residential and non-residential subdivisions, applications for Developments of Regional Significance, Assertions of Jurisdiction, zone changes and other development activities.</li> <li>• Monitor sites for compliance with decisions and conditions of approval.</li> <li>• Site inspections and land use surveys for applications.</li> <li>• Technical support on FOIL requests, compliance and enforcement violations, consent orders, Credit Program items, communications on land use matters, unauthorized development and clearing activities and encroachments in protected areas and regulated habitats.</li> <li>• Collaborate and coordinate with other Commission divisions.</li> <li>• USGS two-year contract to monitor surface and groundwater resources, 2024 to 2026. Researching a study on coastal plain pond water resources monitoring.</li> <li>• Website updates on land use and planning matters, natural, scenic, historic and cultural resources.</li> <li>• Pine Barrens Nature Center Feasibility Study, study to commence in January 2025.</li> </ul>		

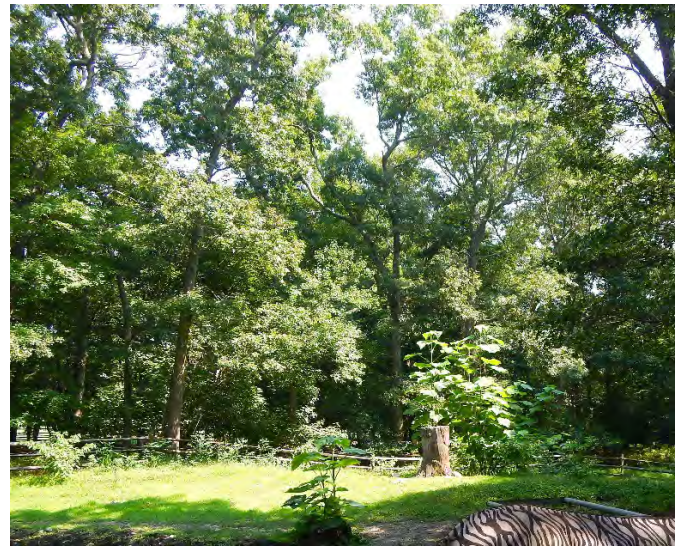




***Item 3.c. Pine Barrens Credit Program Report for December 18, 2024:***

Activities in the Credit Program for 2024 included review of applications for Letters of Interpretation, Conservation Easements, Credit Program and FOIL requests management. Some specific work items include:

- Letters of Interpretation: 44 LOIs were issued and eight parcels were inspected. Staff is following up on past LOIs for interest in the Program.
- Conservation Easements: Review and Monitoring
  - Five easements were recorded, which generated 2.82 credits.
  - Nine easements are currently in progress.
  - 67 easement properties with road access were inspected.



- Pine Barrens Credits
  - Redeemed: 6.39 Credits have been used for commercial, industrial and residential projects in the Town of Brookhaven and Southampton.
  - Conveyed: 12.4 Credits have been sold in the Towns of Brookhaven, Riverhead and Southampton.
  - The average price is \$107,750 per credit.
- Credit Clearinghouse Program Fund Account balance: \$3,296,992.

*Pine Barrens Credit Program Statistics Table: represents figures for the total and annual summary of 2024.*

Easement Protected Lands and Pine Barrens Credits As of December 10, 2024								
	Brookhaven	2024	Riverhead	2024	Southampton	2024	Total	2024
Parcels	531	4	37	-	471	1	1039	5
Acreage	833.44	1.75	516.78	-	889.51	3.59	2239.73	5.34
Average parcel size	1.57	0.44	13.97	-	1.89	3.59	2.16	1.07
Credits generated	550.26	2.24	173.39	-	340.26	0.58	1063.91	2.82
Credits redeemed	428.77	5.10	145.13	-	191.05	1.29	764.95	6.39
Credits not redeemed	121.49	-2.86	28.26	-	149.21	-0.71	298.96	-3.57
Credits sold		7.57		1.59		3.24		12.4
Total value of PBC transactions		\$903,997		\$100,000		\$332,100		\$1,336,097
Average Credits value		\$119,418		\$62,893		\$102,500		\$107,750
Credits owned by the Clearinghouse	2.19		-		-		2.19	
# of Inspected CE Parcels	-	41	-	4	-	22	-	67
# of Installed CE Signs	139	3	15	-	91	-	245	3



Draft

December 18, 2024

Stephen and Susan Jackowski  
79 East Bartlett Road  
Middle Island, New York 11953

**RE:** Request to remove trees on SCTM # 200-480-3-7  
Central Pine Barrens Core Preservation Area

Dear Mr. and Ms. Jackowski:

On September 19 and October 4, 2024, the Central Pine Barrens Commission office received letters that request removal of hazardous vegetation and trees on the subject property. The property is in the Central Pine Barrens Core Preservation Area. It is currently in the process of having a conservation easement prepared to preserve the property in its current condition under the Commission's Pine Barrens Credit program.

The property is 4.5 acres and is in the A Residence 2 Zoning District. It contains a single-family residence with accessory buildings including a one-story wooden building, a barn, four wooden sheds, and four corrals.

On September 29, 2024, Commission staff performed a site inspection to observe the trees and hazardous vegetation you have identified for removal. One area contains four live trees. Two trees hang over the structures as mentioned in your letter and obstruct the efficiency of solar panels on the roof of a shed. Two other trees hang over the neighboring yard. A dead locust tree is present in the circular garden area inside the driveway that needs to be removed for safety reasons. Trimming of dead limbs and small "sucker branches" distributed throughout the subject property is also proposed.

At its December 18, 2024 meeting, the Commission authorized the removal of the dead locust tree and trimming of dead limbs and small "sucker branches." Removal of non-hazardous living trees is not authorized.

Tree removal may require a permit from the Town of Brookhaven pursuant to Chapter 70-3 of the Town Code. Please consult with the Town Planning Department. You may want to consult with an arborist on whether the live trees can be pruned back to alleviate issues with tree limbs hanging over neighboring properties and those shielding the solar panels on your property.

Please be advised, despite the presence of hazardous condition, the timing of the cutting and removal of trees may be restricted to seasonal periods to protect the Northern Long-

Timothy C. Hubbard  
*Member*

Maria Z. Moore  
*Member*

Daniel J. Panico  
*Member*

Edward P. Romaine  
*Member*

624 Old Riverhead Road  
Westhampton Beach, NY  
11978

Phone (631) 288-1079  
Fax (631) 288-1367  
[www.pb.state.ny.us](http://www.pb.state.ny.us)

eared Bat, a New York State and Federal listed Endangered species. Please consult with NYSDEC to adhere to protective guidelines and requirements for this and other listed species and regulated habitats on the property. The Commission has no control over such requirements.

Thank you for your attention. Please contact this office if you have any questions.

Sincerely,

Jerry Tverdy  
Senior Environmental Analyst

cc: Judith Jakobsen, Executive Director  
Julie Hargrave, Policy and Planning Manager  
John C. Milazzo, Counsel to the Commission  
Rob Marsh, Region 1, New York State Department of Environmental Conservation  
Michelle DiBritten, Brookhaven Town

79 East Bartlett Road  
Middle Island, NY 11953

9/14/24

Mr. Jerry Tverdyy  
Central Pine Barrens Commission  
Senior Environmental Analyst  
624 Old Riverhead Rd.  
Westhampton Beach, NY 11978



Dear Mr. Tverdyy,

I hope this letter finds you well.

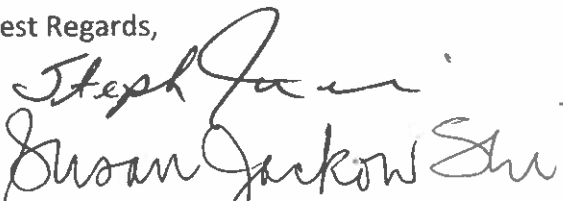
Enclosed is the Title Report you requested from Maryellen at Pyramid Title Agency. I hope this meets the requirements for us to move forward with the PBC procedures.

As also, per your request, I am submitting to you the following plans we discussed during your walkthrough of 79 East Bartlett Road, Middle Island, NY 11953. First, we will be taking down 4 trees on the inhabited part of our property, two that are hanging over into our neighbor's yard and two leaning towards our barn and garage. Second, trimming off small 'sucker branches', as our Arborist calls them, on trees around our home, barn and sheds, especially any branches impeding our solar panels on the barn. Third, cutting off all dead limbs and sucker branches from the trees on the uninhabited 3 acres or so of our back land as well as removing dead white oaks that have died off in the last few years. And finally, we will be expanding a garden area and planting blueberry bushes and apple trees.

As an expert in the environment, you know that during these processes other actions might need to be taken due to unforeseen circumstances which we may encounter, so this list is not meant to be exhaustive and may need to be added to. As for today these are the plans for our property.

Thanks for your advice and help during this process and we will be waiting for your directions on how to proceed.

Best Regards,

  
Stephen & Susan Jackowski

79 East Bartlett Road  
Middle Island, NY 11953



79 East Bartlett Road  
Middle Island, NY 11953

9/30/24

Mr. Jerry Tverdyy  
Central Pine Barrens Commission  
Senior Environmental Analyst  
624 Old Riverhead Rd.  
Westhampton Beach, NY 11978



Dear Jerry,

It was good seeing you this morning.

I am, as per our conversation, submitting to you the following plans we discussed during your walkthrough of 79 East Bartlett Road, Middle Island, NY 11953.

First, we will be taking down 4 trees on the inhabited part of our property, two that are hanging over into our neighbor's yard and two leaning towards our barn and garage. The two near our neighbor's fence are hanging over into their yard creating a present hazard if they were to fall, hitting their deck, home and garage. The other two trees, are very close and hanging over our barn and garage and would easily damage or destroy both structures during a storm.

Second, there is a dead locust tree leaning on another tree in the circular garden area inside our driveway. This tree needs to be taken down as it presents a present risk of falling on a car or person in our driveway.

Lastly, the trimming off of small "sucker branches", as our Arborist calls them, on trees around our home, barn and sheds. This is especially necessary as these near are home and touching our stove pipe chimney and impeding our solar panels on the barn. This trimming off all dead limbs and sucker branches would also be on the back uninhabited 3 acres, as dead branches, hitting my wife or I as we walk back there, are a present danger.

As we spoke about today, I will wait for your reply before any work is completed and before we move forward to sell our PBC's.

Best Regards,

A handwritten signature in black ink that reads "Susan Jackowski". The signature is written in a cursive style.

Stephen & Susan Jackowski  
79 East Bartlett Road  
Middle Island, NY 11953





200-480-3-7

dead locust tree

live trees

E Bartlett Rd

Thu Mar 14 2024

Imagery © 2024 Nearmap, HERE

100 ft

Nearmap





DRAFT

December 18, 2024

Damon Oscarson  
Senior Professional  
GEI Consultants, Inc.  
1000 New York Avenue, Suite B  
Huntington Station, NY 11746

RE: Determination: PSEG-LI Dead Tree Removal  
Old Country Road, Eastport, Southampton Town  
Core Preservation Area of the Central Pine Barrens

Dear Mr. Oscarson:

Timothy C. Hubbard  
*Member*

Maria Z. Moore  
*Member*

Daniel J. Panico  
*Member*

Edward P. Romaine  
*Member*

On November 27, 2024, the Central Pine Barrens Commission received materials on the referenced proposal which involves the removal of 27 dead trees in the Core Preservation Area, in an area on Old Country Road in Eastport, Town of Southampton. The trees pose a hazard to existing utility lines in the developed road right of way. The submission included a letter dated November 27, 2024, figures and photographs of the project area and described the proposed activities.

As proposed, the activity appears to constitute “non-development” pursuant to New York State Environmental Conservation Law Article 57 Section 57-0107.13(ii) which states, “Work by any utility not involving substantial engineering redesign for the purpose of inspection, maintenance or renewal on established utility rights of way or the likes,”... No further review from this office is required. Cutting of living trees is not authorized.

Please ensure the dead tree removal work in the road right of way protects public health and safety in the road corridor.

If the proposed activity changes, please notify this office and forward the updated information for Commission to review prior to implementation as the revised project may constitute development.

Thank you for your attention, and if you have any questions, please do not hesitate to contact me at (631) 218-1192.

Sincerely,

Julie Hargrave  
Policy and Planning Manager

cc: Judith Jakobsen, Executive Director  
John C. Milazzo, Counsel

624 Old Riverhead Road  
Westhampton Beach, NY  
11978

Phone (631) 288-1079  
Fax (631) 288-1367  
[www.pb.state.ny.us](http://www.pb.state.ny.us)

November 27, 2024

Project No. 2408588

VIA EMAIL: [info@pb.state.ny.us](mailto:info@pb.state.ny.us)

Central Pine Barrens Joint Planning and Policy Commission  
624 Old Riverhead Road  
West Hampton Beach, NY 11978

**Re: PSEGLI Pine Beetle Infestation Tree Removals  
Old Country Road, Eastport, New York  
Project Notification**

Dear Sir or Madame:

GEI Consultants Inc. (GEI) has been retained by PSEG Long Island to assist with regulatory agency coordination and environmental permitting for a tree removal project located along Old Country Road in Eastport, Town of Southampton, Suffolk County, New York.

Due to extensive pine beetle infestation and damage, PSEGLI is planning to remove up to 27 infested pitch pine (*Pinus rigida*) trees located west of A-Rd and east of Seatuck Creek on the north side of Old Country Road (see attached maps). The trees need to be removed since they are at risk of falling and damaging existing power lines. The trees are on a private property, and PSEGLI has coordinated with the property owner who agrees that the trees should be removed.

The affected trees were mapped in the field with a sub-meter accurate Trimble GPS unit. The project area may be located within the Central Pine Barrens Core Preservation Area. Some of the trees are located within a New York State Department of Environmental Conservation (NYSDEC) regulated freshwater wetland adjacent area. None of the proposed work is within a NYSDEC regulated wetland. PSEG LI will coordinate with NYSDEC regarding tree removals within the regulated adjacent area.

The following documents are enclosed for your information

- Fig. 1 Project Location Map
- Fig. 2 Project Area and Wetland Boundary Map
- Photo Log

If you have any questions or require additional information, please do not hesitate to contact me at 914.588.9904 or [doscarson@geiconsultants.com](mailto:doscarson@geiconsultants.com).

Sincerely,

GEI Consultants, Inc.



Damon Oscarson  
Senior Professional

DO:ag

B:\Working\PSEG\Proposals\Estimates\Old Country Road Eastport Tree Removals\Pine Barrens Committee Coordination\PBC Cover Letter 2024-11-27.docx

cc: J. Mathew, PSEG Long Island

M. Billerman, GEI



PSEG Long Island Tree Removal Project  
Old Country Road, Eastport, Town of Southampton, New York  
Photographic Log



Photo 1. Looking north at Pitch pines to be removed.



Photo 2. Looking north at Pitch pines to be removed.



PSEG Long Island Tree Removal Project  
Old Country Road, Eastport, Town of Southampton, New York  
Photographic Log

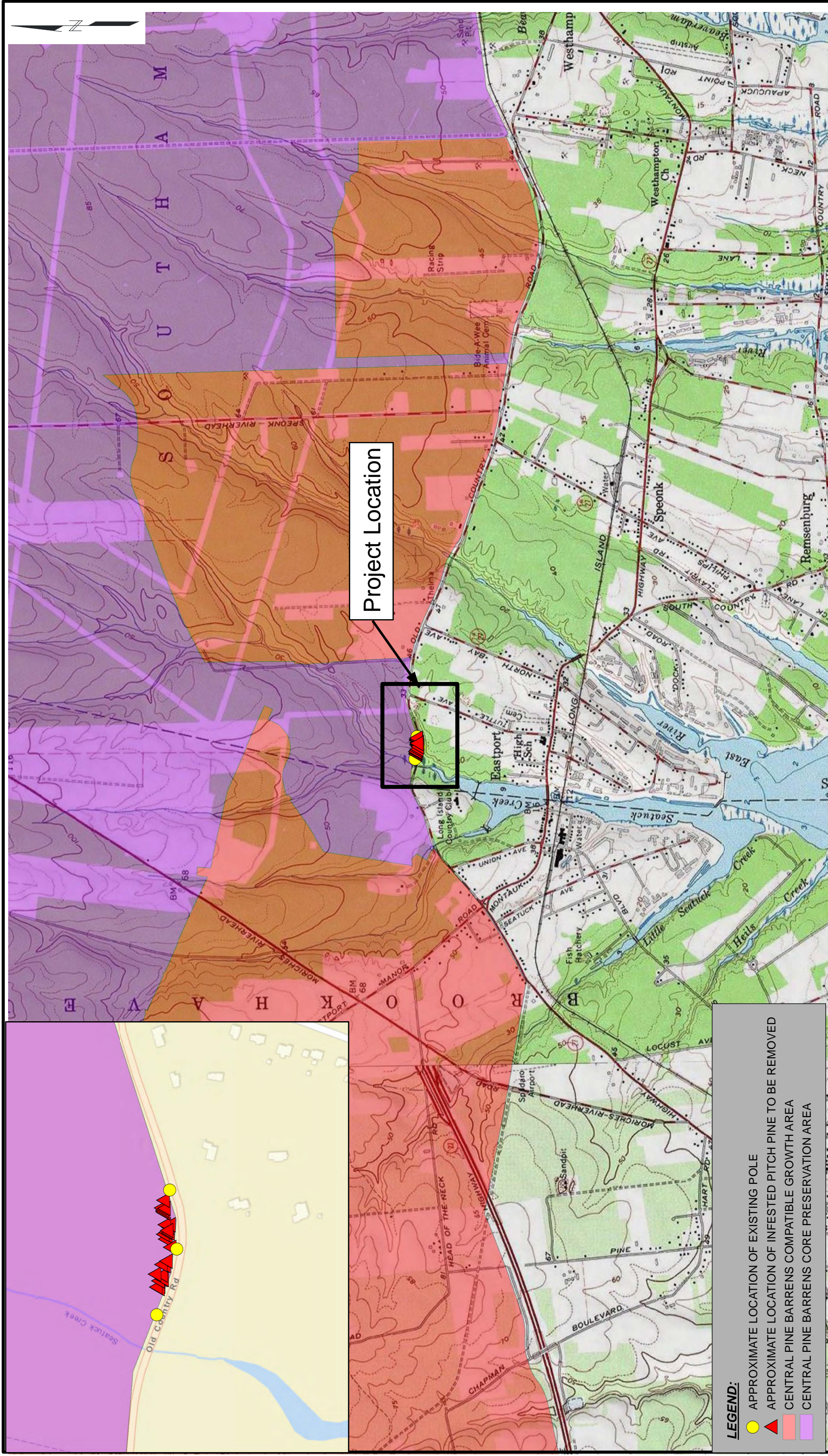


Photo 3. Looking north at Pitch pines to be removed.



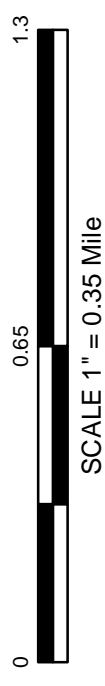
Photo 4. Looking north at Pitch pines to be removed.





- LEGEND:**
- APPROXIMATE LOCATION OF EXISTING POLE
  - ▲ APPROXIMATE LOCATION OF INFESTED PITCH PINE TO BE REMOVED
  - CENTRAL PINE BARRENS COMPATIBLE GROWTH AREA
  - CENTRAL PINE BARRENS CORE PRESERVATION AREA

**SOURCE:**  
 1. USGS 7.5 MINUTE QUAD MAP FOR EASTPORT NY ACCESSED VIA ESRI ONLINE MAPPING

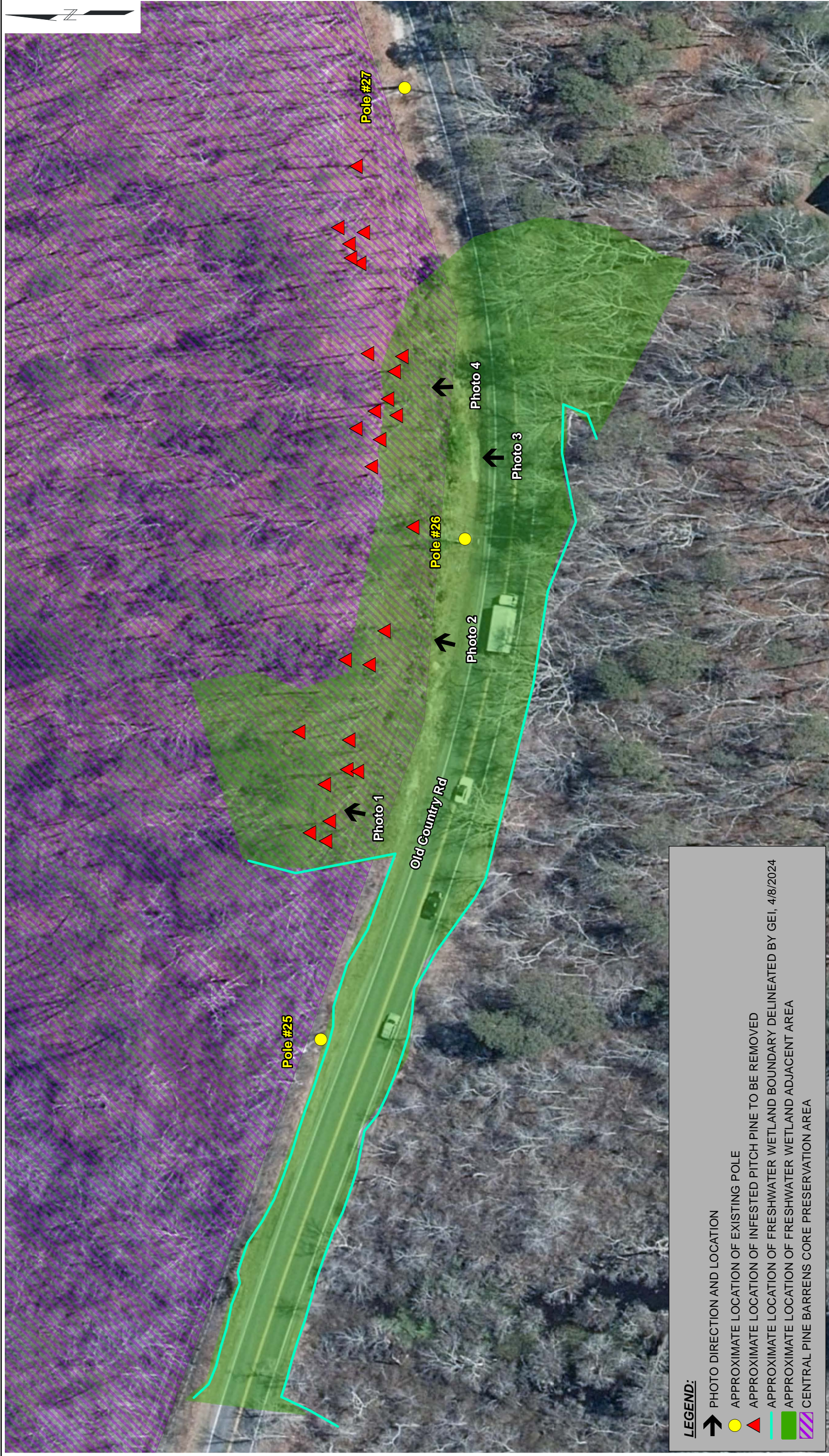


Tree Removal Project  
 Old Country Road, Eastport  
 Town of Southampton, New York  
 PSEG Long Island  
 Bethpage, New York

**GEI** Consultants  
 Project 2408588

PROJECT LOCATION MAP  
 November 2024  
 Fig. 1









December 18, 2024

Charles R. Cuddy  
Attorney at Law  
445 Griffing Avenue  
Riverhead, New York 11901

**RE           Determination for Peter Miloski – Proposed Agricultural Barn  
SCTM # 600-118-4-3.1, River Road, Riverhead  
Core Preservation Area of the Central Pine Barrens**

Dear Mr. Cuddy:

On November 4, 2024, the Central Pine Barrens Commission office received your letter dated October 31 on the subject property. Additional details were provided via email on November 26, 2024. The property is in the Core Preservation Area of the Central Pine Barrens.

Timothy C. Hubbard  
*Member*

Maria Z. Moore  
*Member*

Daniel J. Panico  
*Member*

Edward P. Romaine  
*Member*

The 4.18 acre site is located on the south side of River Road, in Calverton, in Riverhead Town. The current land use of the site is agricultural. A horse stable, approximately 1,300, is situated on the east side of the property.

The proposal is for the construction of a 40 x 40 square foot (1,600 square foot) agricultural storage barn for the purpose of storing agricultural equipment. Equipment that will be stored in the barn includes: Two Tractors, Manure Spreader, Two Mowers, Rototiller, attachment for Tractors and Post Hole Diggers. The structure is proposed in an existing cleared area that has been in active agriculture prior to the Act.

The proposed activity does not require approval pursuant to New York State Environmental Conservation Law Article 57 Section 57-0107.13(v) and the Central Pine Barrens Comprehensive Land Use Plan, Section 5.2, which states, “the use of any land for the purpose of agriculture or horticulture” does not constitute development provided that it does not involve material alteration of native vegetation.

Therefore, no permit from the Commission is required. If any activity related to the proposal changes, please notify this office and forward the updated information for Commission review prior to implementation.

Please consult other agencies to obtain applicable permits or approvals including Riverhead Town Building Permit and New York State Department of Environmental Conservation due to the site’s proximity to the Recreational River Corridor of the Peconic River as designated by New York State and regulations of Article 15, Title 27 of Environmental Conservation Law regarding Wild, Scenic & Recreational Rivers.

The project must conform to all other involved agency jurisdictions and permit requirements in effect on the project site. If you have any questions, please do not hesitate to contact me at (631) 218-1192.

Sincerely,

Julie Hargrave  
Policy and Planning Manager

cc: Judith Jakobsen Executive Director  
John C. Milazzo, Counsel to the Commission

624 Old Riverhead Road  
Westhampton Beach, NY  
11978

Phone (631) 288-1079  
Fax (631) 288-1367  
[www.pb.state.ny.us](http://www.pb.state.ny.us)



CHARLES R. CUDDY

ATTORNEY AT LAW  
445 GRIFFING AVENUE  
RIVERHEAD, NEW YORK

Mailing Address: Central Pine Barrens Joint  
P.O. Box 1547 Planning & Policy Commission  
Riverhead, NY 11901

TEL: (631) 369-8200  
FAX: (631) 369-9080  
E-mail: charlescuddy@optonline.net

October 31, 2024

Ms. Julie Hargrave  
Policy & Planning Manager  
Central Pine Barrens Commission  
624 Old Riverhead Road  
Westhampton Beach, NY 11978

Dear Ms. Hargrave:

Peter Miloski, who I represent, has a four plus acre farm at River Road, Calverton (SCTM 0600-118-04-003.001). His farm is across from a storage facility. It is our understanding that properties in this vicinity are in the Pine Barrens Cove area and therefor a hardship application must be made to erect a barn.

At this point we request the Commission make a determination of jurisdiction so we may proceed accordingly.

Thank you.

Very truly yours,

Charles R. Cuddy

CRC/pc

## Hargrave, Julie

---

**From:** charlescuddy@optonline.net  
**Sent:** Tuesday, November 26, 2024 11:00 AM  
**To:** PB Hargrave, Julie  
**Subject:** RE: Message to Principal Planner from website

**CAUTION:** This email originated from outside of SCWA. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Thank you for your email. The applicant, Peter Miloski, proposes to construct a 40 x 40-foot barn, setback 200 feet north of the LIRR tracks, 100 feet from River Road and near the east line of property formerly owned by his parents (SCTM No. 600-118-04-002). That contiguous parcel included a home and garage, which until that estate parcel was sold last summer permitted Mr. Miloski a storage area for his farm equipment and a place to repair it. That no longer exists. The barn is intended to store the following equipment: Two Tractors, Manure Spreader, Two Mowers, Rototiller, Attachment for Tractors, Post Hole Diggers.

Mr. Miloski together with his family has continuously farmed this property for more than fifty years.

I hope this will be of some assistance and allow you to suggest what process the applicant should follow.

Charles R. Cuddy  
Attorney at Law  
445 Griffing Avenue  
Riverhead, New York 11901  
631-369-8200  
631-369-9080 fax  
[charlescuddy@optonline.net](mailto:charlescuddy@optonline.net)

---



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Find address or place

Q

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<b>RIV RD CALVERTON 11933</b>	
<b>Tax Map #: 0600-118.00-04.00-003.001</b>	
PARCEL ID	0600118000400003001
ADDRESS	RIV RD
CITY	CALVERTON
ZIP CODE	11933
ACRE CALCULATED	4.188000
LAND USE CODE	113: CATTLE CALVES HOGS
OWNER	LAURENE ROSE PETER MILOSKI

[Zoom to](#)











DRAFT

December 18, 2024

Anthony Trezza, Principal Planner  
Town of Southampton Planning Board  
Southampton Town Hall  
116 Hampton Road  
Southampton, New York 11968

**RE:           Comments on 1456 SRR, LLC**  
**1456 Speonk Riverhead Road, Speonk, Southampton Town**  
**SCTM #: 900-327-1-2**  
**Central Pine Barrens Compatible Growth Area**

Dear Mr. Trezza:

On November 4, 2024, the Commission was made aware of the above-referenced development project that is presently under review by the Town Planning Board. The project is in the Compatible Growth Area (CGA) of the Central Pine Barrens. The Town's public hearing was held on November 14, 2024, with a comment period ending November 24, 2024. A letter requesting an extension of the comment period to allow time for Commission review was submitted on November 19, 2024. This project has not been reviewed by the Commission as of this writing.

The project appears to constitute development activity pursuant to New York State Environmental Conservation Law (ECL) Article § 57-0107(13), which states includes:

13. "Development" shall mean the performance of any building activity or mining operation, the making of any material change in the use or intensity of use of any structure or land and the creation or termination of rights of access or riparian rights. Without limitation, the following activities or uses shall be taken for the purposes of this article to involve development as defined in this subdivision:

*"(b) a material increase in the intensity of use of land or environmental impacts as a result thereof;"*

*"(c) commencement of mining, excavation or material alteration of grade or vegetation on a parcel of land excluding environmental restoration activities;"*

If the project does not conform to the Central Pine Barrens Comprehensive Land Use Plan's provisions, the project would need to be revised, or the applicant would need to apply to the Commission for a CGA Hardship Waiver for non-conforming development.

Thank you for your attention and if you have any questions, please reach me at (631) 563-0307.

Sincerely,

Tara Murphy  
Environmental Planner

cc: Judy Jakobsen, Executive Director, CPBJPPC  
Julie Hargrave, Policy and Planning Manager, CPBJPPC  
John C. Milazzo, Counsel, CPBJPPC  
Janice Scherer, Town Planning & Development Administrator, Southampton Town



Timothy C. Hubbard  
*Member*

Maria Z. Moore  
*Member*

Daniel J. Panico  
*Member*

Edward P. Romaine  
*Member*

624 Old Riverhead Road  
Westhampton Beach, NY  
11978

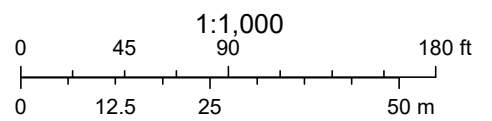
Phone (631) 288-1079  
Fax (631) 288-1367  
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# 1456 SRR LLC (SCTM: 900-327-1-2)



12/5/2024, 3:59:30 PM



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November 19, 2024

Anthony Trezza, Principal Planner  
Town of Southampton Planning Board  
Southampton Town Hall  
116 Hampton Road  
Southampton, New York 11968

**RE: Comment Period Extension Request for 1456 SRR, LLC  
1456 Speonk Riverhead Road, Speonk, Southampton Town  
SCTM #: 900-327-1-2  
Central Pine Barrens Compatible Growth Area**

Dear Mr. Trezza:

On November 4, 2024, the Commission was made aware of potentially non-conforming development for the above-referenced project that was not submitted as a referral for review and comment. The project is in the Compatible Growth Area (CGA) of the Central Pine Barrens. The Town's public hearing was held on November 14, 2024, with a comment period ending November 24, 2024. This project has not been reviewed by the Commission as of this writing.

As you know, any development project that does not conform to one or more land use standards in the Central Pine Barrens Comprehensive Land Use Plan (the Plan) is unable to be approved without review by the Commission. If the project does not conform to one or more standards, the applicant must revise the plan or apply for a CGA Hardship Waiver from the Commission.

The Commission must review the project before it can submit its comments. Given these circumstances, please hold the comment period open until the Commission receives materials and finishes a review. If the comment period cannot be extended, the Town is respectfully referred to the provisions of Environmental Conservation Law §57-0123.

If the Town is unable to extend the comment period and the project does not conform to the Plan's provisions, the Town may only approve the project subject to the condition that the applicant also apply for and receive a CGA Hardship Waiver from the Commission for non-conforming development.

If you have any questions, please do not hesitate to contact me at (631) 563-0307.

Sincerely,

Tara Murphy  
Environmental Planner

624 Old Riverhead Road  
Westhampton Beach, NY  
11978

Phone (631) 288-1079  
Fax (631) 288-1367  
[www.pb.state.ny.us](http://www.pb.state.ny.us)

cc: Judy Jakobsen, Executive Director  
Julie Hargrave, Policy and Planning Manager  
John C. Milazzo, Counsel



DRAFT

December 18, 2024

Mr. & Mrs. Governale  
2542 River Road  
Calverton, NY 11933



**RE: Determination of Jurisdiction  
2542 River Road, Calverton, Town of Riverhead  
SCTM # 600-137-1-24  
Central Pine Barrens Compatible Growth Area**

Dear Mr. & Mrs. Governale,

On November 25, 2024, the Central Pine Barrens Commission office received your request regarding the construction of a barn as an accessory use to the existing single-family residence on the project site. The project site is located between Railroad Avenue and River Road on the north side of the Peconic River and is in the Compatible Growth Area of the Central Pine Barrens.

Timothy C. Hubbard  
*Member*

Maria Z. Moore  
*Member*

Daniel J. Panico  
*Member*

Edward P. Romaine  
*Member*

According to the survey prepared by Nathan Taft Corwin III Land Survey and last dated November 13, 2024, the above referenced parcel is 2.954 acres and the proposed barn with lean-to measures 40' x 45.4', or 1,816 square feet. The project site is significantly cleared, though the limits of cleared and vegetated areas are unknown. Per your letter dated November 24, 2024, there is no additional sanitary flow associated with this project.

On December 18, 2024, the Commission determined the proposed activity constitutes "non-development" pursuant to New York State Environmental Conservation Law Article 57 Section 57-0107(13)(iv), which states:

*(iv) the use of any structure or land devoted to dwelling uses for any purposes customarily incidental and otherwise lawful;*

Please note, this determination is valid solely for non-commercial purposes. If the Commission determines commercial activity is occurring, the proposal is no longer in compliance with this determination, Long Island Pine Barrens Protection Act (the Act) or the Central Pine Barrens Comprehensive Land Use Plan (the Plan).

It is recommended to avoid tree removal and utilize the cleared area to accommodate the structure and necessary access points, and to contact the New York State Department of Environmental Conservation regarding the Wild Scenic and Recreational Rivers Program for permit requirements due to the proximity to the Peconic River.

624 Old Riverhead Road  
Westhampton Beach, NY  
11978

Phone (631) 288-1079  
Fax (631) 288-1367

<https://pb.state.ny.us/>

No further review from this office is required. Prior to any change to the proposal, including commercial activity, please forward the updated information to the Commission for review. The proposal must conform to all other involved agency jurisdictions and permit requirements in effect on the project site.

Thank you for your attention, and if you have any questions, please do not hesitate to contact me at (631) 563-0307.

DRAFT

Sincerely,

Tara Murphy  
Environmental Planner

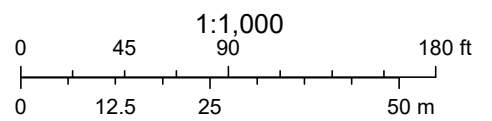
cc: Judy Jakobsen, Executive Director  
Julie Hargrave, Policy and Planning Manager  
John C. Milazzo, Counsel



# 2542 River Road (SCTM: 600-137-1-24)



11/25/2024, 4:25:44 PM



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**From The Desk Of:**

Robert & Katherine Governale  
2542 River Rd  
Calverton NY 11933

631-774-6227,6229

TAX MAP # 600-137-01-24



24 NOV 2024

Central Pine Barrens Joint Planning and Policy Commission  
624 Old Riverhead Rd  
Westhampton Beach NY 11978

Dear Committee Persons,

May this letter serve as a request for review of our intention to construct a 4 Stall Horse barn on our residence at the above address.

We have purchased the property with an finished home on it primarily due to the it being contiguous to our sone and Daughter in law and two Grandchildren. The secondary factor in the purchase was the room for us have our horses on our own property in a healthy, well build structure with adequate green pasture and pass animal husbandry along to our Grandchildren. The proposed use of the barn is for our own use with our Horses and ponies for the grandchildren. We do not propose to have bathrooms or need a sanitary system in the Barn, the dry wells indicated are for roof runoff.

We propose to employ modular construction where a concrete cast in place foundation and the sections will be trucked in and set with a crane. This type of construction is proven to be more efficient than site built and will require less overall site disturbance. Foundation walls will extend 1 ft above grade throughout to control vermin.

The property was nearly completely cleared by the previous owner, we have attached an overview from 2012 and current showing the approximate barn location on each. There will only need to be limited clearing for access and that would be limited to invasive species of Black Locust and Norway Maple. The road is lined with silver maples that are aging out, our intent is to replace them with American Chestnut and Shagbark Hickory.

We would like to submit our application for permit to the town of Riverhead Building Department soonest and eagerly await your determination. Feel free to contract Robert Governale at 631-774-6227 form ore information. We would gladly appear to present further information or answer questions as required.

Please find attached:

Overview from 2012

Overview from 2024

Survey of property showing proposed barn

Foundation plan of proposed barn

Sincerely,  
Robert & Kathrine Governale



**March 2012**

Note barn location - previous owner had cleared property

Hangman Fine Arts Services

Barn



Tax map  
600-137-01-24

2542 River Rd

River Rd

Canoe Lake Dr

Google Earth

200 ft





# Current 2024

Note barn location relative to house



Proposed  
Barn

Tax Map #  
600-137-01-24

2542 River Rd

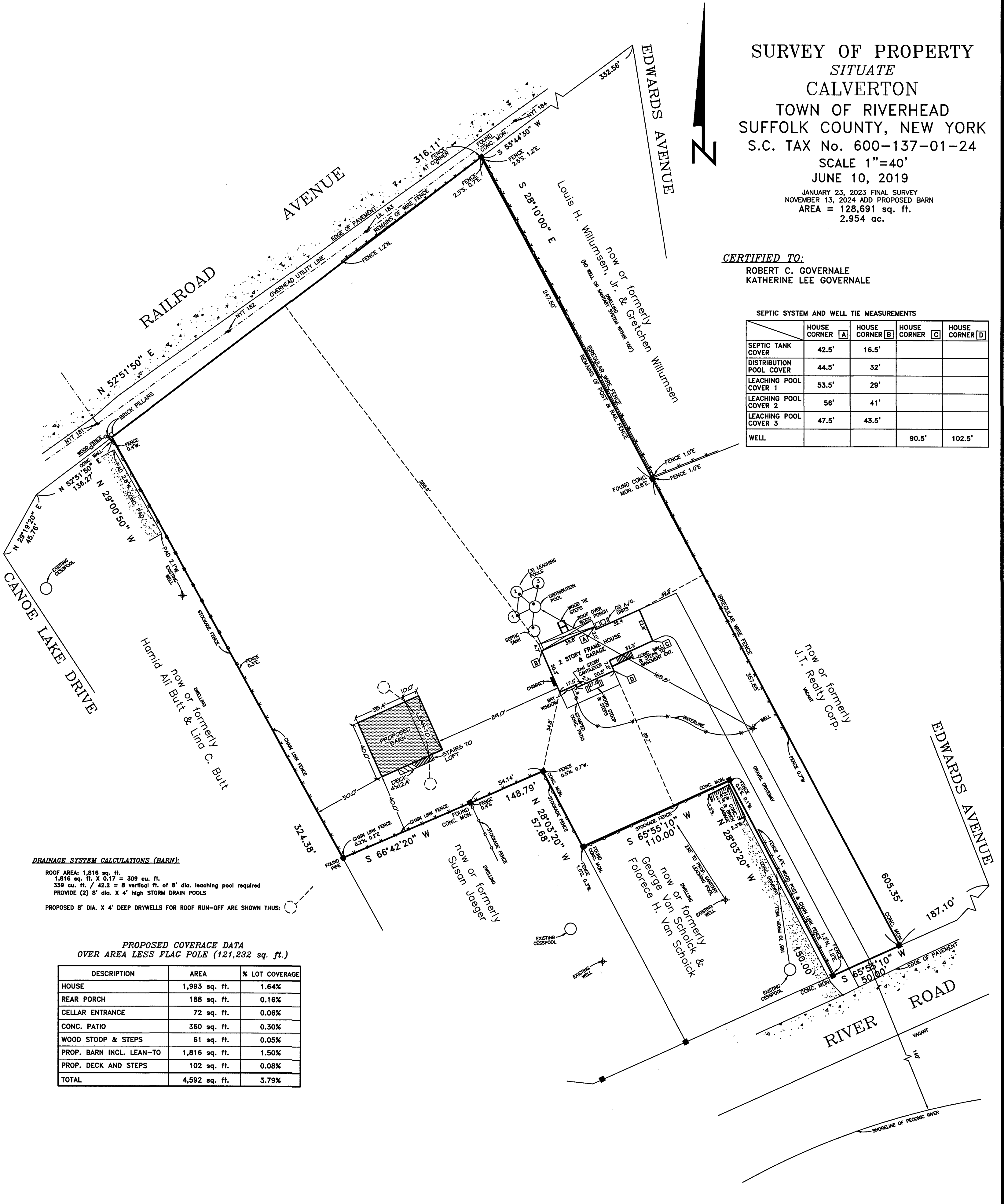


**SURVEY OF PROPERTY**  
**SITUATE**  
**CALVERTON**  
**TOWN OF RIVERHEAD**  
**SUFFOLK COUNTY, NEW YORK**  
**S.C. TAX No. 600-137-01-24**  
**SCALE 1"=40'**  
**JUNE 10, 2019**  
 JANUARY 23, 2023 FINAL SURVEY  
 NOVEMBER 13, 2024 ADD PROPOSED BARN  
 AREA = 128,691 sq. ft.  
 2.954 ac.

**CERTIFIED TO:**  
 ROBERT C. GOVERNALE  
 KATHERINE LEE GOVERNALE

**SEPTIC SYSTEM AND WELL TIE MEASUREMENTS**

	HOUSE CORNER A	HOUSE CORNER B	HOUSE CORNER C	HOUSE CORNER D
SEPTIC TANK COVER	42.5'	16.5'		
DISTRIBUTION POOL COVER	44.5'	32'		
LEACHING POOL COVER 1	53.5'	29'		
LEACHING POOL COVER 2	56'	41'		
LEACHING POOL COVER 3	47.5'	43.5'		
WELL			90.5'	102.5'



**DRAINAGE SYSTEM CALCULATIONS (BARN):**  
 ROOF AREA: 1,816 sq. ft.  
 1,816 sq. ft. x 0.17 = 309 cu. ft.  
 339 cu. ft. / 42.2 = 8 vertical ft. of 8' dia. leaching pool required  
 PROVIDE (2) 8' dia. x 4' high STORM DRAIN POOLS  
 PROPOSED 8' DIA. X 4' DEEP DRYWELLS FOR ROOF RUN-OFF ARE SHOWN THUS:

**PROPOSED COVERAGE DATA**  
**OVER AREA LESS FLAG POLE (121,232 sq. ft.)**

DESCRIPTION	AREA	% LOT COVERAGE
HOUSE	1,993 sq. ft.	1.64%
REAR PORCH	188 sq. ft.	0.16%
CELLAR ENTRANCE	72 sq. ft.	0.06%
CONC. PATIO	360 sq. ft.	0.30%
WOOD STOOP & STEPS	61 sq. ft.	0.05%
PROP. BARN INCL. LEAN-TO	1,816 sq. ft.	1.50%
PROP. DECK AND STEPS	102 sq. ft.	0.08%
TOTAL	4,592 sq. ft.	3.79%

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.

CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY, AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE.

THE EXISTENCE OF RIGHT OF WAYS AND/OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN ARE NOT GUARANTEED.

PREPARED IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR TITLE SURVEYS AS ESTABLISHED BY THE L.L.A.S. AND APPROVED AND ADOPTED FOR SUCH USE BY THE NEW YORK STATE LAND TITLE ASSOCIATION.



N.Y.S. Lic. No. 50467

**Nathan Taft Corwin III**  
**Land Surveyor**

Successor To: Stanley J. Isaksen, Jr. L.S.  
 Joseph A. Ingegno L.S.

Title Surveys - Subdivisions - Site Plans - Construction Layout

PHONE (631)727-2090


Fax (631)727-1727

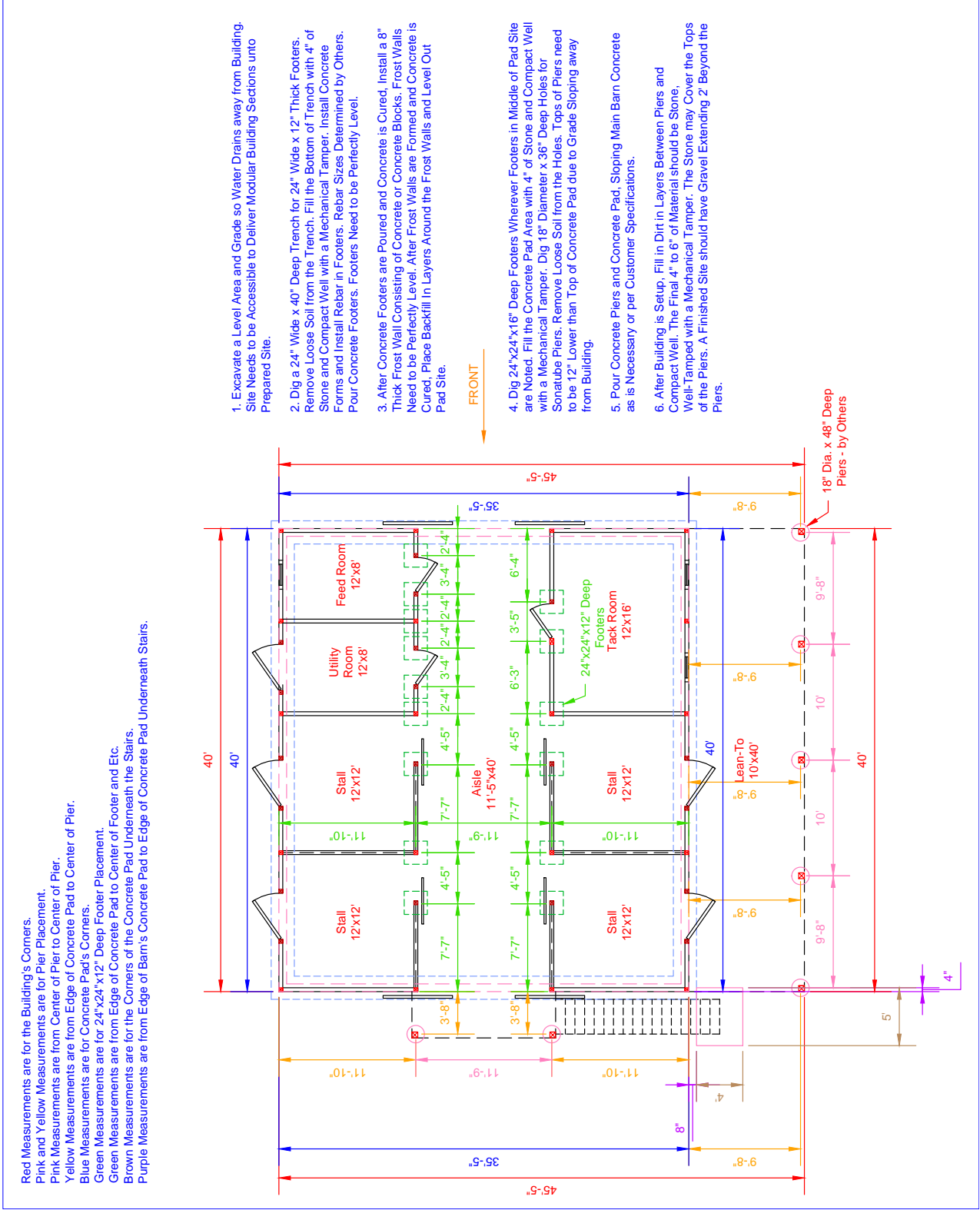
OFFICES LOCATED AT

MAILING ADDRESS

1586 Main Road  
 Jamesport, New York 11947

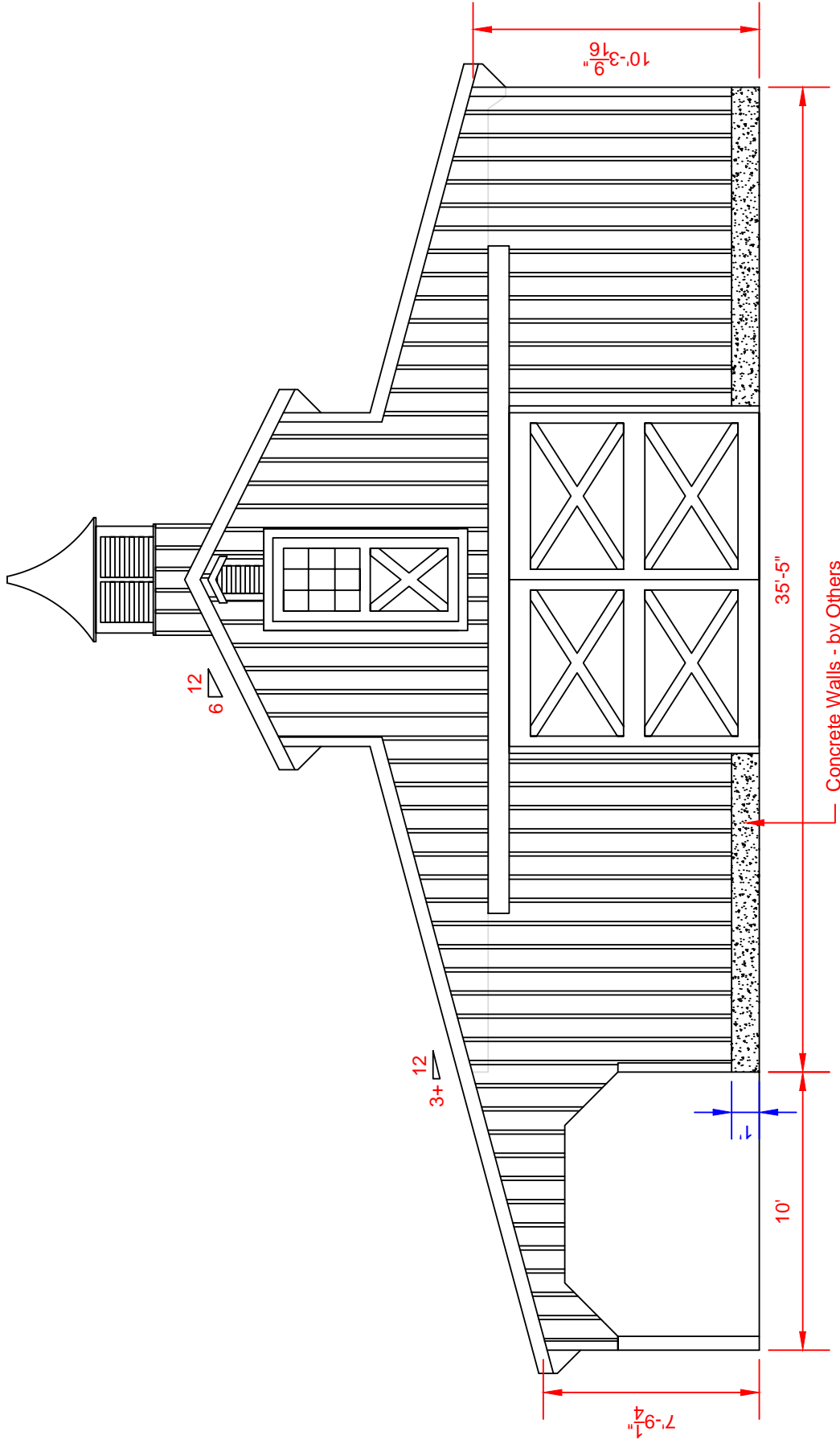
P.O. Box 16  
 Jamesport, New York 11947

Contractor	Horizon Structures LLC 5075 Lower Valley Road Aglens, PA 19310
Customer	Robert Governale 2542 River Road Calverton, NY 11933
Plan - Description	36' x 40' Monitor with 10' Lean-To Floor Plan Scale: 1/8" = 1'
PLAN NO.	23455
PAGE:	8 of 8
REVISIONS:	3
DATE:	September 17, 2024
DRAWN BY:	David S.
Design	 PAHIC # PA025372



1. Excavate a Level Area and Grade so Water Drains away from Building. Site Needs to be Accessible to Deliver Modular Building Sections unto Prepared Site.
2. Dig a 24" Wide x 40" Deep Trench for 24" Wide x 12" Thick Footers. Remove Loose Soil from the Trench. Fill the Bottom of Trench with 4" of Stone and Compact Well with a Mechanical Tamper. Install Concrete Forms and Install Rebar in Footers. Rebar Sizes Determined by Others. Pour Concrete Footers. Footers Need to be Perfectly Level.
3. After Concrete Footers are Poured and Concrete is Cured, Install a 8" Thick Frost Wall Consisting of Concrete or Concrete Blocks. Frost Walls Need to be Perfectly Level. After Frost Walls are Formed and Concrete is Cured, Place Backfill in Layers Around the Frost Walls and Level Out Pad Site.
4. Dig 24"x24"x16" Deep Footers Wherever Footers in Middle of Pad Site are Noted. Fill the Concrete Pad Area with 4" of Stone and Compact Well with a Mechanical Tamper. Dig 18" Diameter x 36" Deep Holes for Sonatube Piers. Remove Loose Soil from the Holes. Tops of Piers need to be 12" Lower than Top of Concrete Pad due to Grade Sloping away from Building.
5. Pour Concrete Piers and Concrete Pad, Sloping Main Barn Concrete as is Necessary or per Customer Specifications.
6. After Building is Setup, Fill in Dirt in Layers Between Piers and Compact Well. The Final 4" to 6" of Material should be Stone, Well-tamped with a Mechanical Tamper. The Stone may Cover the Tops of the Piers. A Finished Site should have Gravel Extending 2' Beyond the Piers.

FRONT



PLAN NO: 23455

PAGE: 3 of 8

REVISIONS: 3

DRAWN BY: David S.

DATE: September 17, 2024

PLAN-DESCRIPTION

36' x 40' Monitor with 10' Lean-To  
 Front Elevation  
 Scale: 3/16" = 1'

CUSTOMER

Robert Governale  
 2542 River Road  
 Calverton, NY 11933

CONTRACTOR

Horizon Structures LLC  
 5075 Lower Valley Road  
 Atglen, PA 19310

DESIGN







Via U.S. Mail and email: [hsteiger@optonline.net](mailto:hsteiger@optonline.net)

December 18, 2024

Barbara Steiger  
135 Hidden Acres Path  
Wading River, NY 11792

**RE: Request for Determination of Jurisdiction  
135 Hidden Acres Path, Wading River, Town of Riverhead  
SCTM # 600-96-1-14.25  
Compatible Growth Area of the Central Pine Barrens**

Dear Ms. Steiger:

Timothy C. Hubbard  
*Member*

Maria Z. Moore  
*Member*

Daniel J. Panico  
*Member*

Edward P. Romaine  
*Member*

On November 22, 2024, the Central Pine Barrens Commission office received your request regarding the construction of a swimming pool as an accessory use to the existing single-family residence on the project site. The project site is in the Compatible Growth Area of the Central Pine Barrens.

Information submitted with your request includes a copy of your property survey and a letter from the Riverhead Town Building Department, dated November 15, 2024, requesting that approval be provided from the Central Pine Barrens Commission for the proposed 20 foot x 44 foot inground vinyl swimming pool.

The proposed activity constitutes “non-development” pursuant to New York State Environmental Conservation Law Article 57 Section 57-0107(13)(iv), which states:

*(iv) the use of any structure or land devoted to dwelling uses for any purposes customarily incidental and otherwise lawful;*

No further review from this office is required. If any activity related to the proposal changes, please notify this office and forward the updated information for Commission review prior to implementation.

The proposal must conform to all other involved agency jurisdictions and permit requirements in effect on the project site. Thank you for your attention, and if you have any questions, please do not hesitate to contact me at (631) 218-1192.

624 Old Riverhead Road  
Westhampton Beach, NY  
11978

Phone (631) 288-1079  
Fax (631) 288-1367  
[www.pb.state.ny.us](http://www.pb.state.ny.us)

Sincerely,

Julie Hargrave  
Policy and Planning Manager

cc: Judy Jakobsen, Executive Director  
John Milazzo, Commission Counsel

November 22, 2024

Central Pine Barrens Commission  
624 Old Riverhead Road  
Westhampton Beach, NY 11978

Attn: Julie Hargrave

We are the owners of a home located at 135 Hidden Acres Path, Wading River, NY 11792. We have an application for a permit pending with the Town of Riverhead Building Department to put a 20 x 44 Inground Vinyl Swimming Pool on our Property. This pool will replace a semi-inground pool in the same location.

The Town of Riverhead has requested that we provide approval from the Central Pine Barrens Committee as we are in a Compatible Growth Area. No natural vegetation will be cleared with the installation of this inground swimming pool.

Per our conversation, we may not need Central Pine Barrens approval for this swimming pool installation. Please provide a letter that I can give the Town of Riverhead, with either your approval or stating that approval is not needed to allow us to move forward.

If you need additional information, please contact me at 631-375-4386.

Thank you,

Herb and Barbara Steiger  
Homeowners  
135 Hidden Acres Path  
Wading River, NY 11792





# TOWN OF RIVERHEAD

## Building Department

4 W Second Street  
Riverhead, NY 11901  
(631) 727-3200

November 15, 2024

ARTHUR EDWARDS  
929 RT 25A  
MILLER PLACE, NY 11764

RE: Application# 9954 for In Ground Pool  
135 Hidden Acres Path, Wading River  
SCTM # 600-96.-1-14.25

Dear Sir or Madam:

The Building Department is in receipt of your building permit application for the In Ground Pool:  
PROPOSED 20 X 44 INGROUND VINYL SWIMMING POOL  
at the above referenced property. The following requirements must be addressed to further process a building permit:

1. Please provide approval from the Central Pine Barrens Committee as this is in a Compatible Growth Area.
2. Please note that the provided setbacks may require a variance. Additional review pending.
3. Please provide a completed Electrical Application.
4. Your permit fee has been calculated at \$850. Please submit payment. *PD. 11/20/24*
5. Plan review is pending at this time, additional comments may be provided.

Please feel free to contact this office with any further questions.

Sincerely,

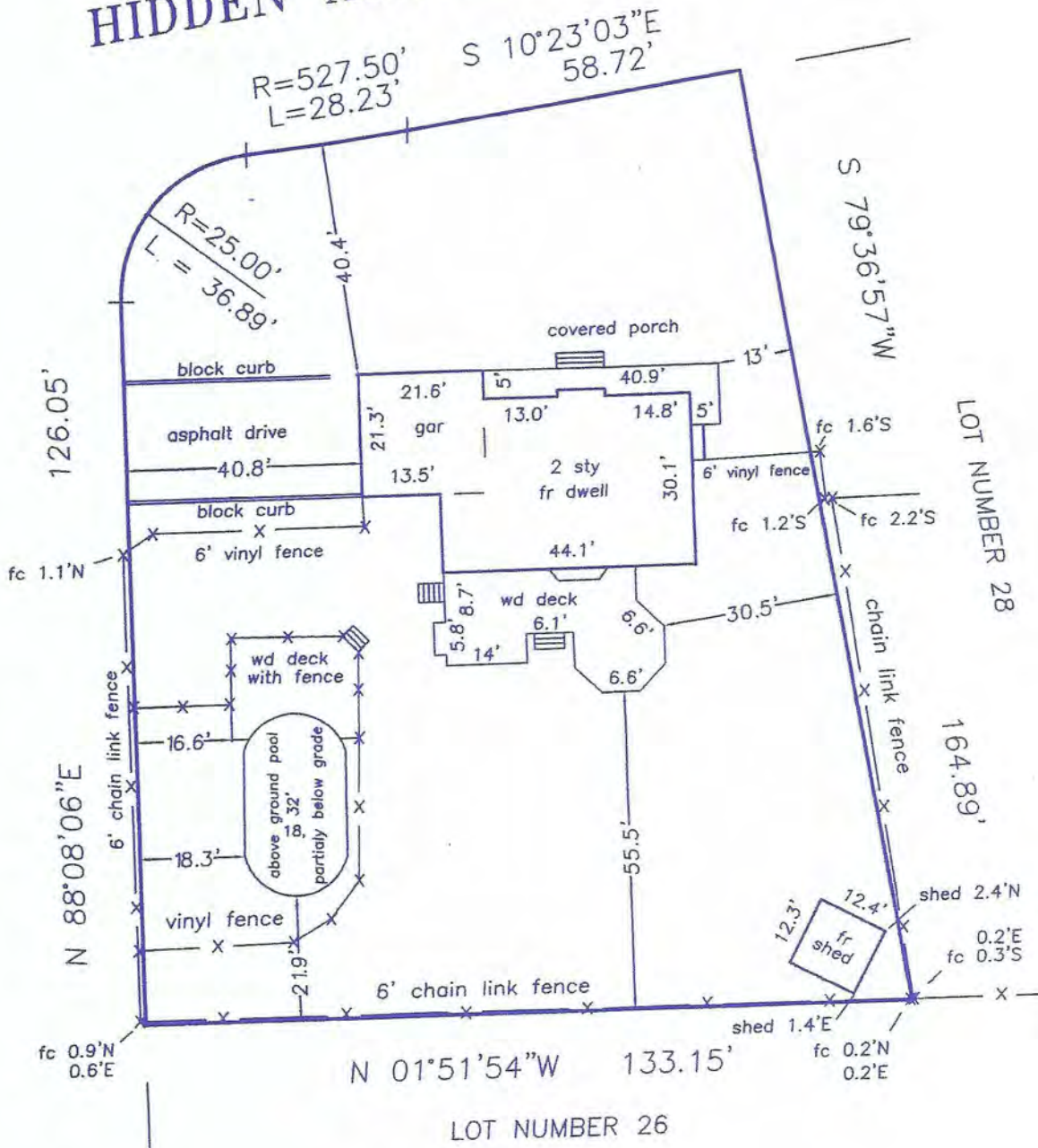
Melissa Kantor

LOT AREA = 18,766 sq.ft. ( 0.43 ACRES )



# HIDDEN ACRES PATH

WOODLAND COURT



THE EXISTENCE OF RIGHT OF WAYS AND OR EASEMENTS OF RECORD, IF ANY, NOT SHOWN ARE NOT GUARANTEED.

THE OFFSETS (OR DIMENSIONS) SHOWN HEREON FROM THE STRUCTURES TO THE PROPERTY LINES ARE FOR A SPECIFIC PURPOSE AND USE AND THEREFORE ARE NOT INTENDED TO GUIDE THE ERECTION OF FENCES, RETAINING WALLS, POOLS, PATIOS, PLANTING AREAS, ADDITION TO BUILDINGS OR ANY OTHER CONSTRUCTION.

UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

JOB No. 12-117

FILE No. MEADOWCREST I

SURVEYED FOR HERB & BARBARA A. STEIGER  
LOT NUMBER 27  
MAP OF MEADOWCREST III AT HIDDEN ACRES



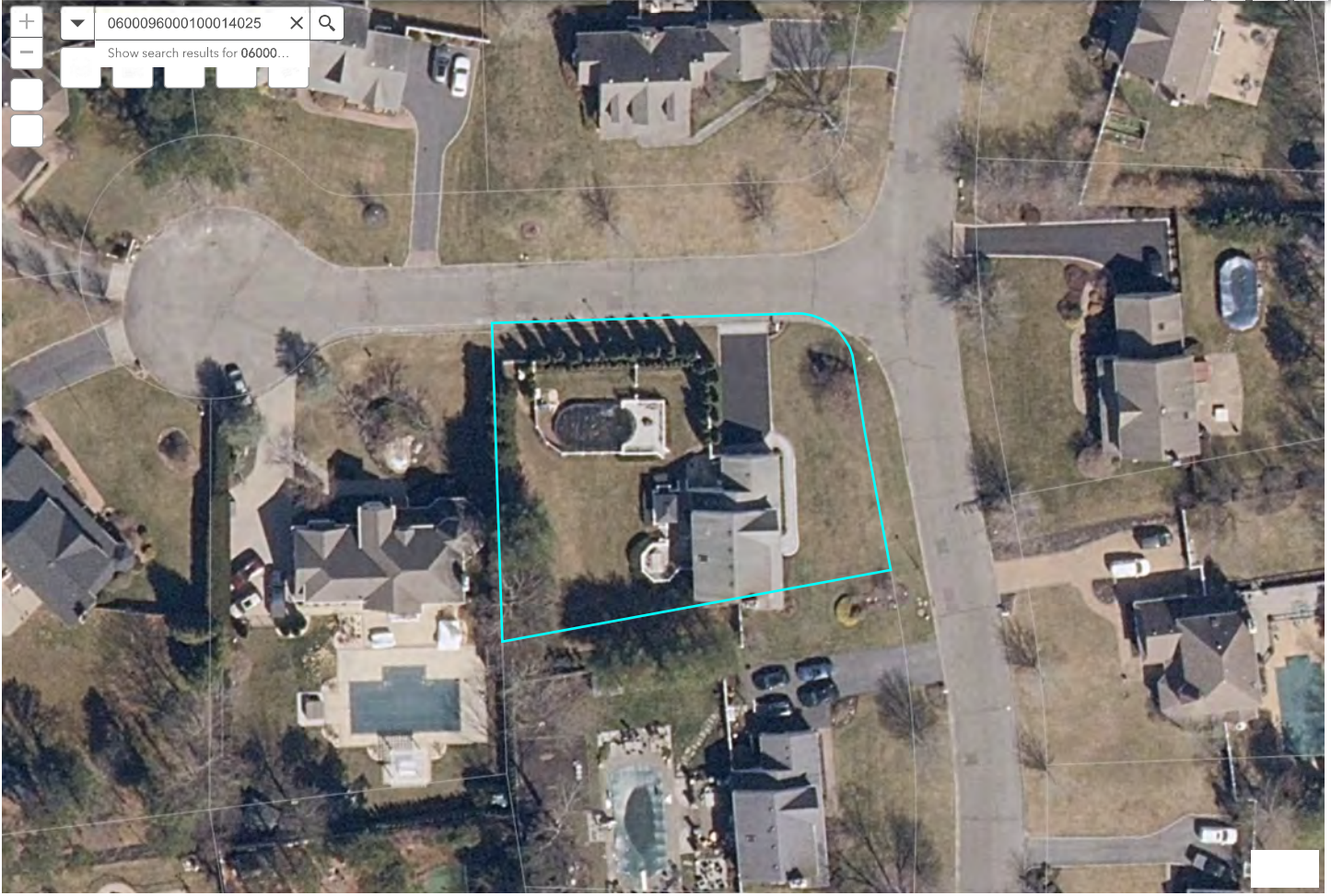


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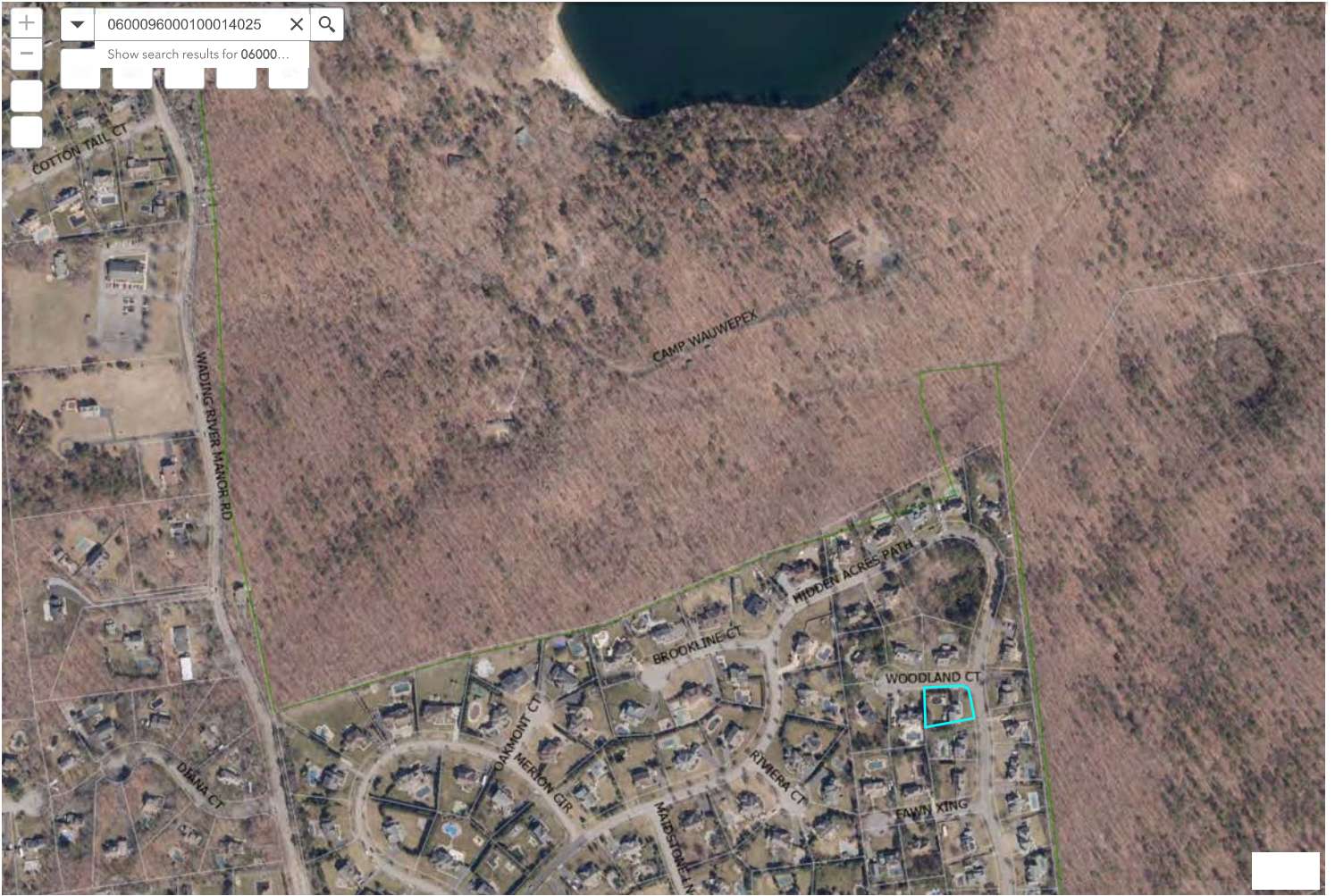
-

0600096000100014025 X Q

Show search results for 06000...



0600096000100014025 X Q  
Show search results for 06000...





DRAFT

December 18, 2024



Amy Moody  
Town of Brookhaven  
Department of Planning, Environment and Land Management  
One Independence Hill  
Farmingville, NY 11738

**RE: Referral: Suffolk Muslim Cemetery, Eastport  
SCTM Numbers 200-684-5-3; 200-685-1-1.1; 200-722-1-1  
Town Log # 23SP0029  
Central Pine Barrens Compatible Growth Area**

Dear Ms. Moody:

On September 26, 2024, the Central Pine Barrens Commission office received a referral of the revised application and site plan for the subject proposal. The project site is in the Central Pine Barrens Compatible Growth Area (CGA). Comments were sent to the Town in response to two referrals and letters dated September 20, 2023 and October 16, 2024 remain valid where still applicable.

Timothy Hubbard  
*Member*

Maria Z. Moore  
*Member*

Daniel J. Panico  
*Member*

Edward P. Romaine  
*Member*

**Existing Conditions and Project Description**

The 28.262 acre property is located on Montauk Highway, east of County Road 51 in Eastport. It is the site of Spadaro Airport. The property is split zoned A Residence 1 (86%) and J Business 2 (14%).

An area of 14.195 acres is in the Compatible Growth Area that is zoned A-1 Residence. The remaining area of the project site is outside of the Central Pine Barrens and not subject to Commission jurisdiction.

The Site Plan prepared by Superior Consulting and Engineering, last revised November 6, 2024, identifies the demolition of existing airport facilities and the development of a cemetery with 25,668 grave plots. Other development includes development of two recharge basins, a 6,000 square foot building, parking and of infrastructure which includes interior roads.

**Central Pine Barrens Status**

The proposal constitutes development activity pursuant to the Long Island Pine Barrens Protection Act (the Act) (New York State Environmental Conservation Law ECL Article 57). Therefore, the proposal must conform to the standards for land use in Chapter 5 of the Central Pine Barrens Comprehensive Land Use Plan (the Plan). If the project does not conform, the application may be revised to conform or the applicant must apply for a CGA Hardship Waiver from the Commission, subject to review and action.

New York State Environmental Conservation Law §57-0123 states:

...“no application for development within the Central Pine Barrens area shall be approved by any municipality or county or agency thereof or the commission, and no state approval, certificate, license, consent, permit, or financial assistance for the construction of any structure or the disturbance of any land within such

624 Old Riverhead Road  
Westhampton Beach, NY  
11978

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<https://pb.state.ny.us/>

DRAFT

area shall be granted, unless such approval or grant conforms to the provisions of such land use plan”...

The application was received by the Town prior to the effective date of the Plan Amendments, therefore, the project is not subject to the Plan Amendments.

Standard 5.3.3.6.1 Vegetation Clearance Limit

The proposal does not appear to conform with this standard. The portion of the project in the CGA, 14.195 acres, is in the A1 Residence Zoning District where the clearing limit is 53%. The Site Plan indicates 65% would be cleared and 35% would remain in its natural condition.

Items that need examined and evaluated include:

- Identify the total area (acres) of the CGA portion of the site presently cleared. This information is not provided. Once this information is provided, it will dictate how much more natural vegetation may be cleared for the project. This information is necessary for the project to demonstrate conformance. The Plan states, “Areas of the site proposed to be cleared combined with the previously cleared areas shall not exceed the percentages in Figure 5-1.”
- Correct the clearing limit from 65% to 53% in the Site Plan. Once the correct limit is applied and the amount of existing cleared area and proposed clearing is provided, it can be determined if the project conforms, if it needs to be revised to conform, or if it requires a hardship, subject to discretionary action by the Commission.
- The EAF Part 1 lists 25.992 acres of “meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)” and 2.27 acres of “roads, buildings and paved or impervious surfaces.” However, the site is significantly cleared of natural vegetation except for areas on the perimeter and built with an old airport, runway and other facilities. Please clarify this information and characterize the habitat on the project site.

The proposal must conform to all other involved agency jurisdictions and permit requirements in effect on the project site. Thank you for your attention, and if you have any questions, please do not hesitate to contact me at (631) 218-1192.

Sincerely,

Julie Hargrave  
Policy and Planning Manager

cc: Judy Jakobsen, Executive Director  
John C. Milazzo, Counsel



**RECEIVED**

By Planning Department at 12:39 pm, Nov 13, 2024

**TOWN & COUNTY COMMENTS AND RESPONSES**

**Response Prepared by Tahir Qureshi, PE**

**November 6, 2024**

**Project Construction Work Scope:**

1. Full Environmental Assessment Form is updated.
2. Existing decks, sheds and other buildings will be demolished, see Sheet Z1.0 for demolition plan. A new 6000 SF single story building is being proposed.
3. Graveyard will be developed in 2 Phases; Phase 1 at south end area 7.752 Acres and Phase-2 remaining area 20.511 Acres, see Sheet Z1.0 for description and hatched area for Phase-1 and other details for various area calculations.
4. Drainage and grading as per Site Plan Sheets HYD-1 to HYD-5. Recharge Basin 1 will be constructed in Phase-1. Remaining grading defer to future when all grave lots are filled in Phase-1 area of 7.752 acres land moving from south end to north. No access material will be removed from the side, all cut and fill will balance off as per proposed grading shown on Sheet HYD-5.
5. Construct front entrance and parking, see Sheets Z1.0 and C3.7.
6. Existing Building will be altered/renovated to add office and toilets. One building will maintain Residential use and second building will have office use as per plans provided. A new single story 6,000 SF building will be constructed for wake service before burial if required.
7. Grave lots layout as per Sheets C3.1 to C3.5. It is expected to use average of 1,000 Grave lots per year initially for the first 10 years. Phase-1 area 7.752 acres of land at southern end will be made ready for use at the beginning.

**COUNTY OF SUFFOLK, DEPARTMENT OF HEALTH SERVICES**

**RECEIVED BY PLANNING OCTOBER 8, 2023**

The Suffolk County Department of Health Services (SCDHS; "Department") has received your letter dated SEPTEMBER 26, 2024 concerning the above referenced application.

Based on a review of the subject coordination, the Department offers the following comments. However, the Department wishes to reserve its right to provide more detailed information within the comment period(s) established for this action. These comments should not be construed as an implicit SCDHS approval or rejection of the project. All applications are reviewed thoroughly with respect to Suffolk County Sanitary Code concerns by appropriate departmental personnel when SCDHS applications are submitted.

**Response: Project will comply with Suffolk County Sanitary Code and will obtain permit to update subsurface sewage disposal system.**

**TOWN DEPARTMENT OF PUBLIC SAFETY**

**RECEIVED OCTOBER 11, 2024 FROM FM KEITH WILLAIMS**

**COMMENTS:**

The captioned revised site plan is being returned unapproved. Revised application indicates a NEW 6000 SF building, triggering the requirement to demonstrate compliance with Chapter 5 of the FCNYS regarding the nearest fire hydrant OR the installation of one, which must be no more than 400 feet from the furthest point of the building **along an approved access road**; 600 feet if the building is equipped with a fire sprinkler system.

**RESPONSE: PRIVATE FIRE HYDRANT WILL BE PROVIDED, SEE SHEET C3.7.**

**TOWN HIGHWAY DEPARTMENT**

**RECEIVED OCTOBER 25, 2024 FROM KEITH GENDRON**

**COMMENTS:**

TOWN OF BROOKHAVEN DOES NOT MAINTAIN MONTAUK HIGHWAY, NEED PERMIT FROM SCDPW.

**RESPONSE: AGREED.**

**TOWN PLANNING, RECEIVED FROM AMY MOODY, EMAIL OCT 25, 2023**

1. The Supervisor is not in favor of the fence/gates/wall with large sign at the Montauk Highway frontage. You stated below that “We will revise front as per supervisor comments.”  
**RESPONSE: PROPOSED FRONT OPEN FENCE WILL BE 4’ TALL WITH NO GATE, SEE SHEET C3.7 FOR DETAILS.**
2. Lighting – there are no lighting plans. You noted that none was proposed for cemetery. What about for the parking area, building area, and entrance in the front of the site?  
**RESPONSE: THERE WILL BE NO OPERATION PAST 4PM. LIGHTING AROUND BUILDING WILL BE PROVIDED AS PER CODE.**
3. Signage – it seems that only one sign is proposed on the front fence-correct? It is 72 SF which requires a sign area variance, yet you represented in your letter that all signage would comply... It would also need sign variances for setback from the street and from the restriction against signs on fences.  
**RESPONSE: THERE WILL BE NO SIGN PROPOSED ON FRONT FENCE. PROPOSED FRONT SIGN WILL MEET TOWN CODE WITH 22’ FRONT SETBACK. SEE SHEET C3.7 FOR DETAILS.**
4. Fence (dimensional) – sheet Z1.0 labels the fence as 4’ high, which conflicts with sheet C3.7 which shows 6’ piers and 5’-10” gates and wall/fence sign panel. Need clarity on variances sought / if you want to revise to comply, and please provide detail/picture to demonstrate if fence is ‘open’ so as not to obstruct visibility per Town fence code.  
**RESPONSE: PROPOSED FRONT OPEN FENCE WILL BE 4’ TALL WITH NO GATE. SEE SHEET C3.7.**



5. Buildings (dimensional) – You have not fully addressed my original request to clarify what structures that are to be retained have CO's or not. Where is the CO for the house, the other adjacent building you're adding onto, and the three hangers you're retaining? ...Are there CO's? Are you in process of obtaining CEU or CZC or LOC? Are all existing buildings proposed to be legalized with the subject site plan application? The zoning table on sheet Z1.0 uses asterisks to denote BZA variances required, and uses them relative to non-compliance for the hangers – but not for the house and adjacent building – why?

**RESPONSE: WE FOIL AND OBTAINED TOWN RECORDS AND SUBMITTED WITH PLANNING APPLICATION. OBVIOUSLY THERE ARE EXISTING BUILDING AND STRUCTURES WITH NO C.O. AND WILL REQUIRE SETBACK VARIANCES TO KEEP THESE EXISTING BUILDINGS. WE WAIT FOR ZONING VIOLATIONS REPORT TO CONTACT BZA.**

6. Question regarding building use: What do you mean in the floor plans by “proposed graves concrete boxes storage?” ... What is the use of the building?

**RESPONSE: THIS PART OF BUILDING WILL BE USED AS AN ACCESSORY TO THE SITE USE AND FOR STORAGE.**

## **COUNTY OF SUFFOLK**

### **DEPARTMENT OF ECONOMIC DEVELOPMENT AND PLANNING**

**RECEIVED BY PLANNING, OCT 25, 2024**

We received the revised Site Plan and Special Permit referral application for the Suffolk Muslim Cemetery on September 29, 2024. As noted in the cover letter that was submitted to the Suffolk County, a site plan and special permit application were previously referred to Suffolk Planning Commission (SCPC) staff on August 17, 2023. Upon review of the referral materials that were submitted by the Town, staff determined that clarification and additional information were needed for staff to complete their review. A letter dated September 27, 2023 (attached), was sent to your office notifying the Town of the same. This letter went on to identify specific components of the site plan/special permit that required clarification and/or additional information. Upon review of the revised site plan and special permit referral application for the Suffolk Muslim Cemetery; staff does not feel that the applicant has adequately addressed questions/concerns identified in the letter dated 9/27/23. While some sections of the EAF appear to have been updated, there are still sections that do not accurately correspond to the revised site plans. For instance, some sections of the EAF have been updated to state that 20 acres of land will be physically disturbed, but others do not. This is of specific interest to the County as it relates to stormwater recharge and the applicants plan for managing stormwater runoff. Staff noticed that the revised plans now include the establishment of two somewhat large recharge basins; yet the applicant did not provide responses to questions in EAF that specifically ask about stormwater management. In addition to the need for the applicant to develop a Stormwater Pollution Prevention Plan for each phase of construction and submit the same to the Town; staff also feel additional information about the proposed recharge basins is needed. It appears that one of the proposed recharge areas is located within the Compatible Growth Area (CGA) and is also in close proximity to a stream. Are additional permits authorization from other regulatory agencies required for the clearing/siting of the proposed recharge basin in this location? Specifically, does the revised site plan conform to the Central Pine Barrens Comprehensive Land Use Plan and §85-718 Central Pine Barrens District and Attachment 6 Figure 5-1 Clearing Standards of Brookhaven Town Code?

Staff is aware that the Central Pine Barrens Joint Planning and Policy Commission have also requested additional information/documentation of compliance with their Land Use Plan.

Demonstration of conformance in the CGA should be documented as part of the revised application. It is also concerning that given the project's location within a Special Groundwater Protection Area (SGPA) that a recent spill, which has not been closed by the NYSDEC, was not identified on the EAF; nor were steps for the remediation identified. Given the property's history as an airfield with numerous garages/plane hangars, etc. has sampling been conducted to determine if there is any contamination of the soil? Additionally, given the proposed project's location within a SPGPA, it is important to protect water resources and avoid groundwater contamination; therefore, referral materials should be updated to verify that the revised site plans/special permit are in compliance with the Suffolk County Sanitary Code for nonresidential uses.

As determined by the Town, this project is a Type I action with possible significant environmental impacts.

Thus, the Town is required to implement the State Environmental Quality Review Act (SEQRA) procedures to assess the potential impacts, determine the level of significance, if any, and identify possible mitigation measures. It is SCPC staff's belief that clarification and/or additional information being sought by staff, such as, potential impacts on the land, groundwater, plants & animals, critical environmental areas, historical resources, community character, human health, etc., that could occur as a result of the phased establishment of the proposed 25, 668 graves and construction/redevelopment of structures with frontage along Montauk Highway may be provided by the completion of the SEQRA process.

Once completed by the Town please submit Part II and III of the EAF to the County for our review and respective referral file. Pursuant to NYS GML §239, Sections A14-14 to 22 of the Suffolk County Administrative Code and Chapter 2.1 of the Suffolk County Planning Commission Guidebook, the above captioned referral shall not be reviewed until the information discussed below is submitted through the offices of the municipal referring agency. With respect to the environmental quality review on this project, the Suffolk County Planning Commission reserves the right to comment on this proposed action in the future and requested to be kept informed of all actions taken pursuant to SEQRA.

**RESPONSE: EAF UPDATED TO MATCH SITE PLANS. AS MENTIONED BEFORE MOST OF THE LAND WILL BE DISTURBED AT SOME TIME IN FUTURE AS PER GRAVE LOTS LAYOUT.**

## **COUNT OF SUFFOLK – DEPARTMENT OF PUBLIC HIGHWAYS**

**RECEIVED OCTOBER 16, 2024 FROM NIAMH PERROTTA**

### **COMMENTS:**

INSTALL CURB AND SIDEWALK ALONG ENTIRE FRONTAGE OF CR80. SHOW DETAILS.

CHANGE EXISTING FLUSH GRATE TO CURB INLET AND ADD 1 TYPE "D" LEACHING BASIN ON THE WEST SIDE OF PROPERTY AS PER GRADE. SHOW DETAILS.

INSTALL "STOP" SIGN AT ACCESS (R1-1-30"X30")

ALL FENCES, GATES, AND LANDSCAPING NEED TO BE ON PRIVATE PROPERTY.

**RESPONSE: ALL REQUIRED IMPROVEMENTS WILL BE PROVIDED WITH A PERMIT APPLICATION TO SCDPW. STOP SIGN, 2 CURB INLET WITH TYPE "D" LEACHING BASIN, SIDEWALK AND CONTINUOUS CURB SHOWN. NOTES ADDED TO OBTAIN PERMIT T O WORK IN COUNTY ROW AND ALL WORK SHALL BE AS PER SUFFOLK COUNTY DPW SPECS.**





# Town of Brookhaven Long Island

DATE: 11-19-2024

TO: Division of Environmental Protection  
Division of Fire Prevention  
Land Management  
Pine Barrens  
LKB

FROM: Amy Moody  
Planning Division

RE: Site Plan: SUFFOLK MUSLIM CEMETERY, Log Number: 23SP0029 , **REVISED SUBMISSION**

Old airport to be converted for Human Cemetery. Demo small sheds and structures, new front railing and gates, drainage along existing roadway/parking and two recharge basins, new parking, landscape and related site improvements. Keep existing residential building as is and one existing building to be renovated for office use, plus one new 6000 sq ft building for funeral service use.

n Side of MONTAUK HWY, ' of ,  
Suffolk County Tax Map #: 0200-722.00-01.00-001.000, 0 acres.

---

Please be advised that the Planning Board of the Town of Brookhaven has received a **revised submission** for the above referenced action. For your review and consideration, please find enclosed a copy of the revised site plan.

The Planning Board would like to encourage your agency to make any comments or suggest mitigation measures, particularly with respect to your areas of expertise and jurisdiction, which would enhance the utilization of this site or provide additional protection to the community.

It is requested that any comment letter be sent directly to the applicant with a copy to this office. Your reply is kindly requested within 30 days of the date of this mailing.

Thank you for your continued cooperation. If you have any questions or need any further information, please contact this Division.

Enc. (Site Plan)

**Planning, Environment and Land Management  
James M. Tullo, Commissioner**

One Independence Hill • Farmingville • NY 11738 • Phone (631) 451-6400 • Fax (631) 451-6419  
www.brookhavy.gov

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**



**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Suffolk Muslim Cemetery		
Project Location (describe, and attach a general location map): 91 Montauk Highway, East Moriches, NY 11940		
Brief Description of Proposed Action (include purpose or need): An old Airport (Spadaro Airport) 28.262 Acres land to be converted for Human Cemetery. Demo small sheds and Structures, New Front Railing and Gates, Drainage along Existing Roadway/Parking and 2 Recharge Basins, New Parking, Landscape and related site improvements. Keep Existing Residential Building as is and One Existing building to be renovated for Office use plus one New 6,000 SF Single Story Building for Funeral Service use.  This site is being developed for human burial grounds.		
Name of Applicant/Sponsor: Ghulam Sarwar	Telephone: 631-741-1137	E-Mail: sarwarsal@yahoo.com
Address: 755 Waverly Avenue, Suite # 220		
City/PO: Holtsville	State: NY	Zip Code: 11742
Project Contact (if not same as sponsor; give name and title/role): Same as above	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): SA LI Holdings, INC & LIMC Enterprises, Inc.	Telephone: 631-741-1137	E-Mail: sarwarsal@yahoo.com
Address: 755 Waverly Avenue, Suite # 220		
City/PO: Holtsville	State: NY	Zip Code: 11742



**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees		
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Brookhaven Planning Board, Special Permit	9/08/2024
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SCDHS Sanitary System Permit	11/20/2024
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Suffolk County Long Island Regional Planning Review	9/08/2024
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? YesNo

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? YesNo

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? YesNo

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) YesNo

If Yes, identify the plan(s):

Remediation Sites:152224

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? YesNo

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?

A1 Residential and J2 Business

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? East Moriches UFSD

b. What police or other public protection forces serve the project site?  
Sufflok County Police Department

c. Which fire protection and emergency medical services serve the project site?  
East Moriches

d. What parks serve the project site?  
Eastport South Manor Athletic Complex

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Human Cemetery

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 28.262 acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ 23.268 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 28.262 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) \_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_ 2
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ 3 month \_\_\_\_\_ 0 year
- Anticipated completion date of final phase \_\_\_\_\_ 0 month \_\_\_\_\_ 25 year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

This is a human graveyard, as the demand for graves lots will increase the land will be used for graves. Phase 1 will be required to start the Graveyard operation. \_\_\_\_\_



f. Does the project include new residential uses?  Yes  No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No

If Yes,

i. Total number of structures \_\_\_\_\_

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No

If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

## D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

i. What is the purpose of the excavation or dredging? Install Drainage Drywells along existing roadway and 2 Recharge Basins for Runoff storage

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): 840
- Over what duration of time? 6 Months

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
Dispose excavated Brown Sand and Gravel from Drywell installation

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
\_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: SCWA
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No



• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 Subsurface Sewage System meeting Suffolk County Department of Health Services Sanitary Code and Standards  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_

• If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_

• Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

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k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 8 am to 4 pm</li> <li>• Saturday: _____ none</li> <li>• Sunday: _____ none</li> <li>• Holidays: _____ none</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 8 am to 4 pm</li> <li>• Saturday: _____ 8 am to 4 pm</li> <li>• Sunday: _____ none</li> <li>• Holidays: _____ none</li> </ul>
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<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span></p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> <li>• Construction: _____ tons per _____ (unit of time)</li> <li>• Operation : _____ tons per _____ (unit of time)</li> </ul> <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> <li>• Construction: _____</li> <li>• Operation: _____</li> </ul>	

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 Garden & Landscaping Supplies store, Barber & Beauty Shop, Residential Houses, Animal Hospital, Restaurant and Auto Retail/Repair Shop.

b. Land uses and covertypes on the project site.

Land use or Coverture	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	2.27	2.27	0
• Forested	0	0	
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	25.992	25.992	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: _____ _____			



c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): 152224  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): 152224  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

This site location is not within project property or owned by applicant. DEC ID # 152224 is located on Riverhead Road, West Hampton, NY on 9225 Acres as NYSDEC Records obtained.

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ 40 +/- feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: Brown Sand and Gravel \_\_\_\_\_ 100 %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 31 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 90% of site  
 Moderately Well Drained: \_\_\_\_\_ 10 % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name 920-54 Classification C
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name Federal Waters, Federal Waters, Federal Waters Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: Sole Source Aquifer Names:Nassau-Suffolk SSA



m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 None \_\_\_\_\_  
 \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No  
 If Yes:  
 i. Species and listing (endangered or threatened): \_\_\_\_\_  
 Northern Long-eared Bat  
 \_\_\_\_\_

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No  
 If Yes:  
 i. Species and listing: \_\_\_\_\_  
 \_\_\_\_\_

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_  
 \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_  
 \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: Coastal Zone Area South, SGPA, Central Suffolk Pine Barrens  
 ii. Basis for designation: Protect public health, open space and wetlands, Protect groundwater, Benefit to human health & pr...  
 iii. Designating agency and date: Agency:Brookhaven, Town of, Agency:Long Island Regional Planning, Agency:Suffolk County...

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: \_\_\_\_\_

iii. Brief description of attributes on which listing is based: \_\_\_\_\_

---

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

---

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

---

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: \_\_\_\_\_

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_

iii. Distance between project and resource: \_\_\_\_\_ miles.

---

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

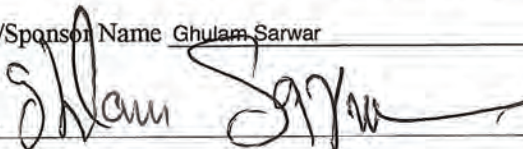
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

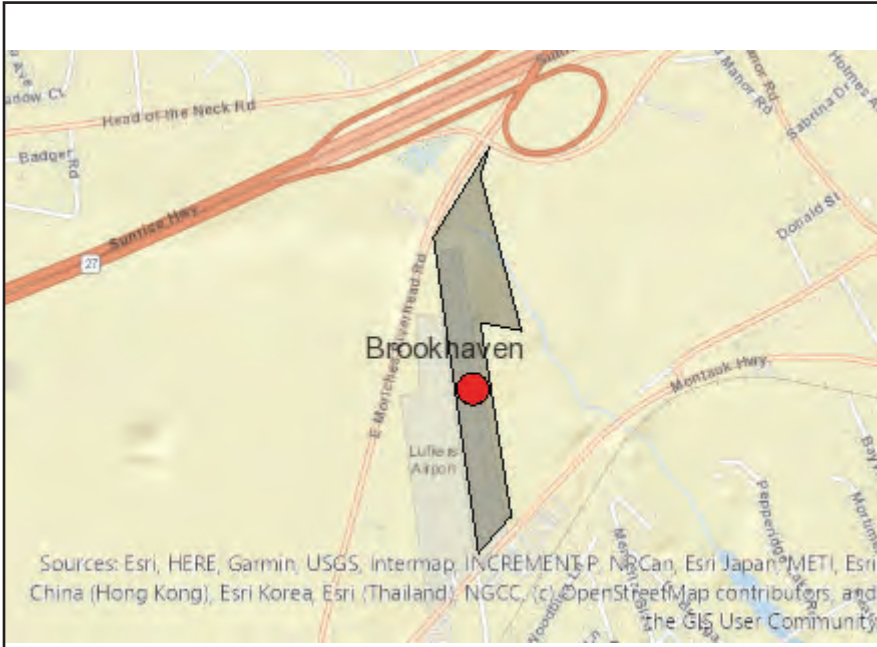
**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Ghulam Sarwar Date 8/9/2023

Signature  Title Applicant / Owner





**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



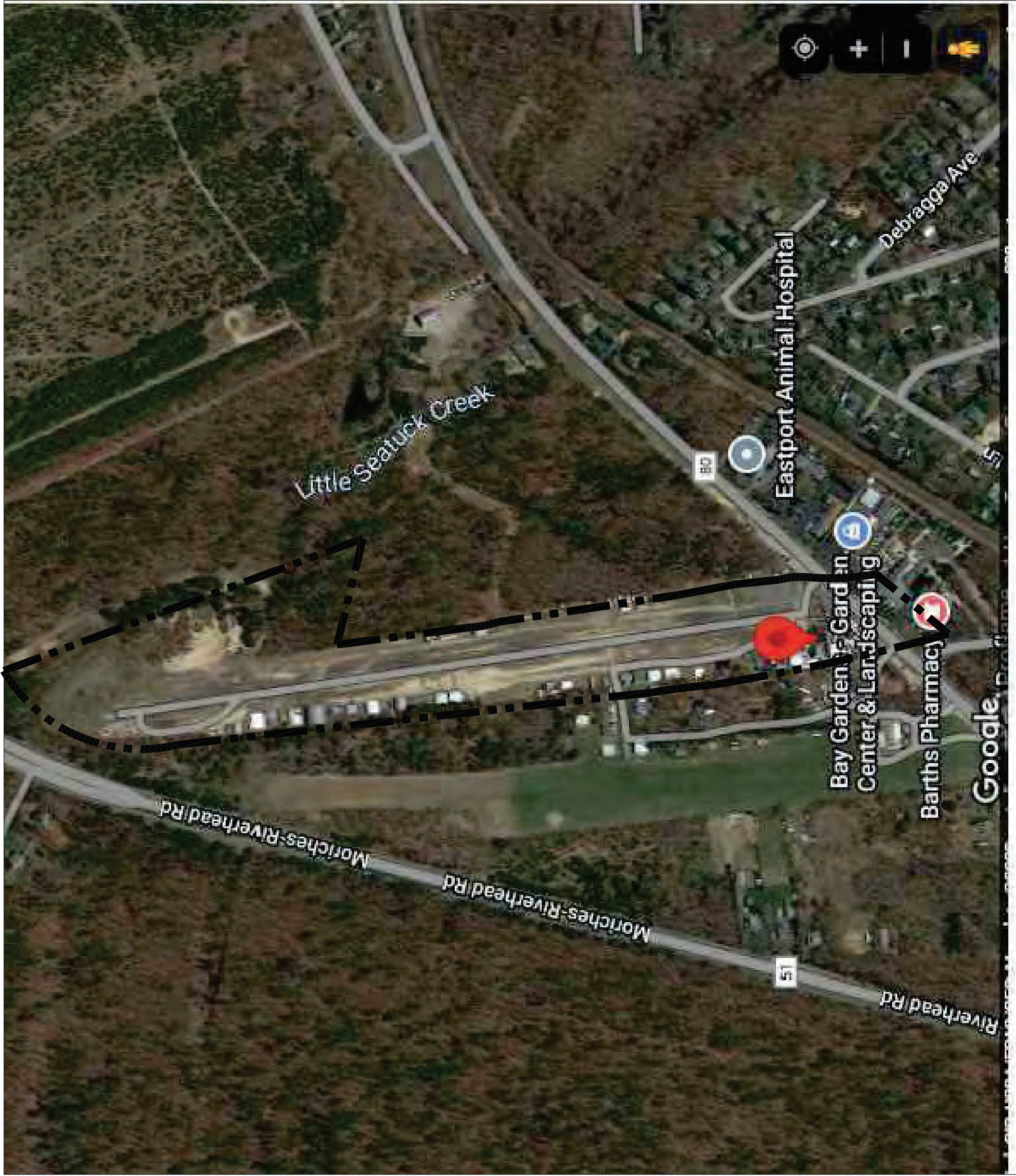
B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	Remediation Sites:152224
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Yes - Digital mapping data for Spills Incidents are not available for this location. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Yes
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Yes
E.1.h.i [DEC Spills or Remediation Site - DEC ID Number]	152224
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	152224
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	920-54
E.2.h.iv [Surface Water Features - Stream Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters

E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Sole Source Aquifer Names:Nassau-Suffolk SSA
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Northern Long-eared Bat
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	Yes
E.3.d [Critical Environmental Area - Name]	Coastal Zone Area South, SGPA, Central Suffolk Pine Barrens
E.3.d.ii [Critical Environmental Area - Reason]	Protect public health, open space and wetlands, Protect groundwater, Benefit to human health & protect drinking water
E.3.d.iii [Critical Environmental Area – Date and Agency]	Agency:Brookhaven, Town of, Agency:Long Island Regional Planning, Agency:Suffolk County, Date:5-18-87, Date:3-19-93, Date:2-10-88
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No



# SUFFOLK MUSLIM CEMETERY

SCTM 0200-722.00-01.00-001.000, 0200-684.00-05.00-003.000, 0200-685.00-01.00-001.001 & 0200-685.00-01.00-014.000

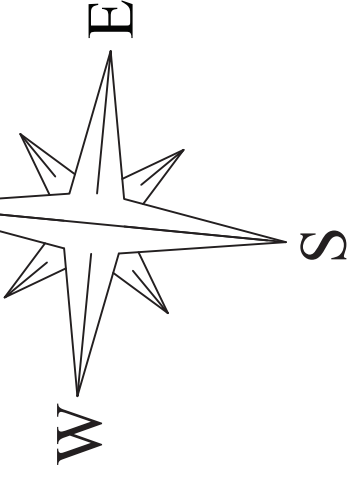


**AERIAL MAP**

SCALE: 1/128" = 1'-0"

NOTE FOR PROTECTION OF THE NORTHERN LONG-EARED BAT (MYOTIS SEPTENTRIONALIS):  
THE NORTHERN LONG-EARED BAT (NLEB) IS LISTED AS AN ENDANGERED SPECIES BY THE NYS DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC). TREES (6 INCHES DBH SIZE OR LARGER) SHALL ONLY BE CUT DURING THE MONTHS OF APRIL THROUGH SEPTEMBER OF ANY YEAR. ANY EXCEPTION TO THIS REQUIREMENT MUST BE APPROVED BY NYSDEC IN ADVANCE OF THE CUTTING.

- TOWN STANDARD NOTES:**
- ALL CONCRETE CURBING, SIDEWALKS, AND DRAINAGE STRUCTURE SHALL CONFORM TO PLANNING BOARD STANDARDS.
  - TOWN OF BROOKHAVEN ENGINEERING INSPECTOR IN THE DEPARTMENT OF PLANNING, ENVIRONMENT AND LAND MANAGEMENT SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ALL CONSTRUCTION AT 631-461-6400 BETWEEN THE HOURS OF 9:00AM- 4:30PM MONDAY THROUGH FRIDAY.
  - PLEASE CONTACT THE DIVISION OF ENGINEERING AT (631)451-6400 TO SCHEDULE A PRE-CONSTRUCTION MEETING 48 HRS PRIOR TO THE COMMENCEMENT OF ANY AND ALL CONSTRUCTION ACTIVITIES.
  - CONTRACTORS SHALL NOTIFY THE TOWN OF BROOKHAVEN ENGINEERING DEPARTMENT, 300 WOODLAND AVENUE, BROOKHAVEN, NY 11793, PRIOR TO CONSTRUCTION.
  - ALL TRAFFIC CONTROL DEVICES, I.E. SIGNALS, SIGNS, AND PAVEMENT MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH THE GUIDELINES OF THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND AS DIRECTED BY THE TOWN OF BROOKHAVEN, DIVISION OF TRAFFIC SAFETY.
  - THE CONTRACTORS PERFORMING ANY AND ALL TRAFFIC CONTROL DEVICES LAYOUT AND INSTALLATION WORK SHALL NOTIFY THE PLANNING BOARD, TOWN OF BROOKHAVEN, DIVISION OF TRAFFIC SAFETY, 48 HOURS IN ADVANCE OF BEGINNING SUCH WORK.
  - ALL PAVEMENT MARKINGS REQUIRED SHALL BE THERMOPLASTIC (SUFFOLK COUNTY SPECIFICATIONS) UNLESS OTHERWISE NOTED ON PLAN.
  - STOP LINE SIGHT DISTANCE SHALL BE MAINTAINED AT ALL INTERSECTIONS IN ACCORDANCE WITH AASHTO REQUIREMENTS.



**PLOT PLAN**

SCALE: 1" = 200'-0"

**GRAVES SUMMARY**

SECTION	GRAVES
A	999
B	1007
C	1692
D	753
E	1432
F	1033
G	1534
H	1104
J	1935
K	985
L	481
M	4868
N	560
P	4019
Q	281
R	2803
AN	182
<b>TOTAL GRAVES</b>	<b>25,668</b>

**DRAWINGS INDEX**

SHEET NO.	DESCRIPTION
C1.0	COVER SHEET
Z1.0	ZONING INFORMATION
C3.1	GRAVES SITE LAYOUT
C3.2	GRAVES SITE LAYOUT
C3.3	GRAVES SITE LAYOUT
C3.4	GRAVES SITE LAYOUT
C3.5	GRAVES SITE LAYOUT
C3.7	FRONT SITE PLAN & ELEVATION
D4.0	SOIL BORINGS
D4.01	CIVIL DETAILS
HYD-1	GRADING/DRAINAGE
HYD-2	GRADING/DRAINAGE
HYD-3	EROSION CONTROL SITE PLAN
HYD-4	EROSION CONTROL SITE PLAN
HYD-5	CUT & FILL ANALYSIS & VOLUMES
A-1	EXISTING HOUSE FLOOR PLANS
A-2	EXISTING HOUSE ELEVATIONS
A-3	EXISTING BUILDING FLOOR PLAN
A-4	EXISTING BUILDING ELEVATIONS
A-5	NEW BUILDING FLOOR PLAN
A-6	NEW BUILDING ELEVATIONS

**OWNERS:**

- S.C.T.M. NO. 200-722-01-001  
LIMC Enterprises, Inc.
- S.C.T.M. NO. 200-684-05-003  
SA LI Holdings, Inc.
- S.C.T.M. NO. 200-685-01-001.001  
SA LI Holdings, Inc.
- S.C.T.M. NO. 200-685-01-014  
LIMC Enterprises, Inc.

**ZONING ANALYSIS**

ZONE	AREA
A1	1,066,762 S.F. (86.65%)
J2	164,347 S.F. (13.35%)
<b>TOTAL AREA</b>	<b>1,231,109 S.F.</b>

NOTE: A1 AREA > 75% OF TOTAL, HENCE PROJECT WILL FOLLOW A1 ZONING AS EFFECTIVE ZONING.  
NOTE: HUMAN CEMETERY ALLOWED IN ZONE A1 AREA WITH PB SPECIAL PERMIT.

SWPPP NOTE:  
SWPPP REQUIRED AND PROVIDED.

**SURVEY OF DESCRIBED PROPERTY SITUATE AT EAST MORICHES TOWN OF BROOKHAVEN SUFFOLK COUNTY, NEW YORK**

- S.C.T.M. NO. 200-722-01-001  
LOT AREA = 578,724 S.F. / 13.285 ACRES
- S.C.T.M. NO. 200-684-05-003  
LOT AREA = 216,789 S.F. / 4.976 ACRES
- S.C.T.M. NO. 200-685-01-001.001  
LOT AREA = 401,618 S.F. / 9.219 ACRES
- S.C.T.M. NO. 200-685-01-014  
LOT AREA = 33,978 S.F. / 0.780 ACRES

TOTAL AREA = 1,231,109 S.F. / 28.262 ACRES  
TOTAL NUMBER OF GRAVE PLOTS = 26,024

**C.G.A AREAS:**

- S.C.T.M. NO. 200-684-05-003  
CGA LOT AREA = 216,789 S.F. / 4.976 ACRES
- S.C.T.M. NO. 200-685-01-001.001  
CGA LOT AREA = 401,618 S.F. / 9.219 ACRES
- TOTAL CGA AREA = 618,407 S.F. / 14.195 ACRES

**SUPERIOR CONSULTING AND ENGINEERING**  
183 BROADWAY, SUITE 317  
HICKSVILLE, NY

**SUFFOLK MUSLIM CEMETERY**  
91 MONTAUK HIGHWAY,  
EAST MORICHES NEW YORK STATE

**REVISIONS**

REV #	DATE	DESCRIPTION
1	9/13/2024	REVISED AS PER TOWN PRELIMINARY REVIEW

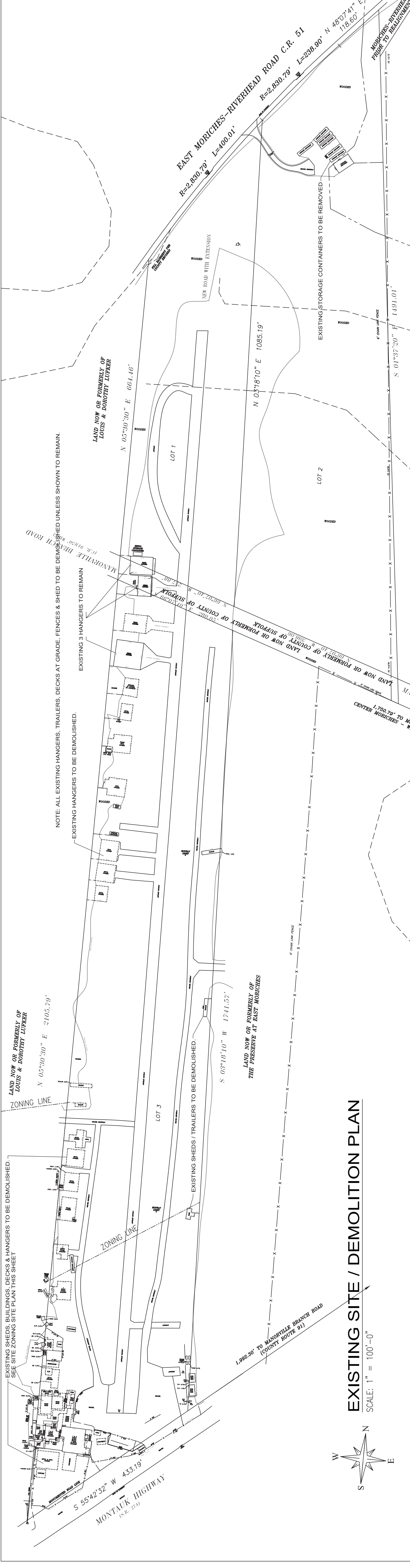
DRAWN BY: TK  
CHECKED BY: VB

ENGINEER  
**RAMAN KUMAR, PE**

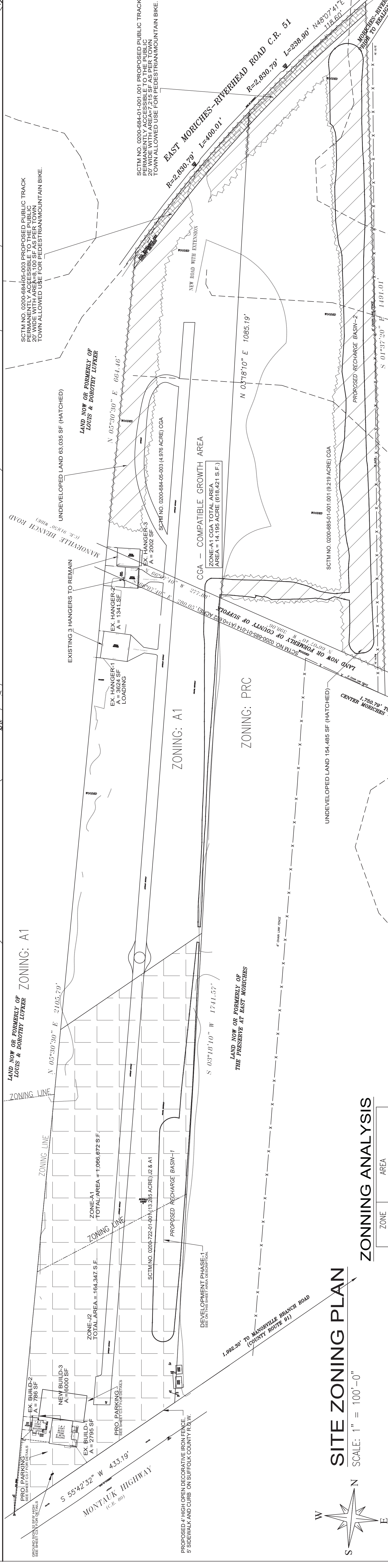


**COVER SHEET**  
DRAWING TITLE:  
DATE: 8/13/2023  
DRAWN BY: TK  
CHECKED BY: TK  
PROJECT NO: 23CPO1  
DRAWING NO: C1.0





**EXISTING SITE / DEMOLITION PLAN**  
SCALE: 1" = 100'-0"



**SITE ZONING PLAN**  
SCALE: 1" = 100'-0"

**ZONING ANALYSIS**

ZONE	AREA
A1	1,066,762 S.F. (86.65%)
J2	164,347 S.F. (13.35%)
<b>TOTAL AREA</b>	<b>1,231,109 S.F.</b>

NOTE: A1 AREA > 75% OF TOTAL, HENCE PROJECT WILL FOLLOW A1 ZONING AS EFFECTIVE ZONING.  
NOTE: HUMAN CEMETERY ALLOWED IN ZONE A1 AREA WITH PB SPECIAL PERMIT.  
SWPPP NOTE: SWPPP REQUIRED AND PROVIDED.

**DEVELOPMENT PHASING:**

PHASE-1: 337,665 SF = 7.752 ACRES  
(HATCHED AREA INCLUDING RECHARGE BASIN-1)  
STARTING AT SOUTH/EAST CORNER OF PROPERTY;  
THENCE S55°42'32"W 433.19'; THENCE N05°30'30" 1080.00';  
THENCE N55°42'32"E 433.19'; THENCE S03°18'10"W 1047.19';  
ENDING AT STARTING POINT S/E CORNER OF PROPERTY.  
PHASE-2: 893,444 SF = 20.511 ACRES

**SURVEY OF DESCRIBED PROPERTY**

S.C.T.M. NO. 200-722-01-001  
LOT AREA = 578,724 S.F. / 13.285 ACRES  
S.C.T.M. NO. 200-684-05-003  
LOT AREA = 216,789 S.F. / 4.976 ACRES  
S.C.T.M. NO. 200-685-01-001.001  
LOT AREA = 401,618 S.F. / 9.219 ACRES  
S.C.T.M. NO. 200-685-01-014  
LOT AREA = 33,978 S.F. / 0.780 ACRES  
TOTAL AREA = 1,231,109 S.F. / 28.262 ACRES  
TOTAL NUMBER OF GRAVE PLOTS = 25,668

**PARKING:**

EXISTING RESIDENCE = 1  
OFFICE EMPLOYEES = 6  
VISITORS = 20  
TOTAL PARKING REQUIRED = 27  
TOTAL PARKING PROVIDED = 28 (SEE SHEET C3.7)  
FUNERAL/BURIAL PROCESSION PARKING ALONG ROADWAY  
**LANDSCAPING:**  
PROPOSED AREA = 13,145 SF (1.1%) (SEE SHEET C3.7)  
FERTILIZER-DEPENDENT WITH IRRIGATION

**PROPOSED PUBLIC TRACK**

PROPOSED AREA = 15,315 SF (NORTH END, 20' WIDE TRACK)  
TOWN ALLOWED USE FOR PEDESTRIAN/MOUNTAIN BIKE

DATE: 8/13/2023	ENGINEER
DRAWING NO. Z10	RAMAN KUMAR, PE
PROJECT NO. 23CP01	
DRAWN BY: IS	
CHECKED BY: TK	

**DRAWING TITLE:**  
**ZONING PLAN & ANALYSIS**

REV #	DATE	DESCRIPTION
1	9/13/2024	REVISED AS PER TOWN PRELIMINARY REVIEW.
2	11/6/2024	REVISED AS PER TOWN & SUFFOLK COUNTY REVIEW.

**PROJECT:**  
**SUFFOLK MUSLIM CEMETERY**  
91 MONTAUK HIGHWAY,  
EAST MORICHES, NEW YORK

**PROPOSED PUBLIC TRACK**  
PROPOSED AREA = 15,315 SF (NORTH END, 20' WIDE TRACK)  
TOWN ALLOWED USE FOR PEDESTRIAN/MOUNTAIN BIKE

**LANDSCAPING:**  
PROPOSED AREA = 13,145 SF (1.1%) (SEE SHEET C3.7)  
FERTILIZER-DEPENDENT WITH IRRIGATION

**PARKING:**  
EXISTING RESIDENCE = 1  
OFFICE EMPLOYEES = 6  
VISITORS = 20  
TOTAL PARKING REQUIRED = 27  
TOTAL PARKING PROVIDED = 28 (SEE SHEET C3.7)  
FUNERAL/BURIAL PROCESSION PARKING ALONG ROADWAY

**SURVEY OF DESCRIBED PROPERTY**  
S.C.T.M. NO. 200-722-01-001  
LOT AREA = 578,724 S.F. / 13.285 ACRES  
S.C.T.M. NO. 200-684-05-003  
LOT AREA = 216,789 S.F. / 4.976 ACRES  
S.C.T.M. NO. 200-685-01-001.001  
LOT AREA = 401,618 S.F. / 9.219 ACRES  
S.C.T.M. NO. 200-685-01-014  
LOT AREA = 33,978 S.F. / 0.780 ACRES  
TOTAL AREA = 1,231,109 S.F. / 28.262 ACRES  
TOTAL NUMBER OF GRAVE PLOTS = 25,668

**C.G.A. AREAS:**  
S.C.T.M. NO. 200-684-05-003  
CGA LOT AREA = 216,789 S.F. / 4.976 ACRES  
S.C.T.M. NO. 200-685-01-001.001  
CGA LOT AREA = 401,618 S.F. / 9.219 ACRES  
TOTAL CGA AREA = 618,407 S.F. / 14.195 ACRES  
TOTAL CGA AREA CLEARANCE/DEVELOPED ALLOWED 65% = 401,965 S.F. / 9.228 ACRES  
MINIMUM TOTAL CGA AREA UNDEVELOPED REQUIRED 35% = 216,442 S.F. / 4.969 ACRES  
TOTAL CGA AREA UNDEVELOPED PROVIDED 35.2% = 217,520 S.F. / 4.994 ACRES

**PROPOSED PUBLIC TRACK**  
PROPOSED AREA = 15,315 SF (NORTH END, 20' WIDE TRACK)  
TOWN ALLOWED USE FOR PEDESTRIAN/MOUNTAIN BIKE

**SUPERIOR CONSULTING AND ENGINEERING**  
183 BROADWAY, SUITE 317  
HICKSVILLE, NY



DATE: 8/13/2023	CHECKED BY:
VB	TK
PROJECT NO:	DRAWING NO:
23CP01	C3.1

DRAWING TITLE:  
**PARTIAL SITE PLAN OF THE GRAVES**

ENGINEER  
**RAMAN KUMAR, PE**



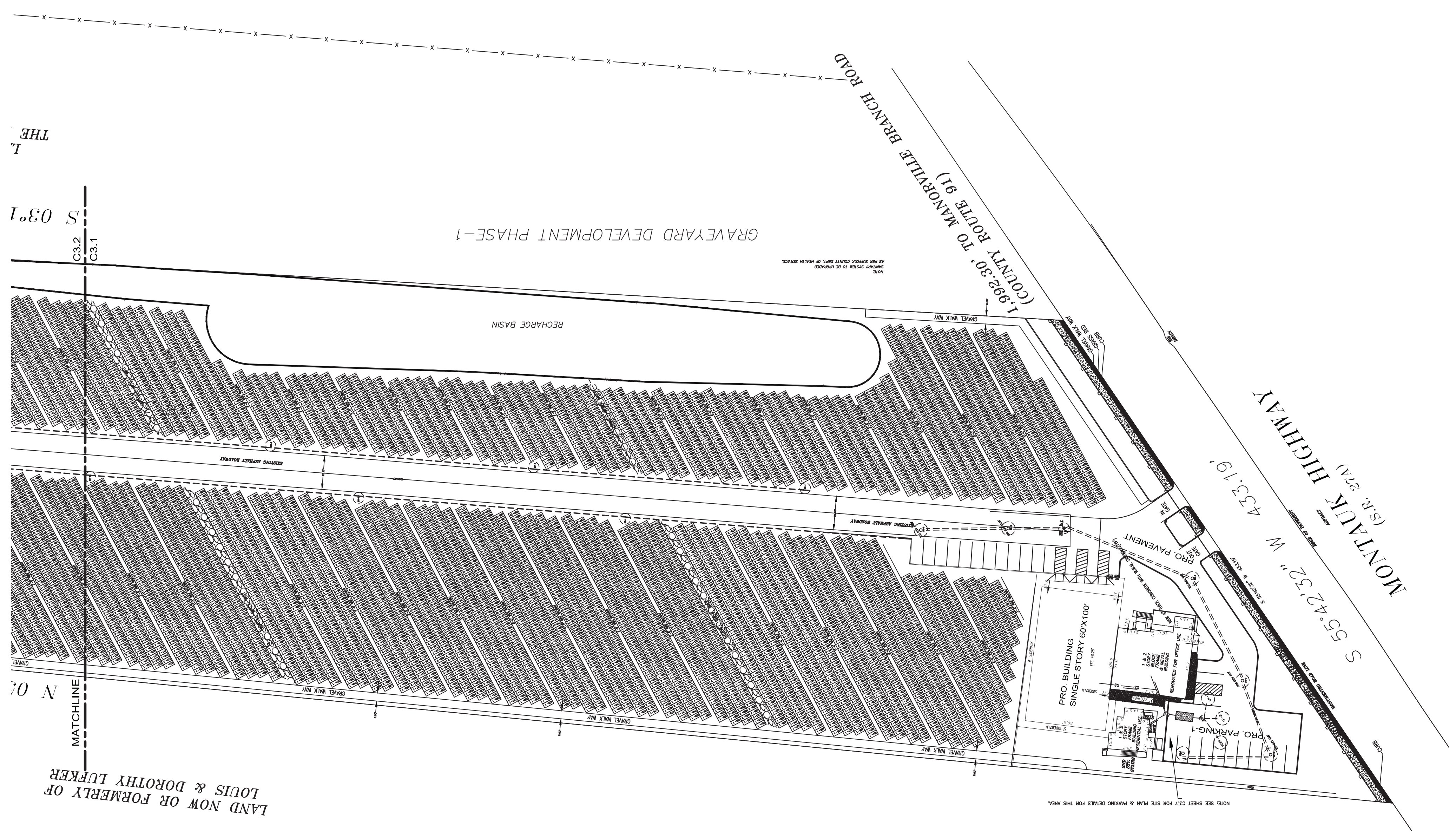
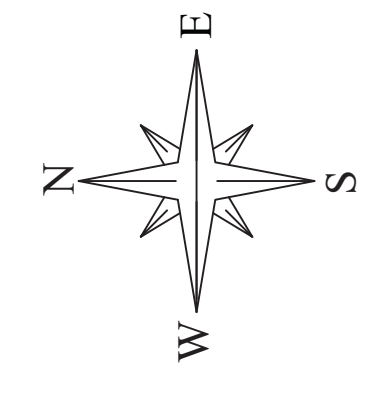
**REVISIONS**

REV #	DATE	DESCRIPTION
1	9/10/2024	REVISED AS PER TOWN PRELIMINARY REVIEW.

PROJECT:  
**SUFFOLK MUSLIM CEMETERY**  
 91 MONTAUK HIGHWAY,  
 EAST MORICHES NEW YORK STATE

**SUPERIOR CONSULTING AND ENGINEERING**  
 183 BROADWAY, SUITE 317  
 HICKSVILLE, NY

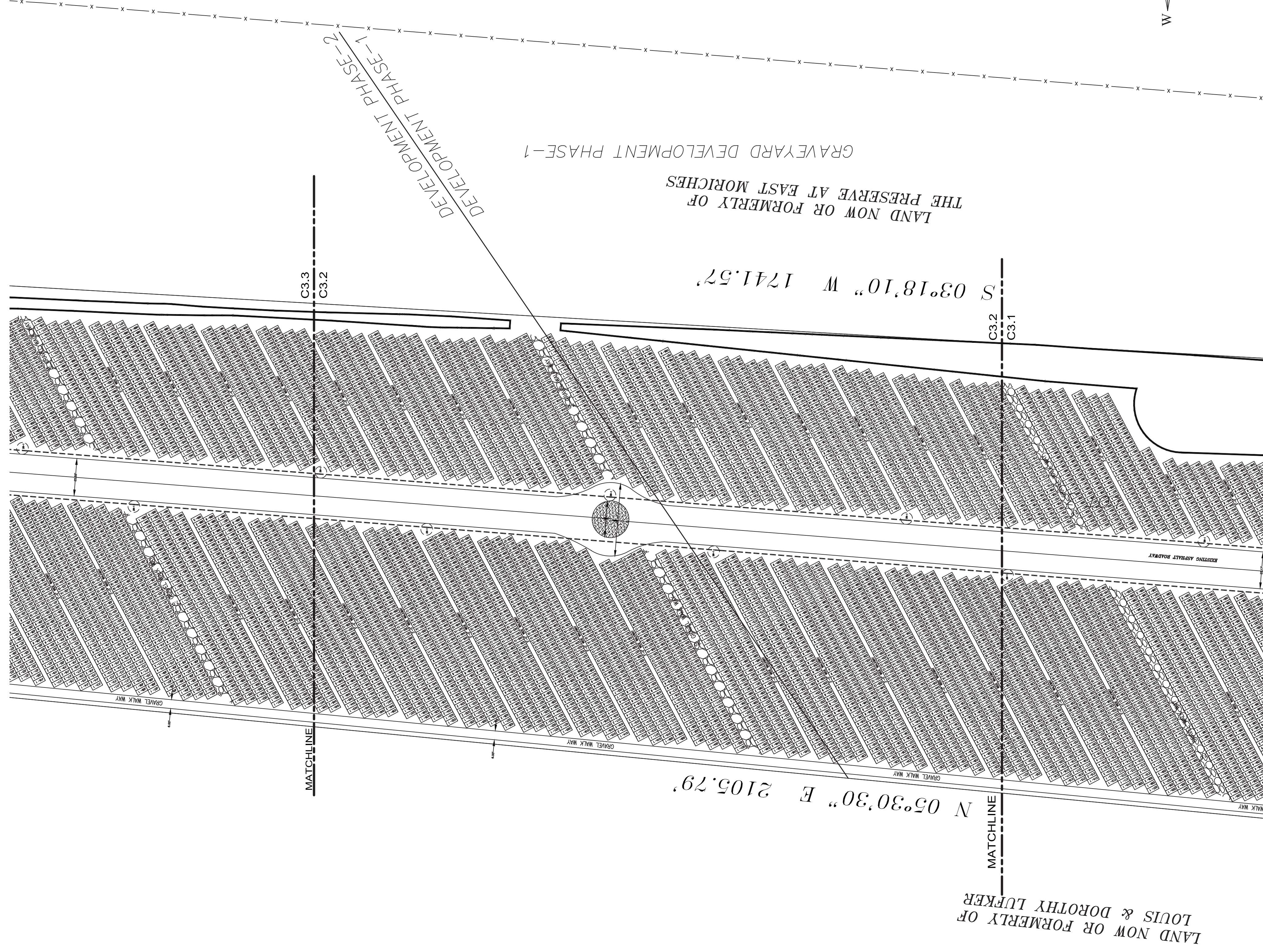
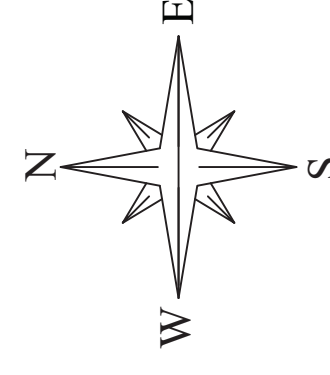
**PARTIAL SITE PLAN LAYOUT OF THE GRAVES**  
 SCALE: 1" = 50'-0"





**PARTIAL SITE PLAN LAYOUT OF THE GRAVES**

PARTIAL SITE PLAN LAYOUT OF THE GRAVES  
SCALE: 1" = 40'-0"



DATE: 8/13/2023	CHECKED BY:	TK	DRAWING NO:
DRAWN BY:	VB	PROJECT NO:	23CP01
		DRAWING NO:	C3.2

RAMAN KUMAR, PE



ENGINEER

REV #	DATE	DESCRIPTION
1	9/10/2024	REVISED AS PER TOWN PRELIMINARY REVIEW.

PROJECT:  
SUFFOLK MUSLIM  
CEMETERY  
91 MONTAUK HIGHWAY,  
EAST MORICHES NEW YORK STATE

SUPERIOR CONSULTING  
AND ENGINEERING  
183 BROADWAY, SUITE 317  
HICKSVILLE, NY



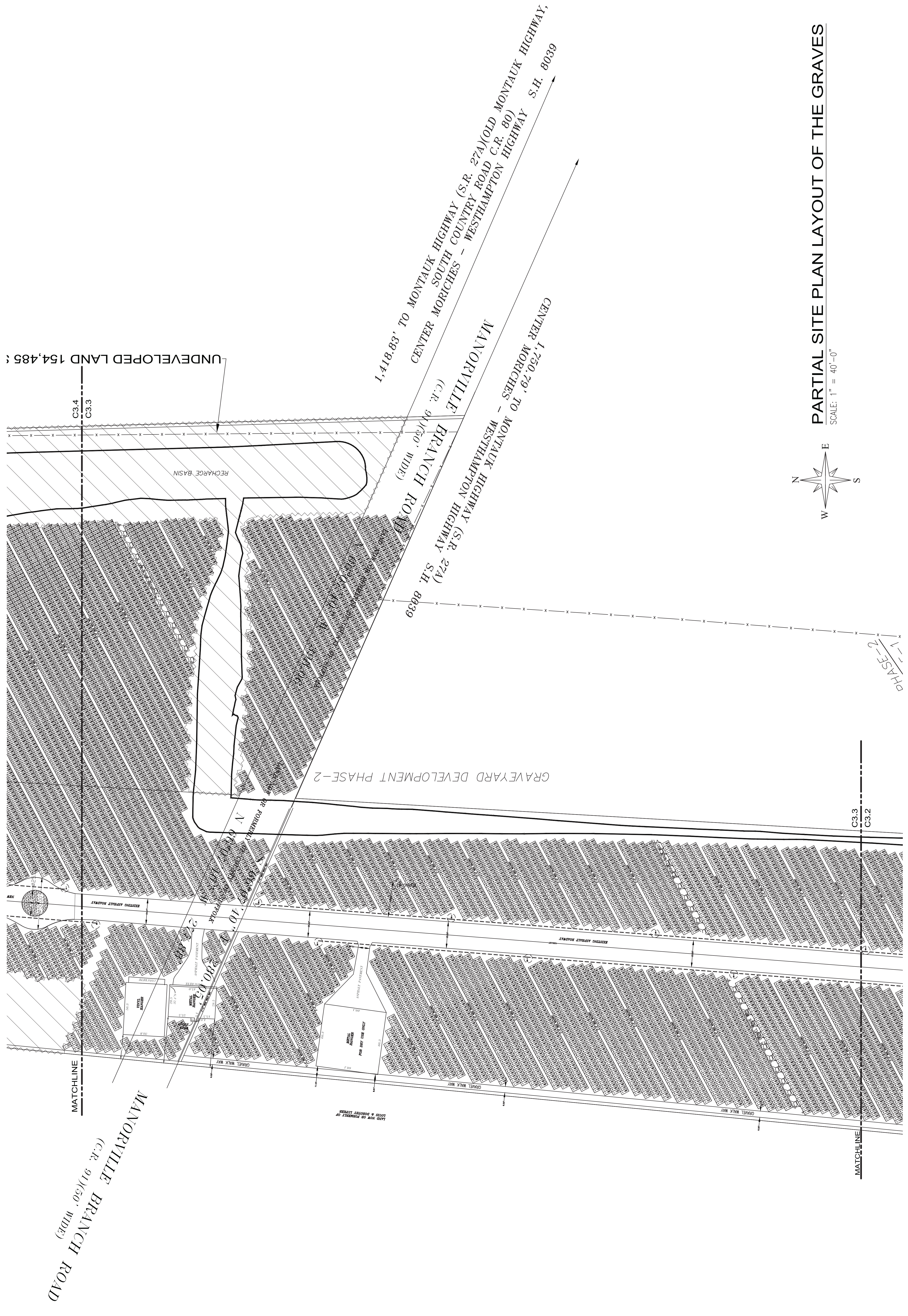
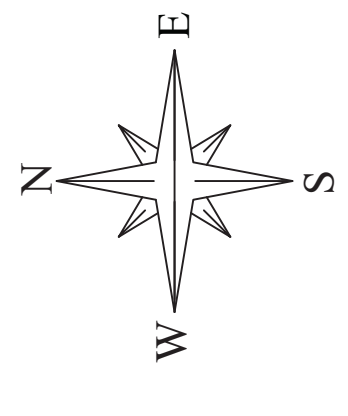


REV #	DATE	DESCRIPTION
1	9/10/2024	REVISED AS PER TOWN PRELIMINARY REVIEW.

PROJECT:  
SUFFOLK MUSLIM  
CEMETERY  
91 MONTAUK HIGHWAY,  
EAST MORICHES NEW YORK STATE

SUPERIOR CONSULTING  
AND ENGINEERING  
183 BROADWAY, SUITE 317  
HICKSVILLE, NY

PARTIAL SITE PLAN LAYOUT OF THE GRAVES  
SCALE: 1" = 40'-0"



PHASE-2  
-1

UNDEVELOPED LAND 154,485 ±

MANORVILLE BRANCH ROAD  
(C.R. 91/50' WDE)

1,750.79' TO MONTAUK HIGHWAY (S.R. 27A)  
CENTER MORICHES - WESTHAMPTON HIGHWAY S.H. 8039

1,418.83' TO MONTAUK HIGHWAY (S.R. 27A)(OLD MONTAUK HIGHWAY,  
SOUTH COUNTRY ROAD C.R. 80)  
CENTER MORICHES - WESTHAMPTON HIGHWAY S.H. 8039

MATCHLINE

MATCHLINE

LAND NOW OR HERETOFORE  
OWNED BY



PARTIAL SITE PLAN LAYOUT OF THE GRAVES  
 PLAN OF THE  
 PARTIAL SITE

DRAWING TITLE:  
 PARTIAL SITE PLAN LAYOUT OF THE GRAVES  
 DATE: 8/13/2023  
 DRAWN BY: TK  
 CHECKED BY: TK  
 PROJECT NO: 23CP01  
 DRAWING NO: C3.4

RAMAN KUMAR, PE



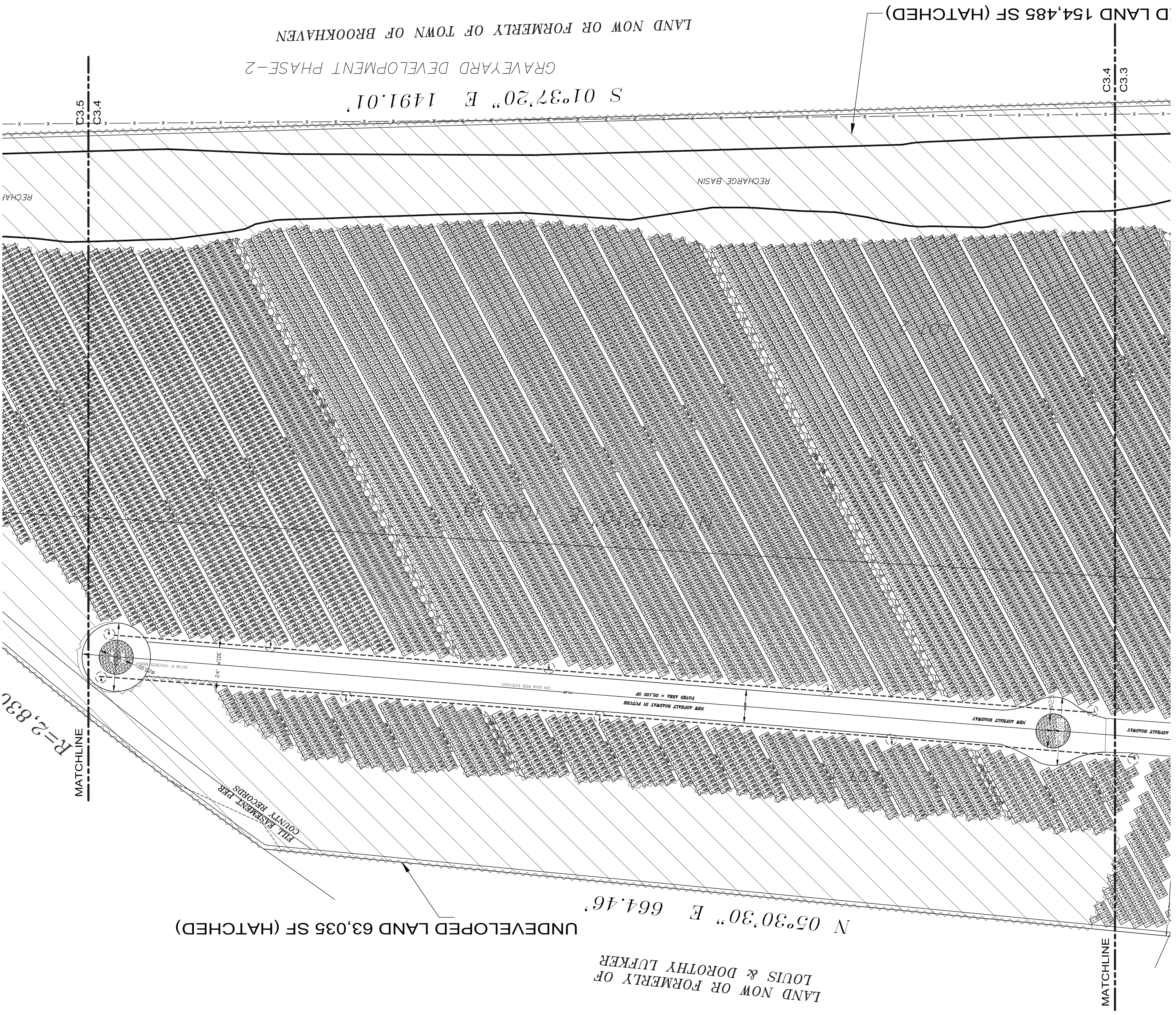
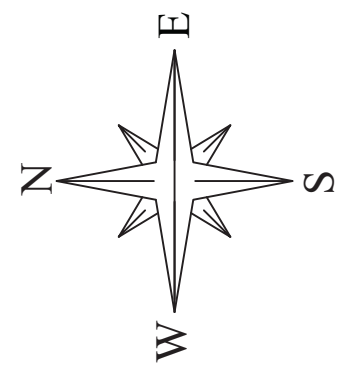
ENGINEER

REV #	DATE	DESCRIPTION
1	9/10/2024	REVISED AS PER TOWN PRELIMINARY REVIEW.

PROJECT:  
 SUFFOLK MUSLIM  
 CEMETERY  
 91 MONTAUK HIGHWAY,  
 EAST MORICHES NEW YORK STATE

SUPERIOR CONSULTING  
 AND ENGINEERING  
 183 BROADWAY, SUITE 317  
 HICKSVILLE, NY

PARTIAL SITE PLAN LAYOUT OF THE GRAVES  
 SCALE: 1" = 40'-0"





DRAWING TITLE:  
**PARTIAL SITE PLAN OF THE GRAVES**

DATE: 8/13/2023  
 DRAWN BY: TK  
 CHECKED BY:  
 PROJECT NO: 23CP01  
 DRAWING NO: C3.5

RAMAN KUMAR, PE



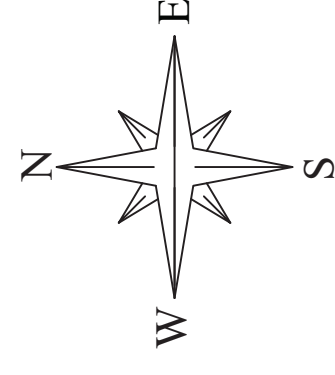
ENGINEER

REV #	DATE	DESCRIPTION
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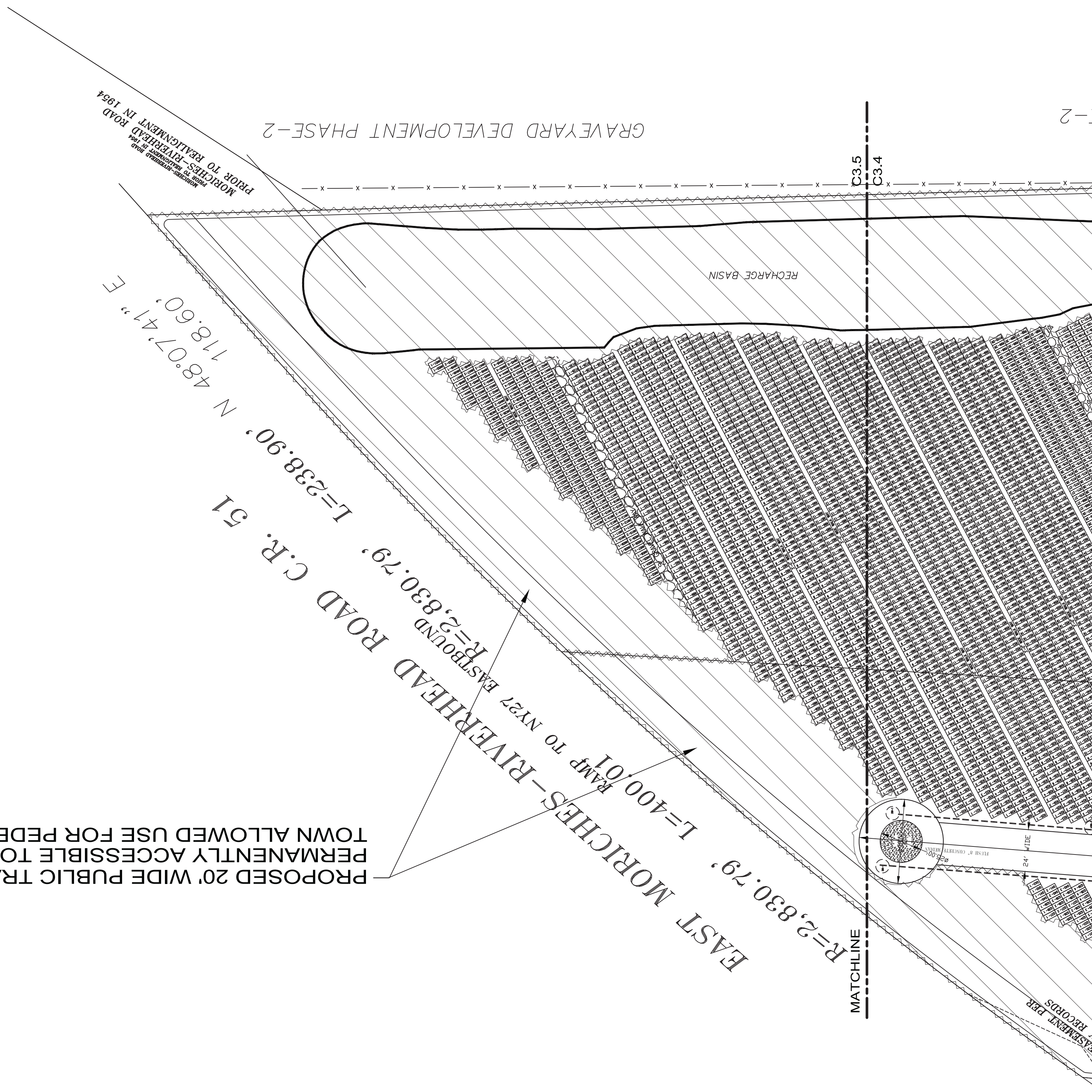
PROJECT:  
**SUFFOLK MUSLIM CEMETERY**  
 91 MONTAUK HIGHWAY,  
 EAST MORICHES NEW YORK STATE

**SUPERIOR CONSULTING AND ENGINEERING**  
 183 BROADWAY, SUITE 317  
 HICKSVILLE, NY

**PARTIAL SITE PLAN LAYOUT OF THE GRAVES**  
 SCALE: 1" = 40'-0"



-2-



PROPOSED 20' WIDE PUBLIC TRACK, SEE SHEET Z1.0  
 PERMANENTLY ACCESSIBLE TO THE PUBLIC  
 TOWN ALLOWED USE FOR PEDESTRIAN/MOUNTAIN BIKE.



**GENERAL NOTES:**

- ALL SITE INFORMATION WAS TAKEN FROM A SURVEY BY SECCAFICO LAND SURVEYING P.C. DATED JUNE 15, 2023
- ALL CONCRETE FOR CURBS, SIDEWALKS & DRAINAGE STRUCTURES SHALL CONFORM TO PLANNING BOARD STANDARD DETAILS AND SPECIFICATIONS
- TOWN OF BROOKHAVEN ENGINEERING INSPECTOR, IN THE DEPT. OF PLANNING, ENVIRONMENT & LAND MANAGEMENT, SHALL BE NOTIFIED 48hrs IN ADVANCE OF ALL CONSTRUCTION @ (631) 451-6400 BETWEEN THE HOURS OF 9:00am - 5:00pm
- LOCATION & GRADES FOR CURBS & SIDEWALKS SHALL BE VERIFIED w/ THE TOWN OF BROOKHAVEN HIGHWAY DEPARTMENT, S.C.D.P.W. OR N.Y.S.D.O.T. PRIOR TO CONSTRUCTION
- ALL TRAFFIC CONTROL DEVICES (I.E. SIGNALS, SIGNS & PAVEMENT MARKINGS) SHALL BE INSTALLED IN CONFORMANCE w/ THE GUIDELINES OF THE NYS MANUAL OF TRAFFIC CONTROL DEVICES, & AS DIRECTED BY THE TOWN OF BROOKHAVEN DIVISION OF TRAFFIC SAFETY.
- ALL PAVEMENT MARKINGS SHALL BE THERMOPLASTIC (SUFFOLK COUNTY SPECS) UNLESS OTHERWISE NOTED
- ALL GRADES SHOWN ARE IN U.S.C. & G.S. (TOWN DATUM)
- CONTACT THE ENGINEERING INSPECTOR @ LEAST 24hrs PRIOR TO START OF ANY WORK. WORK PERFORMED w/o THE APPLICANT'S EXPENSE
- IF ANY DEFECT OR CRACKS IN THE CONCRETE SHALL NOT BE ACCEPTABLE.
- ANY DEFECT OR CRACKS IN THE CONCRETE SHALL NOT BE ACCEPTABLE.
- HANDICAPPED PARKING SIGNS TO BE BETWEEN 60" & 84" ABOVE GRADE, HANDICAPPED RAMPS TO BE @ A SLOPE OF NO GREATER THAN 1:12.
- COORDINATE & COMPLETE ALL UTILITY RELOCATIONS AS WELL AS OBTAIN A DPW ROAD OPENING PERMIT
- CONTRACTOR SHALL OBTAIN SCOPW PERMIT FOR WORK IN THE CR 80 RIGHT OF WAY AND AS PER S.C. SPECS.
- HANDICAP CURB RAMPS AS PER NYS DOT STANDARDS TO MEET ADA.

**TOWN STANDARD NOTES:**

- ALL CONCRETE CURBS, SIDEWALKS & DRAINAGE STRUCTURE SHALL CONFORM TO PLANNING BOARD STANDARD DETAIL
- ALL PLANTING SPECIES SHALL BE TOWN OF BROOKHAVEN APPROVED SPECIES
- AS PER § 85-84(3)(a), ALL LANDSCAPED, BUFFER & NATURAL AREAS SHALL BE IRRIGATED IN ACCORDANCE w/ TOWN STANDARDS
- AS PER § 85-84(3)(b), ALL LANDSCAPED, BUFFER & NATURAL AREAS SHALL BE IRRIGATED UTILIZING WATER-CONSERVING METHODS, IN ACCORDANCE w/ TOWN STANDARDS
- CONSERVATION METHODS, INCLUDING: DRIP IRRIGATION ON ALL BUFFER AREAS AND SHRUB PLANTINGS, AND AUTOMATIC TIMERS, RAIN SENSORS AND MOISTURE METERS.
- AS PER § 85-84(7), LANDSCAPE AND PLANT SELECTION SHALL REDUCE WATER USAGE AND MAINTENANCE.

**PROPOSED LANDSCAPE SCHEDULE:**

SYMBOL	SIZE	QTY	BOTANICAL NAME	COMMON NAME	NOTES
BB	24" HIGH	43	CEPHALANTHUS OCCIDENTALIS	BUTTONBUSH	ALONG PARKING FOR SCREENING
RM	4" CALIPER MIN.	10	ACER RUBRUM	RED MAPLE	STREET TREES MIN. 2" CALIPER @ 30' O.C.
HB	4" CALIPER MIN.	8	CELTIS OCCIDENTALIS	HACKBERRY	STREET TREES MIN. 2" CALIPER @ 30' O.C.
AVC	6" HIGH MINIMUM	50	ATLANTIC WHITE CEDAR THYOIDES	ATLANTIC WHITE CEDAR	BUILDING SCREENING, MIN. 7", MIN. 5' O.C.

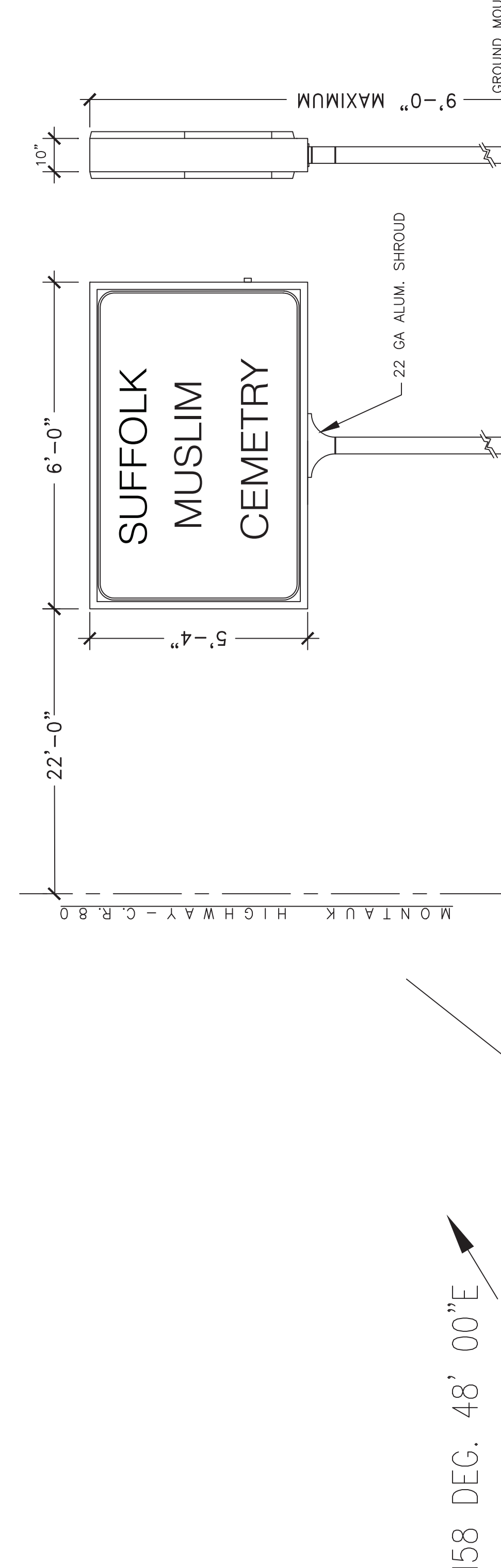
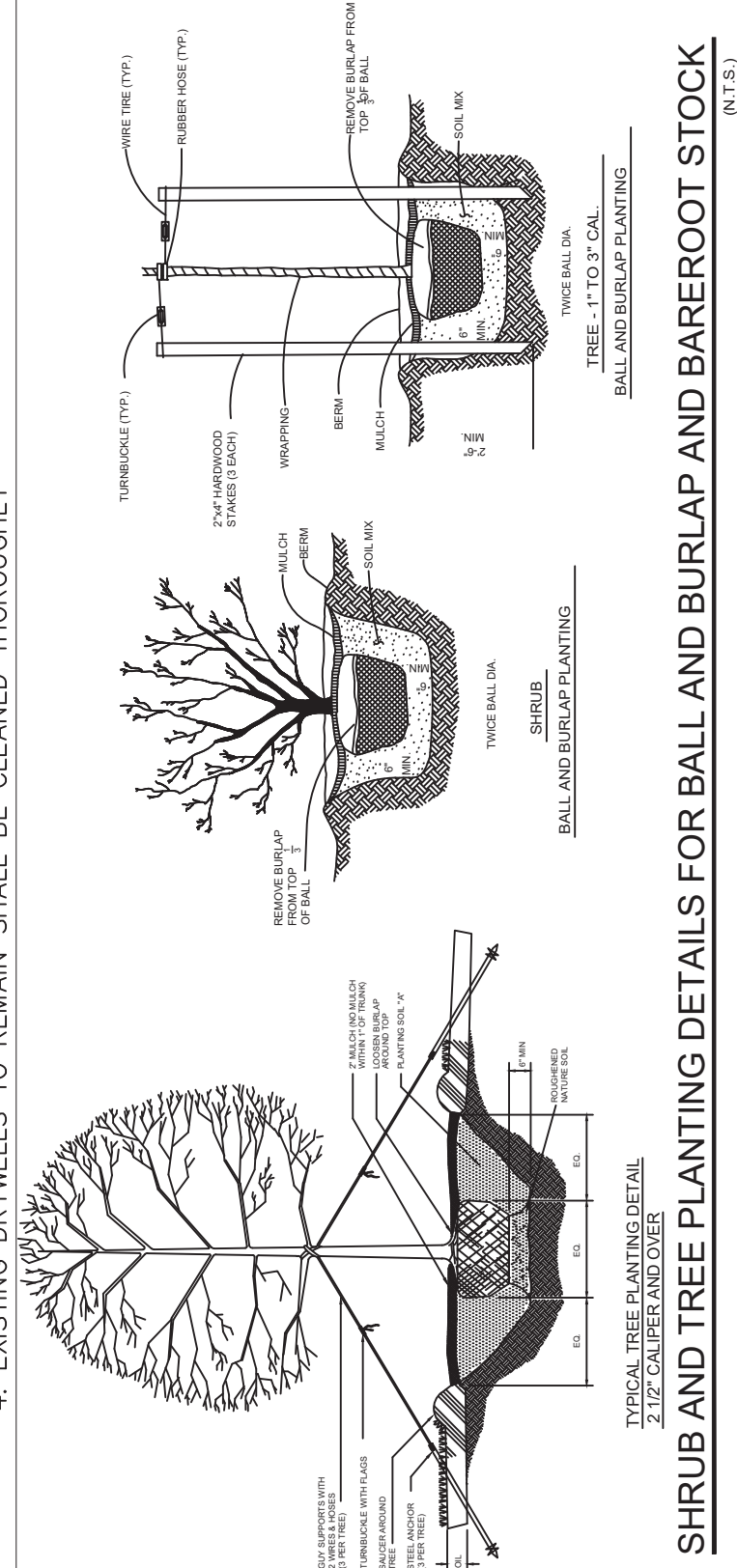
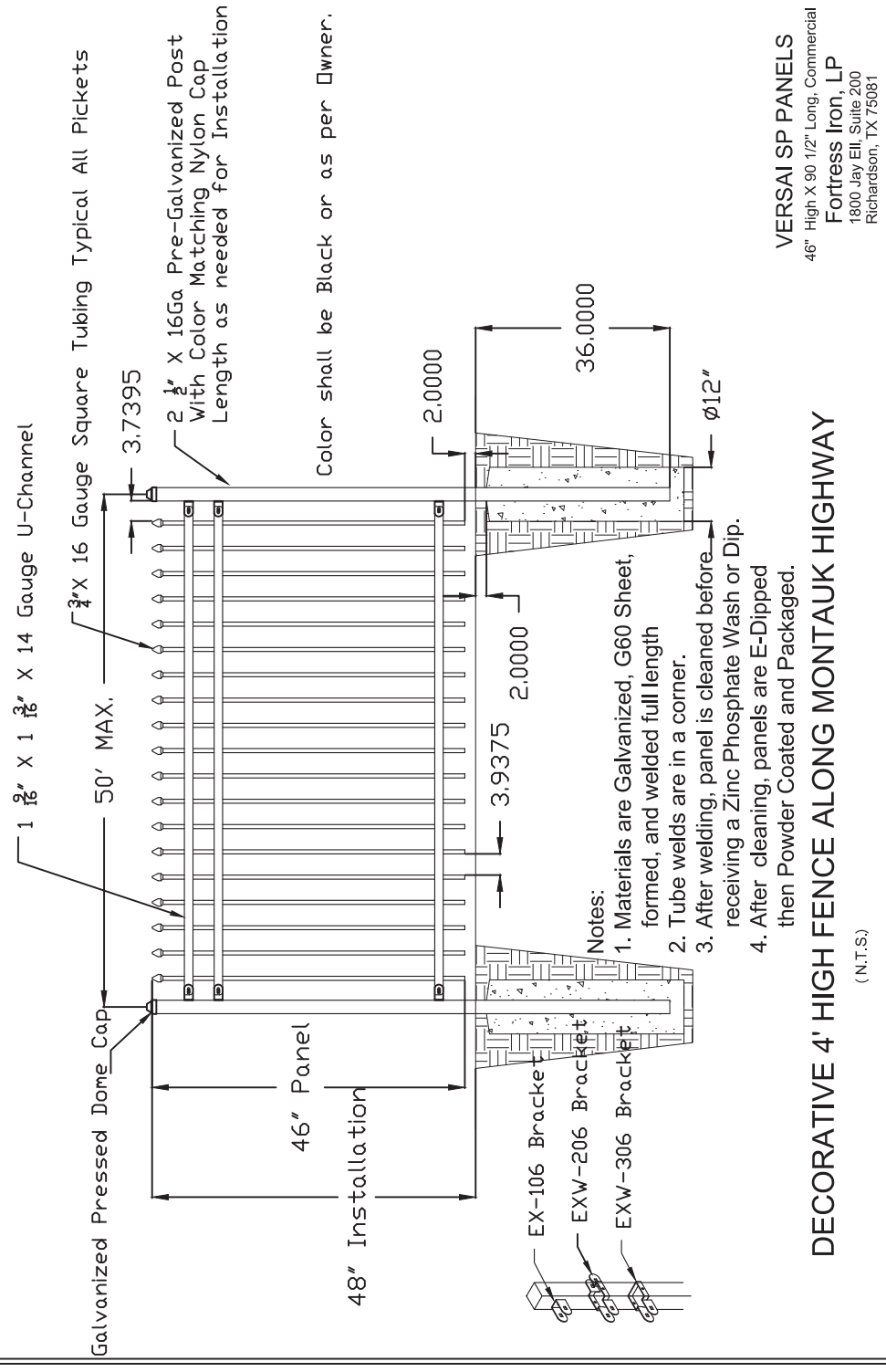
**NOTES:**

- PROVIDE 4" TOP SOIL & GRASS SEEDING TO COVER ALL DISTURBED AREAS
- PROVIDE UNDERGROUND IRRIGATION SYSTEM FOR ALL LANDSCAPE AREAS

**ESTIMATE OF QUANTITIES:**

CONCRETE ASPHALT CURB (LF)	705 LF
WALKWAYS (SF)	2346 SF
CONC SIDEWALKS	31,085 SF
ASPHALT PAVEMENT (SF)	0
CONCRETE PAVEMENT (SF)	1 EX. + 31 NEW
# OF CATCH OR LEACHING BASINS (EACH)	0 NEW (TOWN ROW)
CONCRETE ASPHALT CURB (LF)	5400 LF
WALKWAYS (SF)	400 LF
CONC SIDEWALKS	xxx LF
ASPHALT PAVEMENT (SF)	50
CONCRETE PAVEMENT (SF)	18
# OF CATCH OR LEACHING BASINS (EACH)	43
CONCRETE ASPHALT CURB (LF)	13,145 SF

**PROJECT:**  
**SUFFOLK MUSLIM CEMETERY**  
 91 MONTAUK HIGHWAY,  
 EAST MORNICHES NEW YORK STATE  
 HICKSVILLE, NY  
**SUPERIOR CONSULTING AND ENGINEERING**  
 183 BROADWAY, SUITE 317



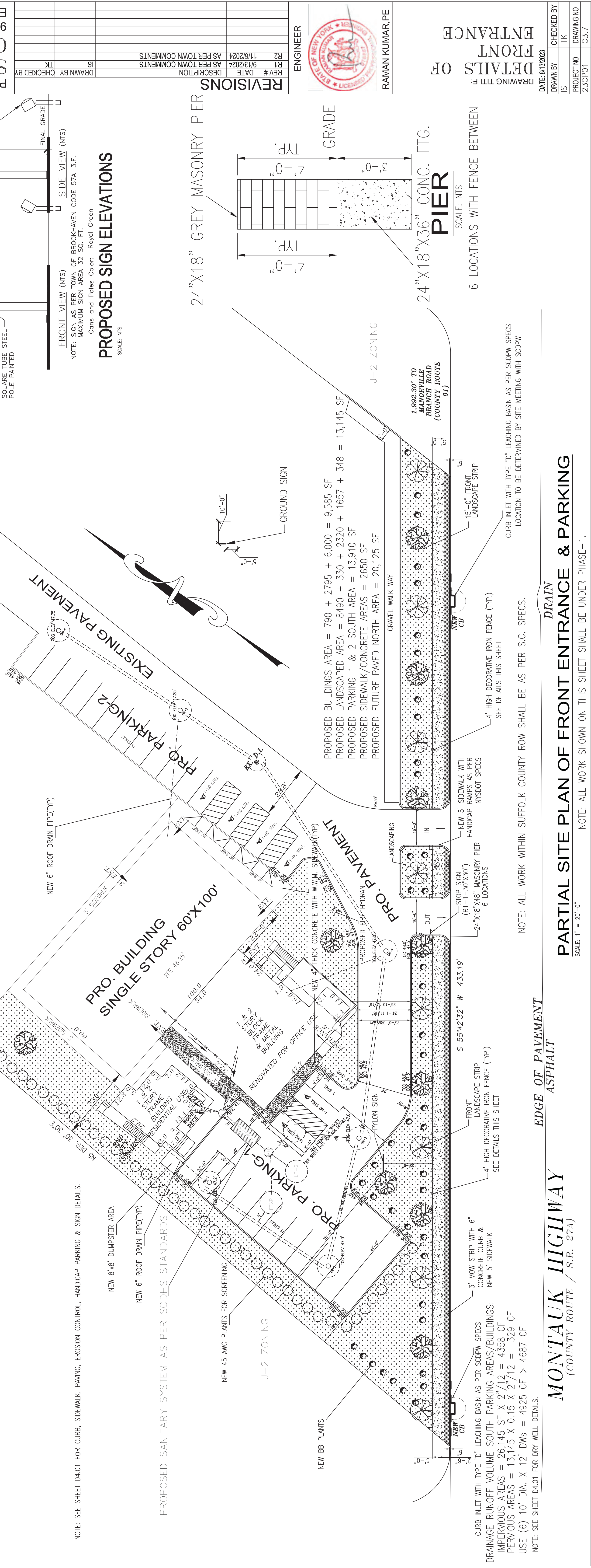
**DECORATIVE 4' HIGH FENCE ALONG MONTAUK HIGHWAY**  
 (NTS)

**SHRUB AND TREE PLANTING DETAILS FOR BALL AND BURLAP AND BAREROOT STOCK**  
 (NTS)

**PROPOSED SIGN ELEVATIONS**  
 SCALE: NTS

**REVISIONS**

REV #	DATE	DESCRIPTION
REV#1	9/13/2024	AS PER TOWN COMMENTS
REV#2	11/6/2024	AS PER TOWN COMMENTS



**EDGE OF PAVEMENT ASPHALT**

**QIBLA DIRECTION: N58 DEG. 48' 00\"/>**

**PROPOSED SIGN ELEVATIONS**  
 SCALE: NTS

**REVISIONS**

REV #	DATE	DESCRIPTION
REV#1	9/13/2024	AS PER TOWN COMMENTS
REV#2	11/6/2024	AS PER TOWN COMMENTS

**DRAWING TITLE:**  
**DETAILS OF FRONT ENTRANCE**

**ENGINEER:**  
 RAMAN KUMAR, PE

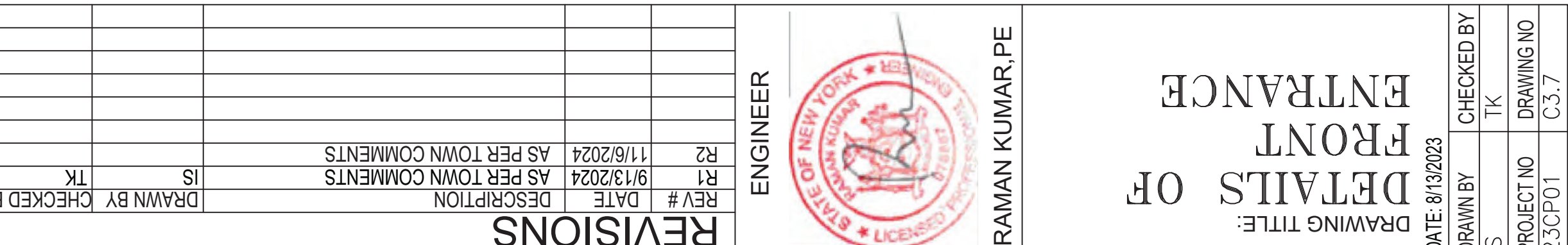
**CHECKED BY:**  
 TK

**DRAWN BY:**  
 TK

**PROJECT NO:**  
 23CP01

**DRAWING NO:**  
 C3.7

**DATE:**  
 8/13/2023



**MONTAUK HIGHWAY**  
 (COUNTY ROUTE / S.R. 27A)

**PARTIAL SITE PLAN OF FRONT ENTRANCE & PARKING**  
 (COUNTY ROUTE 91)

**DRAIN**

**NOTE:** ALL WORK SHOWN ON THIS SHEET SHALL BE UNDER PHASE-1.

SCALE: 1" = 20'-0"

**NOTE:** ALL WORK WITHIN SUFFOLK COUNTY ROW SHALL BE AS PER S.C. SPECS.

**NOTE:** CURB INLET WITH TYPE "D" LEACHING BASIN AS PER SCOPW SPECS LOCATION TO BE DETERMINED BY SITE MEETING WITH SCOPW

**NOTE:** SEE SHEET D4-01 FOR DRY WELL DETAILS.

**NOTE:** SEE SHEET D4-01 FOR CURB, SIDEWALK, PAVING, EROSION CONTROL, HANDICAP PARKING & SIGN DETAILS.

**NOTE:** 6 LOCATIONS WITH FENCE BETWEEN

**NOTE:** ALL WORK WITHIN SUFFOLK COUNTY ROW SHALL BE AS PER S.C. SPECS.

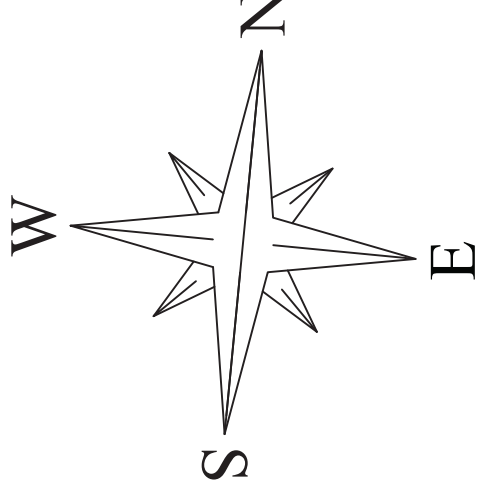
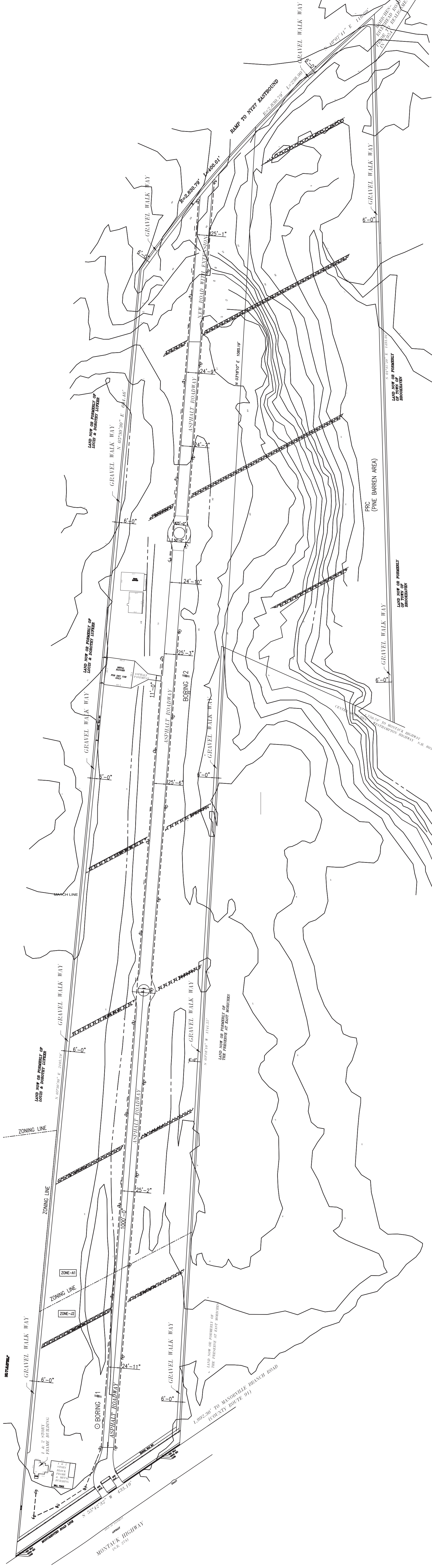
**NOTE:** CURB INLET WITH TYPE "D" LEACHING BASIN AS PER SCOPW SPECS LOCATION TO BE DETERMINED BY SITE MEETING WITH SCOPW

**NOTE:** SEE SHEET D4-01 FOR DRY WELL DETAILS.

**NOTE:** SEE SHEET D4-01 FOR CURB, SIDEWALK, PAVING, EROSION CONTROL, HANDICAP PARKING & SIGN DETAILS.

**NOTE:** 6 LOCATIONS WITH FENCE BETWEEN





### EXISTING TOPOGRAPHY & SOIL BORING LOCATIONS

SCALE: 1" = 100'

#### TEST BORING #1

MOUNTAUK HIGHWAY  
EAST MORICHES  
SOUTH BORING

← EXIST. GRD = 51.0 (AIRPORT DESIGNATED ELEVATION)

0.0' - 0.2' TOP SOIL	PT
0.2' - 0.4' PALE BROWN SILT	SM
4.0' - 6.0' BROWN SAND AND GRAVEL	SP
6.0' - 10.0' BROWN SAND	SP
NO WATER	SP
10.0' - 17.0' BROWN SAND AND GRAVEL	SP
17'-0" DEPTH	

BORING BY : ROY K. REISSIG, PE  
TAKEN ON : AUGUST 5, 2023 @ 10:00 AM

#### TEST BORING #2

MOUNTAUK HIGHWAY  
EAST MORICHES  
NORTH BORING

← EXIST. GRD = 51.0 (AIRPORT DESIGNATED ELEVATION)

0.0' - 2.5' PALE BROWN SLIT	SM
2.5' - 4.0' FINE SILTY SAND & GRAVEL	SM
4.0' - 10.0' BROWN SAND AND GRAVEL	SP
6.0' - 10.0' BROWN SAND	SP
NO WATER	SP
10.0' - 17.0' LIGHT BROWN SAND AND GRAVEL	SP
17'-0" DEPTH	

BORING BY : ROY K. REISSIG, PE  
TAKEN ON : AUGUST 5, 2023 @ 10:30 AM

HIGHEST GROUNDWATER ELEVATION CALCULATIONS  
USGS LONG ISLAND DEPTH TO WATER VIEWER  
ESTIMATED DEPTH WATER BELOW LAND SURFACE 40.0'

LAND SURFACE ELEVATION 51.00'  
HIGHEST EXPECTED GROUND WATER = 51.0' - 40.0' = 11.0'

DRAWN BY	CHECKED BY
IS	TK
PROJECT NO	DRAWING NO
23CP01	D4.0

DATE: 8/13/2023

#### DRAWING TITLE: SOIL BORING LOCATIONS

RAMAN KUMAR, PE



#### REVISIONS

REV #	DATE	DESCRIPTION
1	9/13/2024	AS PER TOWN COMMENTS

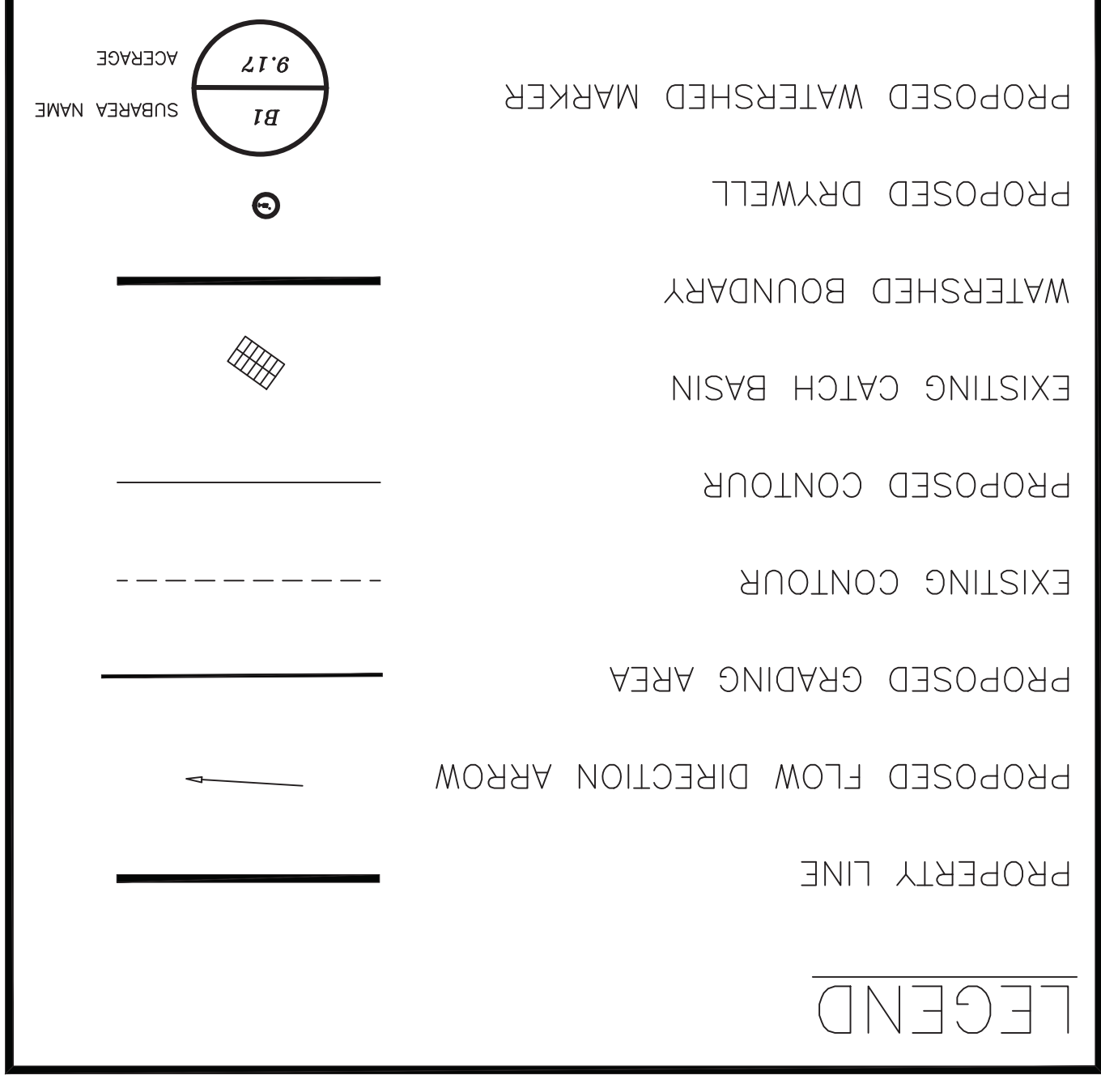
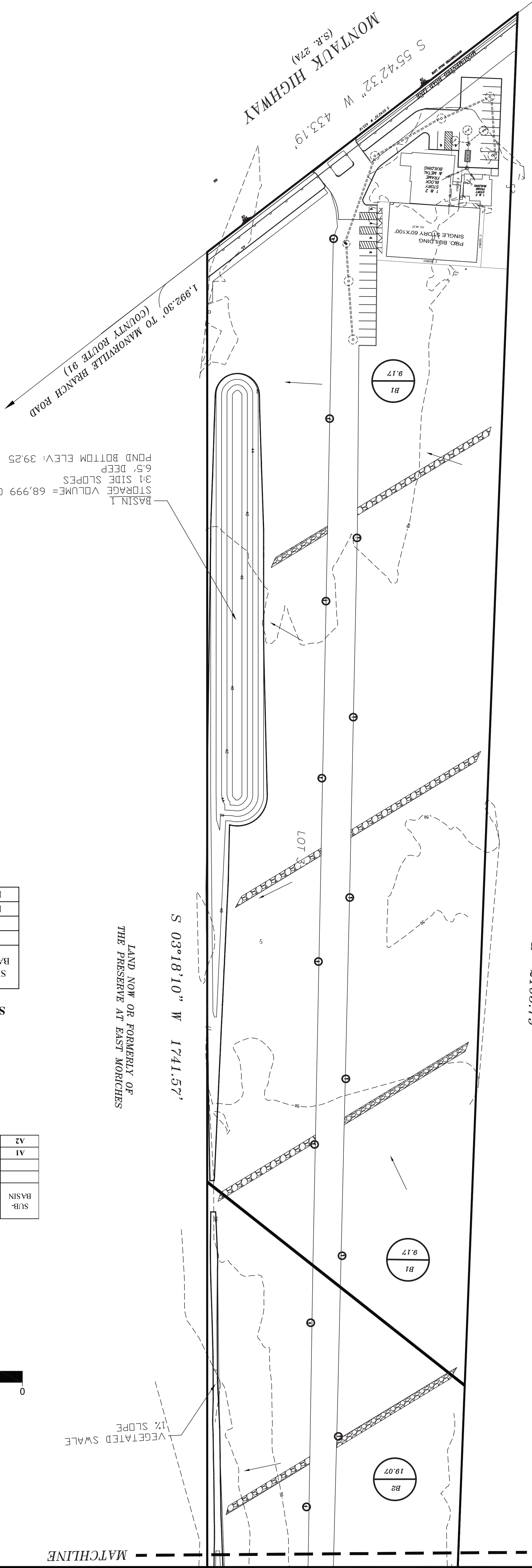
PROJECT:  
**SUFFOLK MUSLIM CEMETERY**  
91 MONTAUK HIGHWAY,  
EAST MORICHES NEW YORK STATE

**SUPERIOR CONSULTING AND ENGINEERING**  
183 BROADWAY, SUITE 317  
HICKSVILLE, NY





DATE:	09-10-2024	Drawn By:	XXX	Checked By:	TMO	Scale:	AS NOTED	Project No.:	C23034
NO.		REVISION / DESCRIPTION							
DATE									



BASIN 1  
 STORAGE VOLUME = 68,999 CF  
 3:1 SIDE SLOPES  
 6.5' DEEP  
 POND BOTTOM ELEV.: 39.25

Basin	Watershed Area (acre)	C	R	X <sub>s</sub>	Drywell Storage	Required	Net Pond Volume
Basin 1	9.17	0.26	9.00	77891.81	13136	64755.81	
Basin 2	19.09	0.21	9.00	130970.76	13957	117013.76	

RECHARGE VOLUME CALCULATIONS

Area ID	Drywells	Capacity (CF)	Total Storage
B1	16	821.00	13136.00
B2	17	821.00	13957.00

DRYWELL STORAGE CALCULATIONS

Area ID	Area (acre)	C	I	Q100 (CFS)
A1	9.17	0.29	9.00	24.10
A2	19.09	0.24	9.00	40.94

EXISTING HYDROLOGY SUMMARY

SUB-BASIN	TOTAL AREA		IMPERVIOUS SURFACE		PERVIOUS SURFACE		SF	B1	B2
	(Ac)	(%)	(Ac)	(%)	(Ac)	(%)			
Composite C	(C=0.98)		(C=0.15)					0.26	0.21

SUFFOLK MUSLIM CEMETARY PROPOSED CONDITIONS COMPOSITE C

$$C_{Composite} = (IMP\ AREA * C_{IMP}) + (PER\ AREA * C_{PER})$$

SUB-BASIN	TOTAL AREA		IMPERVIOUS SURFACE		PERVIOUS SURFACE		SF	A1	A2
	(Ac)	(%)	(Ac)	(%)	(Ac)	(%)			
Composite C	(C=0.98)		(C=0.15)					24.10	40.94

SUFFOLK MUSLIM CEMETARY EXISTING CONDITIONS HYDROLOGY CALCULATION

SUFFOLK COUNTY, NEW YORK  
 TOWN OF BROOKHAVEN  
 SITUATE AT EAST MORICHES  
 SURVEY OF DESCRIBED PROPERTY  
 LOT AREA = 578,724 SF. / 13.285 ACRES  
 S.C.T.M. No. 200-722-01-01  
 LOT AREA = 216,789 SF. / 4.976 ACRES  
 S.C.T.M. No. 200-684-05-03  
 LOT AREA = 401,618 SF. / 9.219 ACRES  
 S.C.T.M. No. 20-685-01-11  
 BEARING SYSTEM AGREES WITH LIBER 4748 PAGE 190.  
 CERTIFIED TO:

MATCHLINE

LAND NOW OR FORMERLY OF  
 LOUIS & DOROTHY LUFKER

N 05°30'30" E 2105.79'

LAND NOW OR FORMERLY OF  
 THE PRESERVE AT EAST MORICHES

S 03°18'10" W 1741.57'

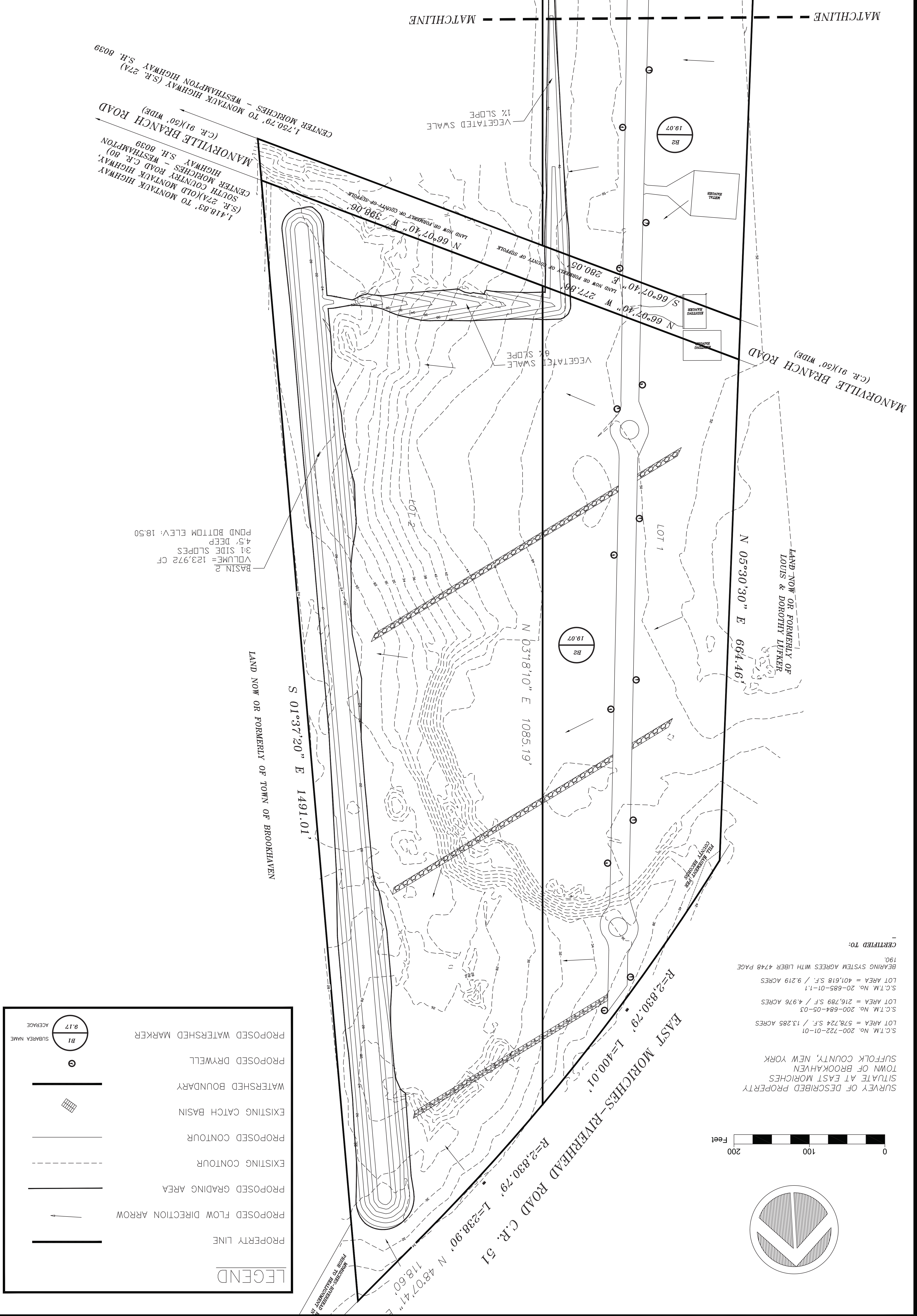




**Long Island Engineering & Architecture**  
**TAHIR QURESHI, PE**  
 27 Casey Lane, Mount Sinai, New York 11766  
 Phone No.: (631) 732-3150 | Email: tahirq@optonline.net

**HYD-2**  
 DRAWING NO.:  
 SHEET NO.:  
 ADDRESS:  
 755 Waverly Avenue, Suite # 220  
 Holtsville, NY 11742  
 CLIENT NAME:  
 GHULAM SARWAR  
 PROJECT:  
 SUFOLK MUSLIM CEMETERY  
 91 Montauk Highway, East Moriches, NY 11940  
 TAX MAP NO.: 0200-722-01-001  
 0200-685-01-001 0200-685-01-014

DATE	NO.	REVISION / DESCRIPTION
09-10-2024	xxx	Drawn By
	TMO	Checked By
	AS NOTED	Scale:
	C23034	Project No.:



**LEGEND**

	PROPERTY LINE
	PROPOSED FLOW DIRECTION ARROW
	PROPOSED GRADING AREA
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING CATCH BASIN
	WATERSHED BOUNDARY
	PROPOSED DRYWELL
	PROPOSED WATERSHED MARKER

Subarea Name: B1  
 Acreage: 9.17

**CERTIFIED TO:**

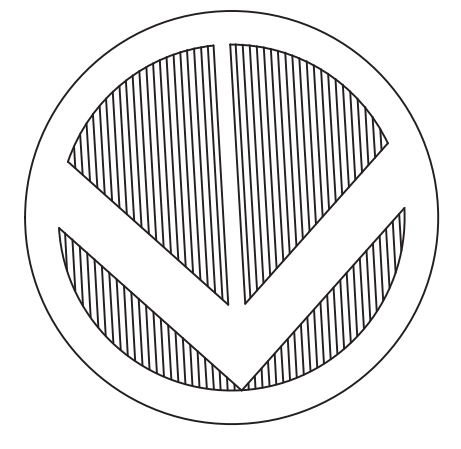
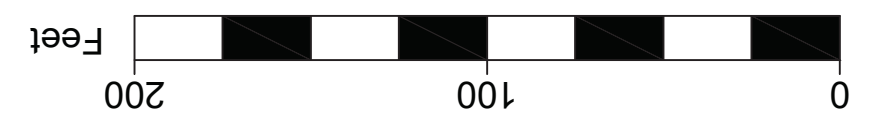
SURVEY OF DESCRIBED PROPERTY  
 TOWN OF BROOKHAVEN  
 SUFOLK COUNTY, NEW YORK

S.C.T.M. No. 200-722-01-01  
 LOT AREA = 578,724 S.F. / 13.285 ACRES

S.C.T.M. No. 200-684-05-03  
 LOT AREA = 216,789 S.F. / 4.976 ACRES

S.C.T.M. No. 20-685-01-11  
 LOT AREA = 401,618 S.F. / 9.219 ACRES

BEARING SYSTEM AGREES WITH LIBER 4748 PAGE 190.



MANORVILLE BRANCH ROAD  
 (C.R. 91)(50' WIDE)  
 1,750.79' TO MONTAUK HIGHWAY (S.R. 27A)  
 CENTER MORICHES - WESTHAMPTON HIGHWAY S.H. 8039

1,418.83' TO MONTAUK HIGHWAY  
 (S.R. 27A) OLD MONTAUK HIGHWAY  
 CENTER MORICHES - WESTHAMPTON  
 HIGHWAY S.H. 8039

1,750.79' TO MONTAUK HIGHWAY (S.R. 27A)  
 CENTER MORICHES - WESTHAMPTON HIGHWAY S.H. 8039

LAND NOW OR FORMERLY OF TOWN OF BROOKHAVEN

LAND NOW OR FORMERLY OF LOUIS & DOROTHY LUPKER

VEGETATED SWALE  
 1% SLOPE

VEGETATED SWALE  
 8% SLOPE

LOT 1

LOT 2

POND  
 VOLUME = 123,972 CF  
 3:1 SIDE SLOPES  
 4.5' DEEP  
 POND BOTTOM ELEV: 18.50

BASEIN 2

FILE RECORDING PLAN  
 COUNTY RECORDS

EAST MORICHES-RIVERHEAD ROAD C.R. 51  
 R=2,830.79', L=400.01'  
 R=2,830.79', L=238.90', N 48°07'41"  
 118.60'

MANORVILLE BRANCH ROAD  
 (C.R. 91)(50' WIDE)  
 1,750.79' TO MONTAUK HIGHWAY (S.R. 27A)  
 CENTER MORICHES - WESTHAMPTON HIGHWAY S.H. 8039

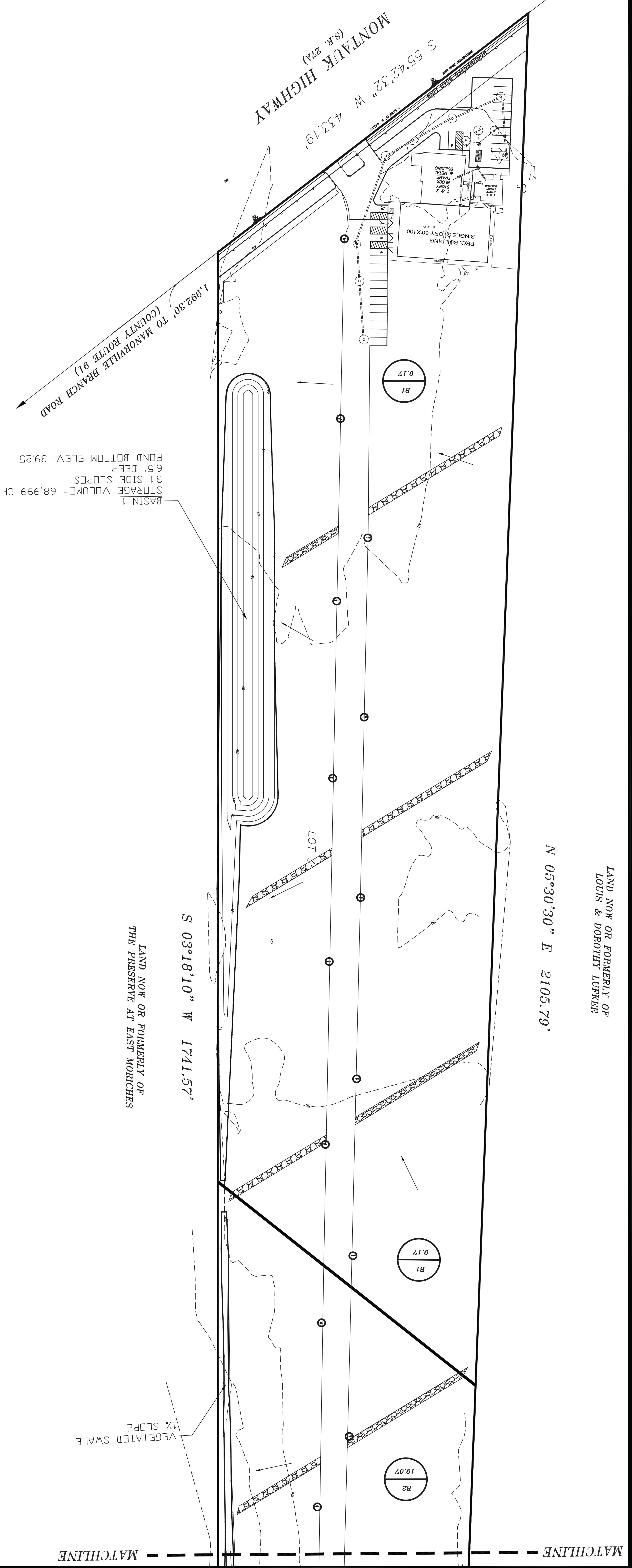
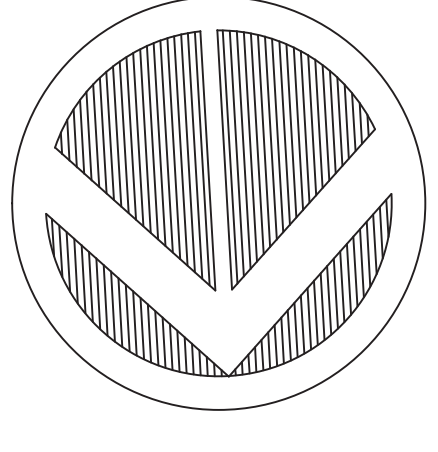
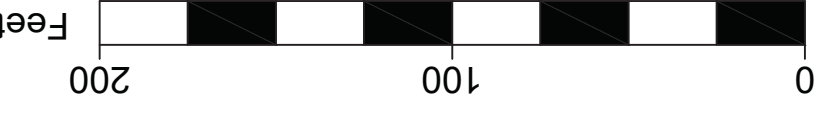
1,418.83' TO MONTAUK HIGHWAY  
 (S.R. 27A) OLD MONTAUK HIGHWAY  
 CENTER MORICHES - WESTHAMPTON  
 HIGHWAY S.H. 8039

1,750.79' TO MONTAUK HIGHWAY (S.R. 27A)  
 CENTER MORICHES - WESTHAMPTON HIGHWAY S.H. 8039





DATE:	09-10-2024
DRAWN BY:	XXX
CHECKED BY:	TMO
SCALE:	AS NOTED
PROJECT NO.:	C23034
NO.	
REVISION / DESCRIPTION	
DATE	



BASIN 1  
 STORAGE VOLUME = 68,999 CF  
 3:1 SIDE SLOPES  
 6.5' DEEP  
 POND BOTTOM ELEV.: 39.25

LAND NOW OR FORMERLY OF  
 THE PRESERVE AT EAST MORICHES

S 03°18'10" W 1741.57'

N 05°30'30" E 2105.79'  
 LAND NOW OR FORMERLY OF  
 LOUIS & DOROTHY LUFKER

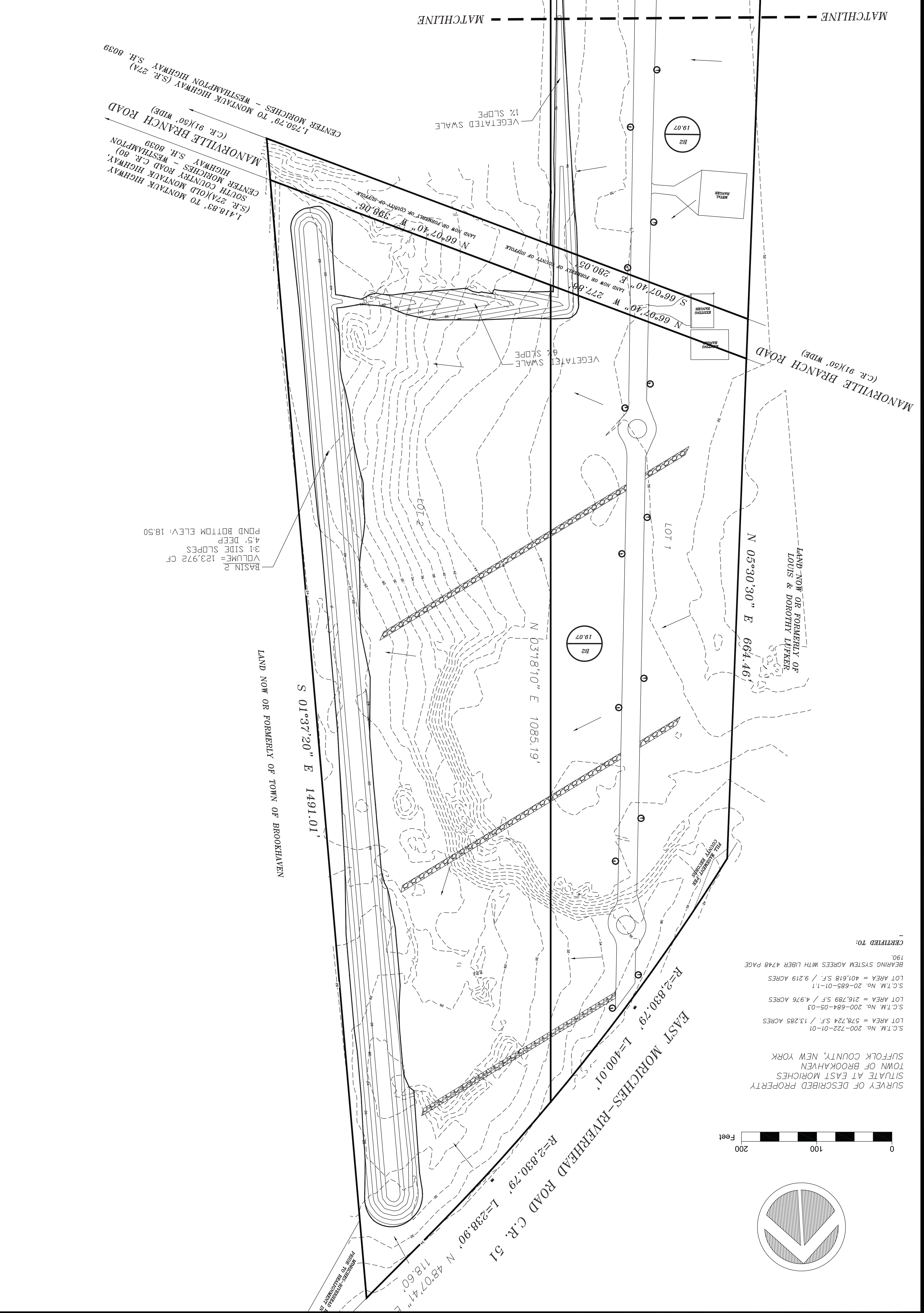
VEGETATED SWALE  
 1% SLOPE

MATCHLINE



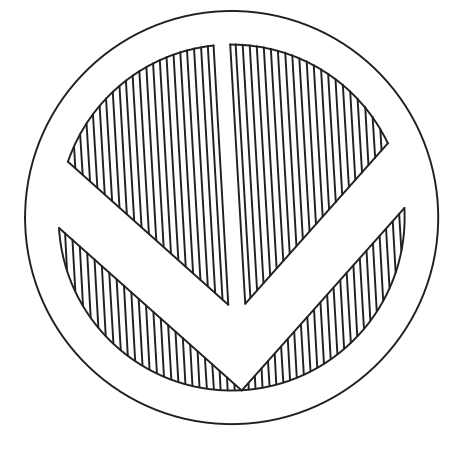
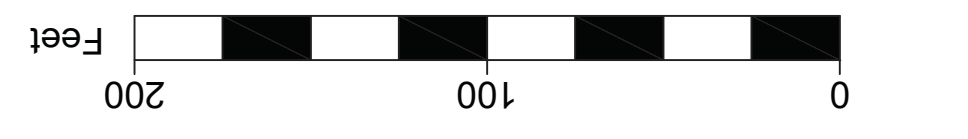


NO.	REVISION / DESCRIPTION	DATE



BASIN 2  
VOLUME = 123.972 CF  
3:1 SIDE SLOPES  
4.5' DEEP  
POND BOTTOM ELEV.: 18.50

SURVEY OF DESCRIBED PROPERTY  
SITuated AT EAST MORICHES  
TOWN OF BROOKHAVEN  
SUFFOLK COUNTY, NEW YORK  
S.C.T.M. No. 200-722-01-01  
LOT AREA = 578,724 S.F. / 13.285 ACRES  
S.C.T.M. No. 200-684-05-03  
LOT AREA = 216,789 S.F. / 4.976 ACRES  
S.C.T.M. No. 20-685-01-11  
LOT AREA = 401,618 S.F. / 9.219 ACRES  
BEARING SYSTEM AGREES WITH LIBER 4748 PAGE  
190.  
CERTIFIED TO:







NO.	REVISION / DESCRIPTION	DATE

NAME	BASIN 1	BASIN 2	DRYWELLS	SAN. SYSTEM	PROP. BUILDING	PROP. PARKING LDT	GRADING AREA (Cu.ft)	NET VOLUME (Cu.ft)
CUT (Cu.ft)	154,989.80	343,987.60	27,093.00	1,500.00	2,916.81	2,347.92	0.00	532,835.13
FILL (Cu.ft)	0.00	1,722.60	0.00	0.00	737.37	3,124.44	527,250.72	532,835.13

VOLUME SUMMARY

PROP. PARKING

NAME	Cu.Yd	CUT	FILL	NET VOLUME
Cu.ft	2,347.92	86.96	115.72	3,124.44
FILL (Cu.ft)	776.25	28.75	776.25	776.25

PROP. BUILDING

NAME	Cu.Yd	CUT	FILL	NET VOLUME
Cu.ft	2,916.81	108.03	27.31	737.37
FILL (Cu.ft)	3,654.18	135.34	3,654.18	3,654.18

DRYWELLS

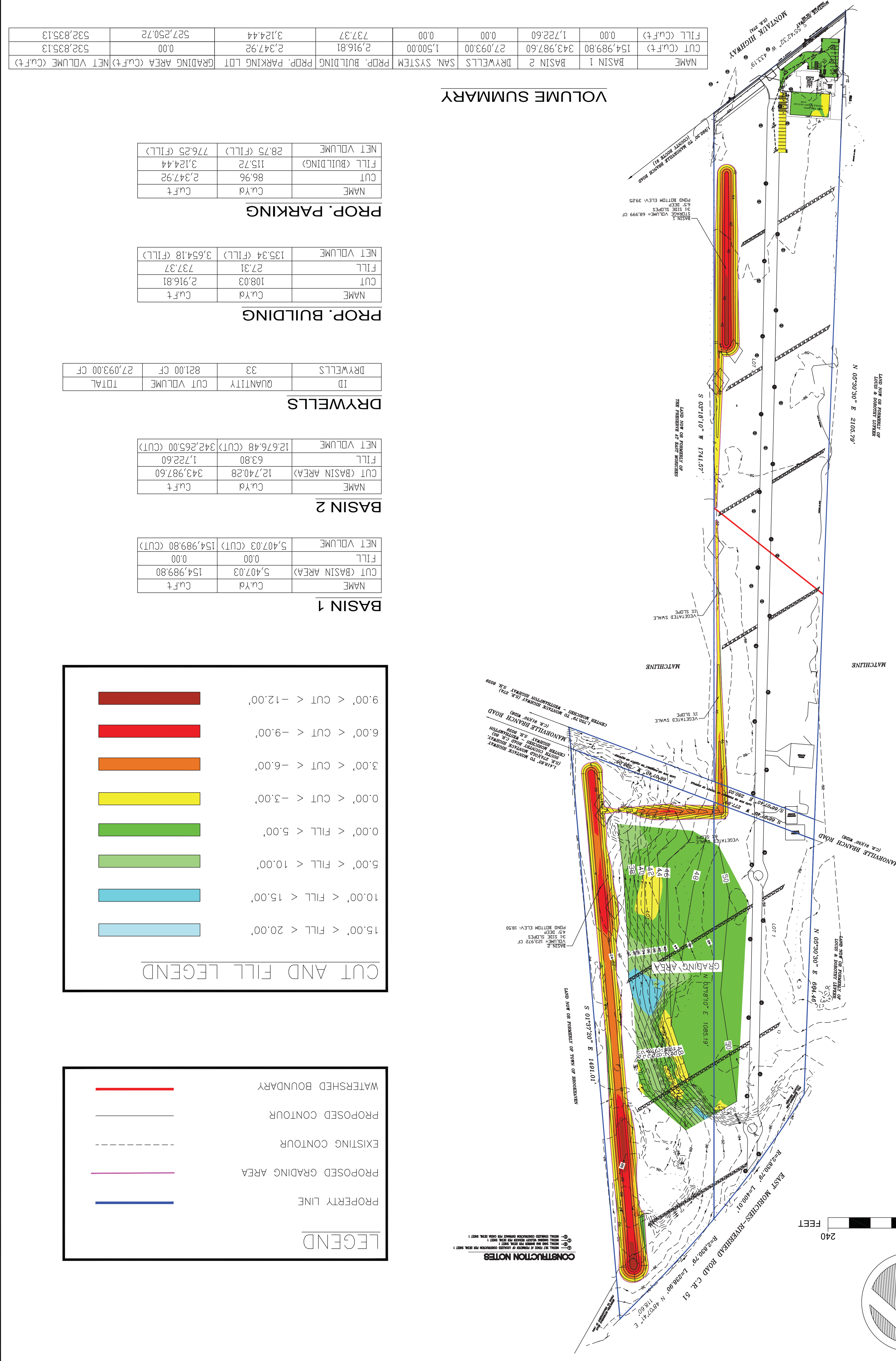
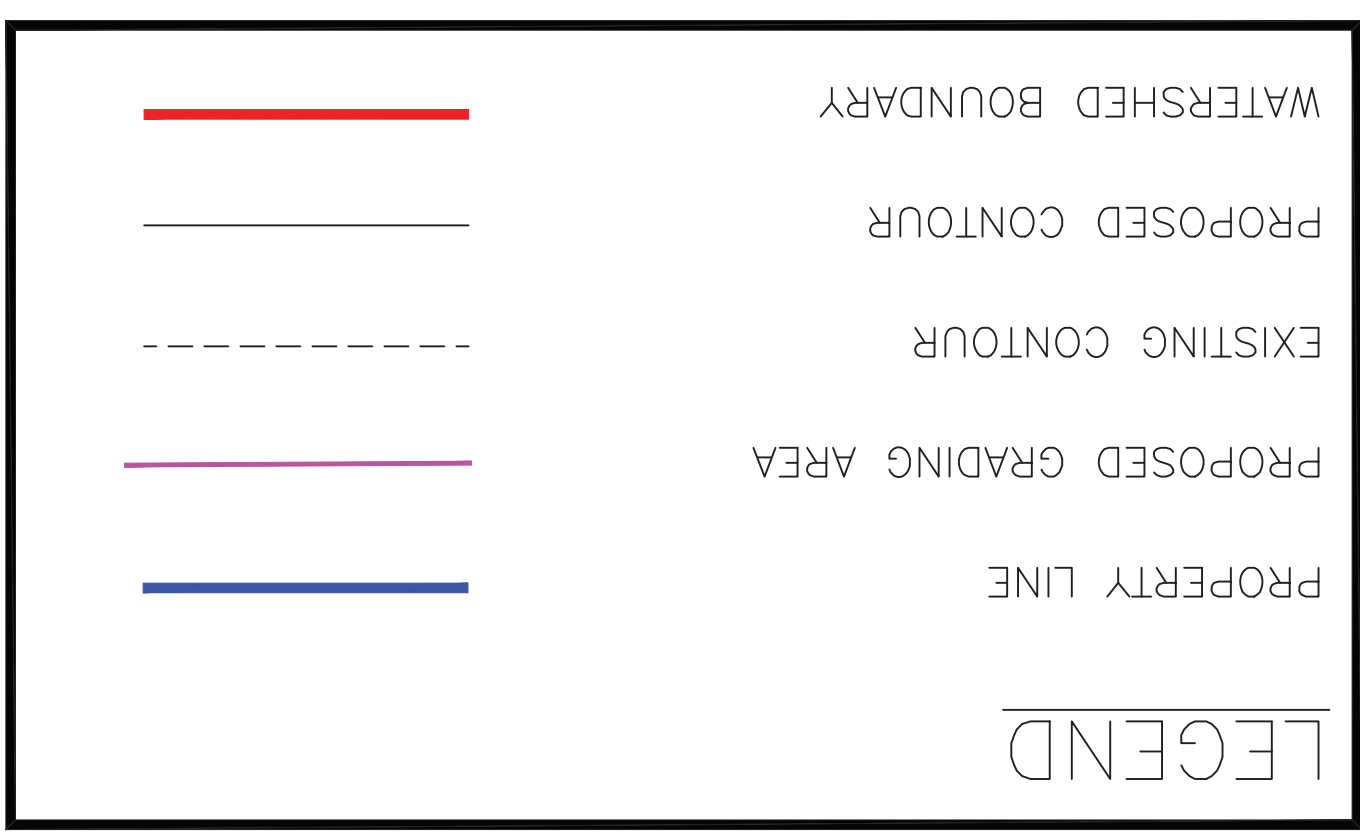
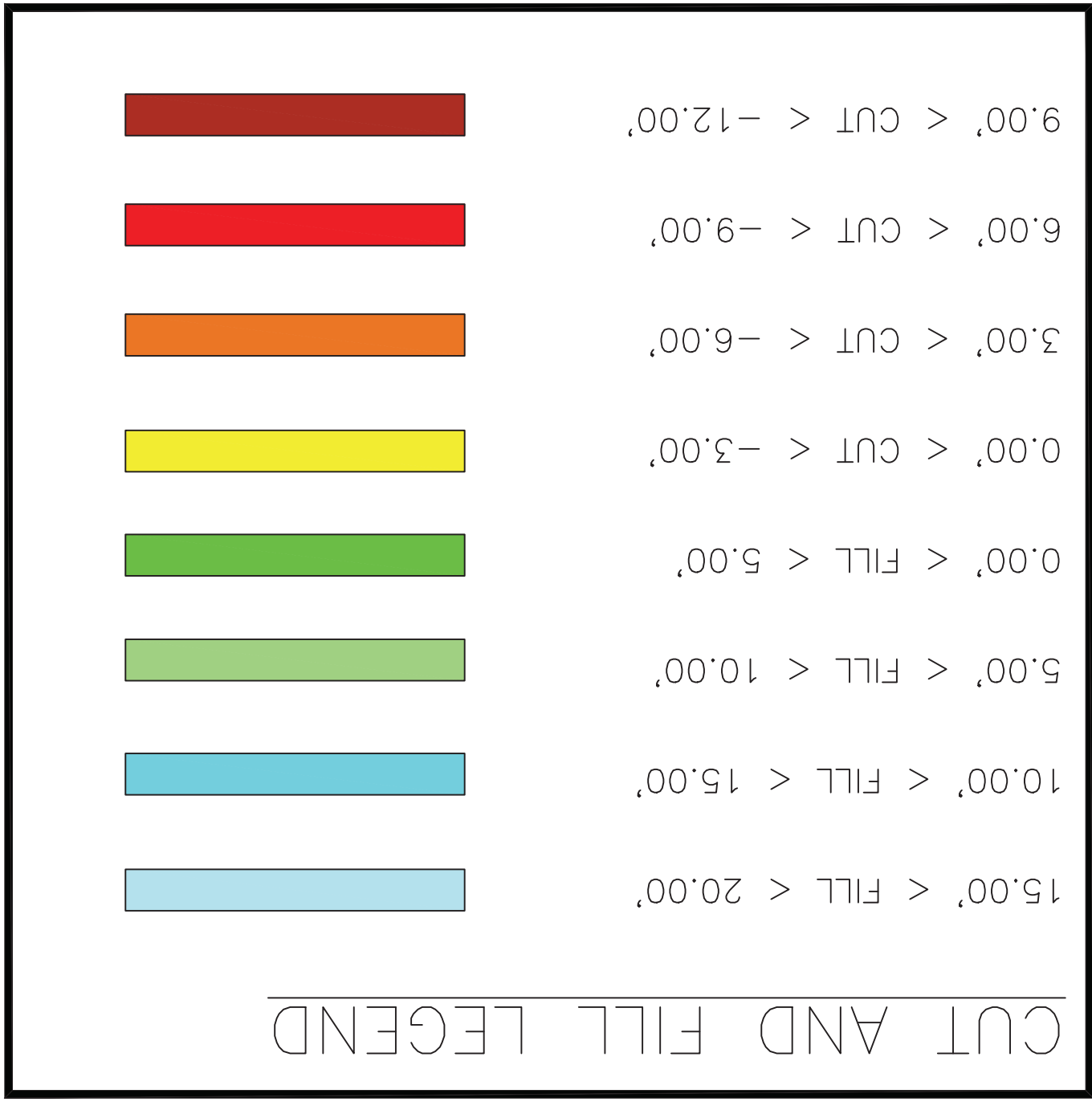
ID	QUANTITY	CUT VOLUME	TOTAL
DRYWELLS	33	821.00 CF	27,093.00 CF

BASIN 2

NAME	Cu.Yd	CUT (Cu.ft)	FILL	NET VOLUME
Cu.ft	343,987.60	12,740.28	63.80	1,722.60
FILL (Cu.ft)	1,722.60	342,265.00	12,676.48	342,265.00

BASIN 1

NAME	Cu.Yd	CUT (Cu.ft)	FILL	NET VOLUME
Cu.ft	154,989.80	5,407.03	0.00	0.00
FILL (Cu.ft)	0.00	154,989.80	5,407.03	154,989.80



CONSTRUCTION NOTES  
 1. ALL GRADING SHALL BE ACCORDING TO THE GRADING PLAN.  
 2. ALL CUTS SHALL BE PROTECTED WITH EROSION CONTROL MEASURES.  
 3. ALL FILL SHALL BE COMPACTED TO 95% RELATIVE DENSITY.  
 4. ALL DRAINAGE SHALL BE ACCORDING TO THE DRAINAGE PLAN.  
 5. ALL UTILITIES SHALL BE PROTECTED AND DEEPER THAN THE GRADING.





DRAFT

December 18, 2024

Michelle DiBrita  
Deputy Commissioner of Planning Environment and Land Management  
Brookhaven Town  
One Independence Hill  
Farmingville, NY 11738

RE: Brookhaven Sewage Treatment Plant Expansion  
60 Ramsay Road, Yaphank  
SCTM Numbers 200-554-3-4.39, 4.40 and 4.53  
Central Pine Barrens Compatible Growth Area

Timothy C. Hubbard  
*Member*

Maria Z. Moore  
*Member*

Daniel J. Panico  
*Member*

Edward P. Romaine  
*Member*

Dear Ms. DiBrita:

On November 4, 2024, the Central Pine Barrens Commission received the application for development in the Compatible Growth Area of the Central Pine Barrens.

The project site is approximately 5.4 acres and includes three tax parcels. It is in the Light Industrial Zoning District in the Brookhaven Industrial Park in Yaphank, south of the Long Island Expressway and north of the Long Island Railroad train tracks.

A sewage treatment plant is present on a portion of the project site. The remaining area is wooded and developed with a recharge basin.

The proposal seeks to expand infrastructure associated with the STP including leaching fields. Clearing of natural vegetation is proposed. The total areas of existing clearing and existing wooded area along with the final amounts after the project were not provided. Information is needed on the extent of existing natural vegetation, existing and proposed clearing and natural vegetation to remain.

### **Central Pine Barrens Status**

The proposal appears to constitute development activity pursuant to the Long Island Pine Barrens Protection Act (the Act), New York State Environmental Conservation Law (ECL) Article 57. Therefore, the proposal must conform with the standards for land use outlined in Chapter 5 of the Central Pine Barrens Comprehensive Land Use Plan (the Plan) as implemented by the Brookhaven Town Zoning Code. If the project does not conform, the application may be revised to conform or the applicant must apply for a CGA Hardship Waiver from the Commission, subject to review and action.

624 Old Riverhead Road  
Westhampton Beach, NY  
11978

Phone (631) 288-1079  
Fax (631) 288-1367  
[www.pb.state.ny.us](http://www.pb.state.ny.us)



The information provided is not sufficient to determine if the proposal conforms with the Plan. The Commission has scheduled a public hearing for January 15, 2025 if the Project does not conform.

Additional information is needed to make this determination. If the Project conforms, it does not require a hardship and the hearing will be cancelled.

To make this determination, please provide a Site Plan showing the tax parcels in the Project Site and information including:

- Existing clearing
- Existing natural vegetation
- Proposed clearing
- Proposed area of natural vegetation to remain

Please submit the information by January 6, 2025 for Commission review in advance of the public hearing.

Thank you for your attention, and if you have any questions, please do not hesitate to contact me at (631) 218-1192.

Sincerely,

Julie Hargrave  
Policy and Planning Manager

cc: Judy Jakobsen, Executive Director  
John C. Milazzo, Counsel

+

Find address or place

-

□ □ □ □ □





**COMPATIBLE GROWTH AREA APPLICATION PACKET**  
**(Critical Resource Area - Updated 07/19/24)**



Dear Applicant:

We are enclosing the necessary forms for requesting review of a proposed development within the Compatible Growth Area that is in a **Critical Resource Area** pursuant to Volume 1, Chapter 4 of the Central Pine Barrens Comprehensive Land Use Plan. Enclosed please find the following items:

1. Transmittal Letter (2 pages)
2. General Project Data Sheet (2 pages)
3. Standards and Guidelines for Land Use (3 pages)

Please note that all forms must be completely filled out and all supporting documentation to show that your project meets the standards and guidelines must be attached. The completed application with the necessary supporting documentation will constitute your development application. Development projects proposed for the Compatible Growth Area of the Central Pine Barrens which are in a Critical Resource Area must meet all of the standards and guidelines as set forth in Volume 1, Chapter 5, of the Central Pine Barrens Comprehensive Land Use Plan.

Additionally, the Transmittal Letter lists several specific items which must be submitted:

- A copy of any and all approvals that have been received to date
- Three copies of the final approved map or site plan including any required conditions or revisions.
- Copies of other maps or data that document and support the information presented in the attached forms.
- A final State Environmental Quality Review Act or finding statement and supporting documentation (Environmental Assessment Form, Draft and Final Environmental Impact Statements)
- A copy of the Suffolk County Planning Commission determination (if applicable) regarding this application.
- Completed and Notarized Owner's Affidavit (form attached) - only required if the applicant does not own the property.

As soon as your application has been received by the Commission and found to be complete, a hearing will be scheduled for your project. If you require further assistance in filling out your application, please feel free to contact Commission staff at 631-288-1079.

**COMPATIBLE GROWTH AREA APPLICATION  
TRANSMITTAL LETTER**

Dear Commissioners:

Please accept this package as an application for development review of the project known as  
**Town of Brookhaven Sewer District 2 Leaching Pools Expansion**

---

submitted on \_\_\_\_\_ by **Michelle DiBrita**  
Date Applicant's Name

This project is located within the Compatible Growth Area of the Central Pine Barrens as described in Section 57-0107 of the New York State Environmental Conservation Law. I realize that this proposal must meet the Standards and Guidelines for Land Use as per the Central Pine Barrens Comprehensive Land Use Plan including the Final Generic Environmental Impact Statement filed June 12, 1995.

I believe that this project meets all of the standards and guidelines, and appropriate supporting documentation is included in this application. Please find below an explanation, and specific page references to the accompanying support materials, showing consistency with the standards and guidelines. I have also enclosed the required additional materials as noted below. I understand that it is important that I read the enclosed standards and guidelines thoroughly and that my application may be considered incomplete if an explanation is not provided for each of the items described therein and listed below.

In addition to the information noted above, the following requisite material has also been included in this packet: *(please check those items that are included)*

A copy of any and all approvals that have been received to date

Three copies of the final approved map or site plan including any required conditions or revisions.

Copies of other maps or data that document and support the information presented in the attached forms.

Forms pursuant to the State Environmental Quality Review Act or findings statement and supporting documentation (Environmental Assessment Form, Draft and Final Environmental Impact Statements)



A copy of the Suffolk County Planning Commission determination (if applicable).

Completed and Notarized Owner's Affidavit (form attached) - only required if the applicant does not own the property.

I understand that public hearing will be scheduled for this project once my application has been deemed complete.

\_\_\_\_\_  
(Applicant's Signature)

**Michelle DiBrita**

\_\_\_\_\_  
(Applicant's Name Printed)

I authorize the following individual to act as my agent throughout the review process for this application. Please contact them with all information pertaining to this matter.

Agent's Name, Address and Phone Number:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
(Agent's Signature)

**OWNER'S AFFIDAVIT**

*(Use this form if property is owned by an individual or a partnership)*

STATE OF \_\_\_\_\_ )

)ss:

COUNTY OF \_\_\_\_\_ )

\_\_\_\_\_, being duly sworn, deposes  
(Owner's Name(s))

and says that I/we reside at \_\_\_\_\_  
(Owner's Address)  
\_\_\_\_\_, in the County of \_\_\_\_\_,

State of \_\_\_\_\_, and that I/we am/are the owner in fee of the  
property located at \_\_\_\_\_,

(Property Address)  
which is also designated as Suffolk County Tax Map Number(s) \_\_\_\_\_

\_\_\_\_\_, and that I/we have been the

owner(s) of this property continuously since \_\_\_\_\_, and that I/we  
(Date)

have authorized Michelle DiBrita \_\_\_\_\_ to make a  
(Applicant's Name)

permit application to the Central Pine Barrens Joint Planning and Policy Commission for this

property. I/we make this Statement knowing that the Central Pine Barrens Joint Planning and

Policy Commission will rely upon the truth of the information contained herein.

\_\_\_\_\_  
(Owner's Signature)

\_\_\_\_\_  
(2<sup>nd</sup> Owner's Signature)

\_\_\_\_\_  
(Owner's Name - Please Print)

\_\_\_\_\_  
(2<sup>nd</sup> Owner's Name - Please Print)

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Date)

Sworn to before me this  
\_\_\_\_\_ day of \_\_\_\_\_ 20\_\_

Sworn to before me this  
\_\_\_\_\_ day of \_\_\_\_\_ 20\_\_

\_\_\_\_\_  
(Notary Public)

\_\_\_\_\_  
(Notary Public)



**OWNER'S AFFIDAVIT**

*(Use this form if property is owned by a corporation)*

STATE OF \_\_\_\_\_ )

)ss:

COUNTY OF \_\_\_\_\_ )

I, \_\_\_\_\_, being duly sworn, deposes and says that I am the  
(Authorized Officer's Name)

\_\_\_\_\_ of the \_\_\_\_\_ corporation  
(Official Title) (Landowner's Name)

located at \_\_\_\_\_,  
(Landowner's Address)

in the County of \_\_\_\_\_, State of \_\_\_\_\_, and that

this corporation is the owner in fee of the property located at \_\_\_\_\_  
(Property Address)

\_\_\_\_\_, which is also designated as Suffolk County Tax

Map Number(s) \_\_\_\_\_, and that

this corporation has been the owner of this property continuously since \_\_\_\_\_,  
(Date)

and that I have authorized Michelle DiBrita \_\_\_\_\_  
(Applicant's Name)

to make a permit application to the Central Pine Barrens Joint Planning and Policy Commission

for this property. I make this Statement knowing that the Central Pine Barrens Joint Planning

and Policy Commission will rely upon the truth of the information contained herein.

\_\_\_\_\_  
(Authorized Officer's Signature)

\_\_\_\_\_  
(Officer's Name - Please Print)

\_\_\_\_\_  
(Date)

Sworn to before me this  
\_\_\_\_\_ day of \_\_\_\_\_ 20\_\_

\_\_\_\_\_  
(Notary Public)

**COMPATIBLE GROWTH AREA APPLICATION  
PROJECT DATA SHEET**

<b>APPLICANT INFORMATION</b>	
Name (print)	Michelle DiBrita
Address	One Independence Hill, Farmingville, NY
Phone/Fax	6314518696
Agent's Name	
Address	
Phone/Fax	
<b>PROJECT INFORMATION</b>	
Project Name	Town of Brookhaven Sewer District 2 Leaching Pools Expansion
Tax Map Number(s)	0200554000300004053
Street Location	Approx. 175ft west of 60 Ramsey Road
Hamlet & Town	Shirley
Total Project Site Acreage	1.961
Existing Land Use (vacant residence, etc)	Vacant
Present Zoning (if split please give areas within zone)	Commercial
Project Description	Expansion of the leaching pool system for the Town of Brookhaven Sewer District 2 Sewage Treatment Plant.



<b>PERMIT INFORMATION</b> (please note which permits or plans are required and why, if they have been received and as of what date)	
State Environmental Quality Review Act (SEQRA) (please note if positive declaration, date of DEIS and FEIS, etc)	Required; Not yet received.
Town Permits - subdivision, site plan, tree clearing, variance, special permit (please note from which board)	N/A
Project Plans Enclosed (site plan, subdivision, etc.) Including drainage or landscape plans	N/A
NYS DEC - wetlands, WSR, mining, SPDES, etc.	SPDES Permit required; Not yet received.
Suffolk County Department of Health Services - Article 6, 7, 12	SCDHS Application form for other than Single Family Residences and SCDHS Checklist for other than Single Family Residences needed; Not yet received.
Suffolk County Planning Commission	N/A
If Project is in a Critical Resource Area please note which one and how project protects noted feature (see Plan, Volume I, Chapter 4)	N/A

## STANDARDS AND GUIDELINES FOR LAND USE

Standard (S)/Guideline (G)		Explanation and Document Page Reference <i>(Attach additional sheets if necessary)</i>
S 5.3.3.1.1	Suffolk County Sanitary Code Article 6 compliance	SPEDES Permit
S 5.3.3.1.2	Sewage treatment plant discharge	SPEDES Permit
S 5.3.3.1.3	Suffolk County Sanitary Code Articles 7 and 12 compliance	N/A
S 5.3.3.1.4	Commercial and industrial compliance with the Suffolk County Sanitary Code	N/A
G 5.3.3.1.5	Nitrate-nitrogen goal	SPEDES Permit - 10 mg/l
S 5.3.3.3.1	Significant discharges and public supply well locations	N/A
G 5.3.3.3.2	Private well protection	N/A
S 5.3.3.4.1	Nondisturbance buffers	N/A
S 5.3.3.4.2	Buffer delineations, covenants and conservation easements	N/A
S 5.3.3.4.3	Wild, Scenic and Recreational Rivers Act compliance	N/A
G 5.3.3.4.4	Additional nondisturbance buffers	N/A



<b>Standard (S)/Guideline (G)</b>		<b>Explanation and Document Page Reference</b> <i>(Attach additional sheets if necessary)</i>
S 5.3.3.5.1	Stormwater recharge	Groundwater Recharge Onsite
S 5.3.3.5.2	Natural recharge and drainage	N/A
S 5.3.3.5.3	Ponds	N/A
S 5.3.3.5.4	Natural topography in lieu of recharge basins	N/A
S 5.3.3.5.5	Soil erosion and stormwater runoff control during construction	
S 5.3.3.6.1	Vegetation clearance limits	65% Clearance
S 5.3.3.6.1.1	Non-contiguous parcels	N/A
S 5.3.3.6.1.2	Split zone parcel(s)	N/A
S 5.3.3.6.1.3	Residential overlay district	N/A
S 5.3.3.6.1.4	Environmental restoration	
S 5.3.3.6.1.5	CGA Hardship requirement	N/A
S 5.3.3.6.1.6	Split Core-CGA parcel(s)	N/A

<b>Standard (S)/Guideline (G)</b>		<b>Explanation and Document Page Reference</b> <i>(Attach additional sheets if necessary)</i>
S 5.3.3.6.2	Open space standard requirement, unfragmented open space and habitat	N/A
S 5.3.3.6.3	Fertilizer-dependent vegetation limit	N/A
S 5.3.3.6.4	Native plantings	N/A
S 5.3.3.6.5	Receiving entity and protection for open space areas	N/A
S 5.3.3.7.1	Special species and ecological communities	Northern Long-Eared Bat
S 5.3.3.7.2	Bird conservation and protection	N/A
G 5.3.3.8.1	Clearing envelopes	65%
G 5.3.3.8.2	Stabilization and erosion control	New York State Blue Book
G 5.3.3.8.3	Slope analysis	N/A
G 5.3.3.8.4	Erosion and sediment control plans	New York State Blue Book
G 5.3.3.8.5	Placement of roadways	N/A - Existing
G 5.3.3.8.6	Retaining walls and control structures	N/A



<b>Standard (S)/Guideline (G)</b>		<b>Explanation and Document Page Reference</b> <i>(Attach additional sheets if necessary)</i>
<b>S 5.3.3.9.1</b>	<b>Light pollution prevention</b>	N/A
<b>S 5.3.3.11.1</b>	<b>Tall structures and scenic resources</b>	N/A
<b>G 5.3.3.11.2</b>	<b>Cultural resource consideration</b>	SHPO Signed off document
<b>G 5.3.3.11.3</b>	<b>Inclusion of cultural resources in applications</b>	SHPO Signed off document
<b>G 5.3.3.11.4</b>	<b>Protection of scenic and recreational resources</b>	N/A
<b>G 5.3.3.11.5</b>	<b>Roadside design and management</b>	N/A



Department of Environmental Conservation

# State Pollutant Discharge Elimination System (SPDES) DISCHARGE PERMIT

RECEIVED  
NOV 04 2024

Central Pine Barrens Joint Planning & Policy Commission

Industrial Code:	4952	SPDES Number:	NY-0277827
Discharge Class (CL):	07	DEC Number:	1-4722-02673/00003
Toxic Class (TX):	N	Effective Date (EDP):	October 1, 2014
Major Drainage Basin:	17	Expiration Date (ExDP):	September 30, 2024
Sub Drainage Basin:	02	Modification Dates: (EDPM)	April 1, 2016
Water Index Number:	GA		
Compact Area:			

This SPDES permit is issued in compliance with Title 8 of Article 17 of the Environmental Conservation Law of New York State and in compliance with the Clean Water Act, as amended, (33 U.S.C. §1251 et seq.) (hereinafter referred to as "the Act").

### PERMITTEE NAME AND ADDRESS

Name:	Town of Brookhaven Sewer District #2	Attention:	Brenda Prusinowski, Deputy Commissioner of PELM
Street:	One Independence Hill		
City:	Farmingville	State:	NY
		Zip Code:	11738

is authorized to discharge from the facility described below:

### FACILITY NAME AND ADDRESS

Name:	Town of Brookhaven Sewer District #2		
Location (C,T,V):	Town of Brookhaven	County:	Suffolk
Facility Address:	60 Ramsay Road, 850 +/- feet East of Boned Road		
City:	Shirley	State:	NY
From Outfall No.:	001	at Latitude:	40 ° 50 ' 45 " & Longitude: 72 ° 52 ' 23 "
into receiving waters known as:	Long Island Groundwater	Class:	GA

and (list other Outfalls, Receiving Waters & Water Classifications)

in accordance with: effluent limitations; monitoring and reporting requirements; other provisions and conditions set forth in this permit; and 6 NYCRR Part 750-1 and 750-2.

### DISCHARGE MONITORING REPORT (DMR) MAILING ADDRESS

Mailing Name:	Water and Sewage Treatment Enterprises Inc.,		
Street:	22 North Dunton Avenue		
City:	Medford	State:	NY
		Zip Code:	11763
Responsible Official or Agent:	Richard Crescenzo	Phone:	(631) 696-7988

This permit and the authorization to discharge shall expire on midnight of the expiration date shown above and the permittee shall not discharge after the expiration date unless this permit has been renewed, or extended pursuant to law. To be authorized to discharge beyond the expiration date, the permittee shall apply for permit renewal not less than 180 days prior to the expiration date shown above.

### DISTRIBUTION:

CO BWP - Permit Coordinator  
RWE  
RPA  
NYSEFC

Permit Administrator: Laura Scovazzo	
Address: SUNY @ Stony Brook 50 Circle Road Stony Brook, NY 11790-3409	
Signature: <i>Laura Scovazzo</i>	Date: 3/4/16



## PERMIT LIMITS, LEVELS AND MONITORING DEFINITIONS

OUTFALL	WASTEWATER TYPE	RECEIVING WATER	EFFECTIVE	EXPIRING
	This cell describes the type of wastewater authorized for discharge. Examples include process or sanitary wastewater, storm water, non-contact cooling water.	This cell lists classified waters of the state to which the listed outfall discharges.	The date this page starts in effect. (e.g. EDP or EDPM)	The date this page is no longer in effect. (e.g. ExDP)

PARAMETER	MINIMUM	MAXIMUM	UNITS	SAMPLE FREQ.	SAMPLE TYPE
e.g. pH, TRC, Temperature, D.O.	The minimum level that must be maintained at all instants in time.	The maximum level that may not be exceeded at any instant in time.	SU, °F, mg/l, etc.	See below	See below

PARAMETER	EFFLUENT LIMIT or CALCULATED LEVEL	COMPLIANCE LEVEL / ML	ACTION LEVEL	UNITS	SAMPLE FREQUENCY	SAMPLE TYPE
	Limit types are defined below in Note 1. The effluent limit is developed based on the more stringent of technology-based limits, required under the Clean Water Act, or New York State water quality standards. The limit has been derived based on existing assumptions and rules. These assumptions include receiving water hardness, pH and temperature; rates of this and other discharges to the receiving stream; etc. If assumptions or rules change the limit may, after due process and modification of this permit, change.	For the purposes of compliance assessment, the permittee shall use the approved EPA analytical method with the lowest possible detection limit as promulgated under 40CFR Part 136 for the determination of the concentrations of parameters present in the sample unless otherwise specified. If a sample result is below the detection limit of the most sensitive method, compliance with the permit limit for that parameter was achieved. Monitoring results that are lower than this level must be reported, but shall not be used to determine compliance with the calculated limit. This Minimum Level (ML) can be neither lowered nor raised without a modification of this permit.	Action Levels are monitoring requirements, as defined below in Note 2, which trigger additional monitoring and permit review when exceeded.	This can include units of flow, pH, mass, temperature, or concentration. Examples include µg/l, lbs/d, etc.	Examples include Daily, 3/week, weekly, 2/month, monthly, quarterly, 2/yr and yearly. All monitoring periods (quarterly, semiannual, annual, etc) are based upon the calendar year unless otherwise specified in this Permit.	Examples include grab, 24 hour composite and 3 grab samples collected over a 6 hour period.

**Notes:**

**1. EFFLUENT LIMIT TYPES:**

- a. **DAILY DISCHARGE:** The discharge of a pollutant measured during a calendar day or any 24-hour period that reasonably represents the calendar day for the purposes of sampling. For pollutants expressed in units of mass, the 'daily discharge' is calculated as the total mass of the pollutant discharged over the day. For pollutants with limitations expressed in other units of measurement, the 'daily discharge' is calculated as the average measurement of the pollutant over the day.
- b. **DAILY MAX:** The highest allowable daily discharge. **DAILY MIN:** The lowest allowable daily discharge.
- c. **MONTHLY AVG:** The highest allowable average of daily discharges over a calendar month, calculated as the sum of each of the daily discharges measured during a calendar month divided by the number of daily discharges measured during that month.
- d. **7 DAY ARITHMETIC MEAN (7 day average):** The highest allowable average of daily discharges over a calendar week.
- e. **30 DAY GEOMETRIC MEAN:** The highest allowable geometric mean of daily discharges over a calendar month, calculated as the antilog of: the sum of the log of each of the daily discharges measured during a calendar month divided by the number of daily discharges measured during that month.
- f. **7 DAY GEOMETRIC MEAN:** The highest allowable geometric mean of daily discharges over a calendar week.
- g. **RANGE:** The minimum and maximum instantaneous measurements for the reporting period must remain between the two values shown.

2. **ACTION LEVELS:** Routine Action Level monitoring results, if not provided for on the Discharge Monitoring Report (DMR) form, shall be appended to the DMR for the period during which the sampling was conducted. If the additional monitoring requirement is triggered as noted below, the permittee shall undertake a short-term, high-intensity monitoring program for the parameter(s). Samples identical to those required for routine monitoring purposes shall be taken on each of at least three consecutive operating and discharging days and analyzed. Results shall be expressed in terms of both concentration and mass, and shall be submitted no later than the end of the third month following the month when the additional monitoring requirement was triggered. Results may be appended to the DMR or transmitted under separate cover to the same address. If levels higher than the Action Levels are confirmed, the permit may be reopened by the Department for consideration of revised Action Levels or effluent limits. The permittee is not authorized to discharge any of the listed parameters at levels which may cause or contribute to a violation of water quality standards.

**PERMIT LIMITS, LEVELS AND MONITORING**

OUTFALL	LIMITATIONS APPLY:	RECEIVING WATER	EFFECTIVE	EXPIRING
001	All year unless otherwise noted	Groundwater	10/01/2014	09/30/2024

PARAMETER	EFFLUENT LIMIT					MONITORING REQUIREMENTS				FN
	Type	Limit	Units	Limit	Units	Sample Frequency	Sample Type	Location		
								Inf.	Eff.	
Flow	Monthly Average	0.200	mgd	-----	----	Continuous	Meter	----	X	1,2
pH	Range	5.5 – 8.5	SU	-----	----	Daily	Grab	X	X	1,2
Total Nitrogen (as N)	Daily Maximum	10	mg/l	-----	----	Weekly	Grab	X	X	1,2
Dissolved Solids, Total	Daily Maximum	1,000	mg/l	-----	----	Weekly	Grab	----	X	1,2
Temperature	Daily Maximum	Monitor	Deg-F	-----	----	Daily	Grab	----	X	1,2

**FN (FOOTNOTES):**

- Monitoring locations are shown on Page 5 & 6.
- See below for Special Conditions for Effluent Limitations & Monitoring Requirements.

**SPECIAL CONDITIONS:**

**EFFLUENT LIMITATIONS & MONITORING REQUIREMENTS:**

- No sewer extensions (connections outside the approval district) without prior DEC approval.
- Grab samples shall be taken during the periods which include normally high effluent flows.
- In addition to the above requirements, wastewater disinfection will be required if determined by the Suffolk County Department of Health Services (SCDHS) acting as the agent of NYSDEC, to be necessary for control of odors or other health related purposes. Accordingly, supplies and equipment necessary to assure proper disinfection shall be kept available and operable at all times by the permittee, and tested in manner and frequency as directed by SCDHS.



Process Control Testing to be recorded on Wastewater Facility Operation Report (Form 92-15-7) and retained for three years:

PARAMETER	UNITS	FREQUENCY	SAMPLE TYPE	SAMPLE LOCATION	FOOT NOTE
Total Flow	MGD	Continuous	Meter	Effluent	1
Suspended Solids- MLSS	mg/l	1/month	Grab	Aeration Tank	1
Ammonia, as NH <sub>3</sub> - Hach	mg/l	2/Week	Grab	Influent, Effluent	1,2
Dissolved Oxygen-probe	mg/l	2/week	meter	See Note 3	1,3
pH probe	SU	2/week	meter	See Note 3	1,3
30 min. Settability Test	mg/l	2/week	Grab	Settling Tank	1
Temperature	Deg. F	2/week	Grab	Influent/Effluent	1
Visual Observation	-----	2/week	-----	Influent & Effluent	1
Nitrate & Nitrite as N - Hach	mg/l	2/Week	Grab	See Note 3	1,2,3

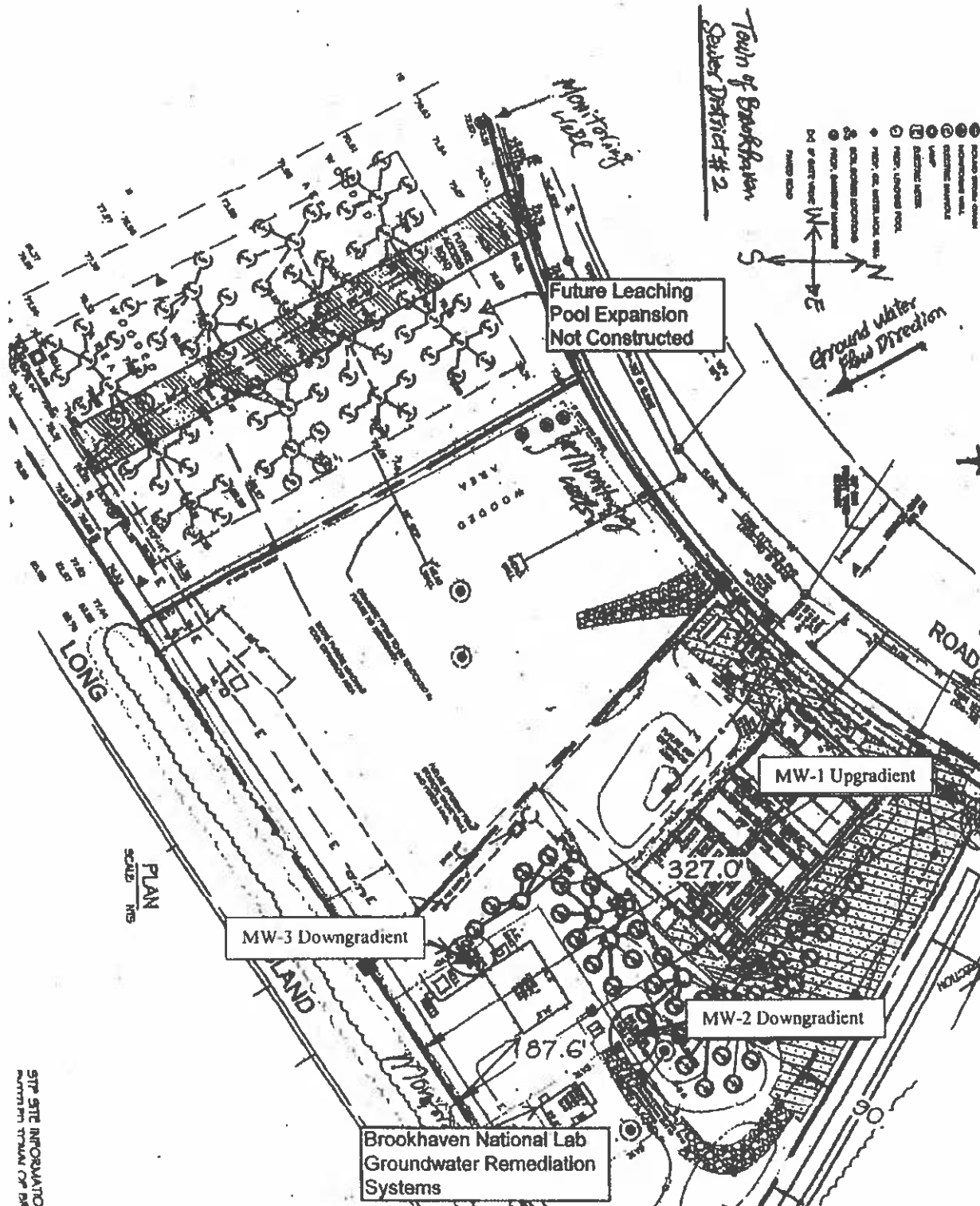
Groundwater Monitoring to be reported on Discharge Monitoring Report according to the following schedule:

PARAMETER	UNITS	FREQUENCY	SAMPLE TYPE	SAMPLE LOCATION	FOOT NOTE
Water level above MSL	Feet	Quarterly	Measure	MW-1,-2,-3	4, 5
Total Kjeldahl Nitrogen	mg/l	Quarterly	Bailed	MW-1,-2,-3	4, 5
Ammonia	mg/l	Quarterly	Bailed	MW-1,-2,-3	4, 5
Nitrate	mg/l	Quarterly	Bailed	MW-1,-2,-3	4, 5
Nitrite	mg/l	Quarterly	Bailed	MW-1,-2,-3	4, 5
Total Nitrogen	mg/l	Quarterly	Bailed	MW-1,-2,-3	4, 5
Total Dissolved Solids	mg/l	Quarterly	Bailed	MW-1,-2,-3	4, 5

- FOOTNOTES:**
- 1 Process control monitoring locations are shown on Page 6.
  - 2 Take one sample for Hach Kit analysis at same time as monthly laboratory sample to enable comparison.
  3. Anoxic Tanks, Aeration Tank, Effluent
  - 4 Evacuate three well casing volumes before sampling all groundwater parameters except water level.
  - 5 Groundwater wells shall be designated as: MW-1 is Up gradient, MW-2 and MW-3 are Down gradient as shown on Page.5.

# MONITORING LOCATIONS

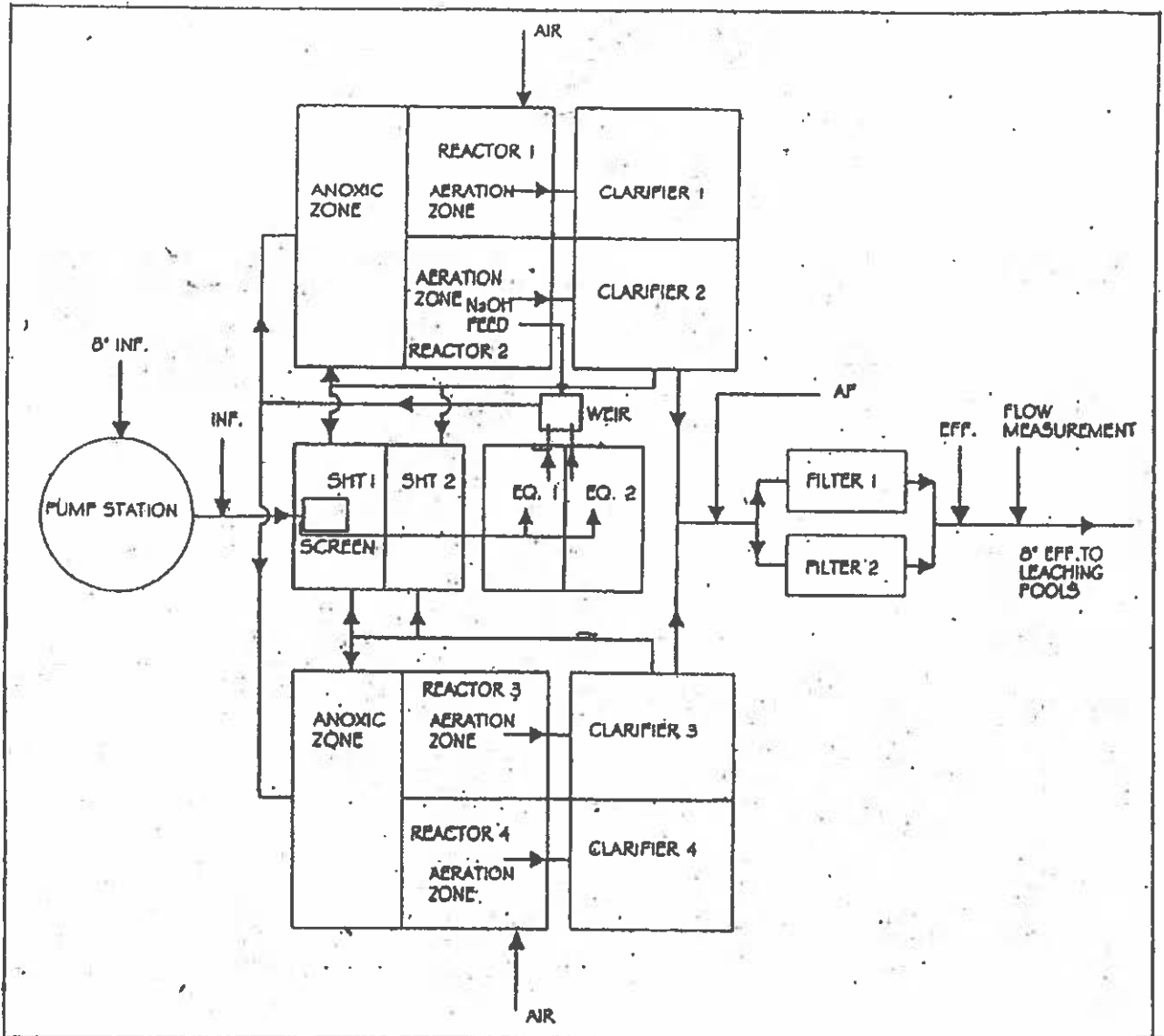
The permittee shall take samples and measurements, to comply with the monitoring requirements specified in this permit, at the locations(s) specified below:





## PROCESS CONTROL MONITORING LOCATIONS

The permittee shall take samples and measurements, to comply with the monitoring requirements specified in this permit, at the locations(s) specified below:



## PROCESS CONTROL MONITORING LOCATION DESCRIPTION

- Influent (INF): Sample taken prior to Reactor
- After Clarification (AF): Sample taken from Clarifier effluent.
- Effluent (EFF): Sample taken in Filter effluent chamber

## GENERAL REQUIREMENTS

- A. The regulations in 6 NYCRR Part 750 are hereby incorporated by reference and the conditions are enforceable requirements under this permit. The permittee shall comply with all requirements set forth in this permit and with all the applicable requirements of 6 NYCRR Part 750 incorporated into this permit by reference, including but not limited to the regulations in paragraphs B through I as follows:
- B. General Conditions
- |  |   |
|--|---|
| 1. Duty to comply                                | 6NYCRR Part 750-2.1(e) & 2.4                |
| 2. Duty to reapply                               | 6NYCRR Part 750-1.16(a)                     |
| 3. Need to halt or reduce activity not a defense | 6NYCRR Part 750-2.1(g)                      |
| 4. Duty to mitigate                              | 6NYCRR Part 750-2.7(f)                      |
| 5. Permit actions                                | 6NYCRR Part 750-1.1(c), 1.18, 1.20 & 2.1(h) |
| 6. Property rights                               | 6NYCRR Part 750-2.2(b)                      |
| 7. Duty to provide information                   | 6NYCRR Part 750-2.1(i)                      |
| 8. Inspection and entry                          | 6NYCRR Part 750-2.1(a) & 2.3                |
- C. Operation and Maintenance
- |                                   |  |
|-----------------------------------|--|
| 1. Proper Operation & Maintenance | 6NYCRR Part 750-2.8                      |
| 2. Bypass                         | 6NYCRR Part 750-1.2(a)(17), 2.8(b) & 2.7 |
| 3. Upset                          | 6NYCRR Part 750-1.2(a)(94) & 2.8(c)      |
- D. Monitoring and Records
- |                           |   |
|---------------------------|---|
| 1. Monitoring and records | 6NYCRR Part 750-2.5(a)(2), 2.5(c)(1), 2.5(c)(2), 2.5(d) & 2.5(a)(6) |
| 2. Signatory requirements | 6NYCRR Part 750-1.8 & 2.5(b)  |
- E. Reporting Requirements
- |  |                                      |
|--|--------------------------------------|
| 1. Reporting requirements  | 6NYCRR Part 750-2.5, 2.6, 2.7 & 1.17 |
| 2. Anticipated noncompliance   | 6NYCRR Part 750-2.7(a)               |
| 3. Transfers   | 6NYCRR Part 750-1.17                 |
| 4. Monitoring reports  | 6NYCRR Part 750-2.5(e)               |
| 5. Compliance schedules  | 6NYCRR Part 750-1.14(d)              |
| 6. 24-hour reporting   | 6NYCRR Part 750-2.7(c) & (d)         |
| 7. Other noncompliance   | 6NYCRR Part 750-2.7(e)               |
| 8. Other information   | 6NYCRR Part 750-2.1(f)               |
| 9. Additional conditions applicable to a POTW                        | 6NYCRR Part 750-2.9                  |
| 10. Special reporting requirements for discharges that are not POTWs | 6NYCRR Part 750-2.6                  |
- F. Planned Changes
1. The permittee shall give notice to the Department as soon as possible of any planned physical alterations or additions to the permitted facility. Notice is required only when:
    - a. The alteration or addition to the permitted facility may meet of the criteria for determining whether facility is a new source in 40 CFR §122.29(b); or
    - b. The alteration or addition could significantly change the nature or increase the quantity of pollutants discharged. This notification applies to pollutants which are subject neither to effluent limitations in the permit, or to notification requirements under 40 CFR §122.42(a)(1); or
    - c. The alteration or addition results in a significant change in the permittee's sludge use or disposal practices, and such alteration, addition, or change may justify the application of permit conditions that are different from or absent in the existing permit, including notification of additional use or disposal sites not reported during the permit application process or not reported pursuant to an approved land application plan.

In addition to the Department, the permittee shall submit a copy of this notice to the United States Environmental Protection Agency at the following address: U.S. EPA Region 2, Clean Water Regulatory Branch, 290 Broadway, 24<sup>th</sup> Floor, New York, NY 10007-1866.



## GENERAL REQUIREMENTS continued

### G. Notification Requirement for POTWs

- I. All POTWs shall provide adequate notice to the Department and the USEPA of the following:
  - a. Any new introduction of pollutants into the POTW from an indirect discharger which would be subject to section 301 or 306 of CWA if it were directly discharging those pollutants; or
  - b. Any substantial change in the volume or character of pollutants being introduced into that POTW by a source introducing pollutants into the POTW at the time of issuance of the permit.
  - c. For the purposes of this paragraph, adequate notice shall include information on:
    - i. the quality and quantity of effluent introduced into the POTW, and
    - ii. any anticipated impact of the change on the quantity or quality of effluent to be discharged from the POTW.

POTWs shall submit a copy of this notice to the United States Environmental Protection Agency, at the following address: U.S. EPA Region 2, Clean Water Regulatory Branch, 290 Broadway, 24th Floor, New York, NY 10007-1866.

### H. Sludge Management

The permittee shall comply with all applicable requirements of 6 NYCRR Part 360.

### I. SPDES Permit Program Fee

The permittee shall pay to the Department an annual SPDES permit program fee within 30 days of the date of the first invoice, unless otherwise directed by the Department, and shall comply with all applicable requirements of ECL 72-0602 and 6 NYCRR Parts 480, 481 and 485. Note that if there is inconsistency between the fees specified in ECL 72-0602 and 6 NYCRR Part 485, the ECL 72-0602 fees govern.

### J. Water Treatment Chemicals (WTCs)

New or increased use and discharge of a WTC requires prior Department review and authorization. At a minimum, the permittee must notify the Department in writing of its intent to change WTC use by submitting a completed *WTC Notification Form* for each proposed WTC. The Department will review that submittal and determine if a SPDES permit modification is necessary or whether WTC review and authorization may proceed outside of the formal permit administrative process. The majority of WTC authorizations do not require SPDES permit modification. In any event, use and discharge of a WTC shall not proceed without prior authorization from the Department. Examples of WTCs include biocides, coagulants, conditioners, corrosion inhibitors, defoamers, deposit control agents, flocculants, scale inhibitors, sequestrants, and settling aids.

1. WTC use shall not exceed the rate explicitly authorized by this permit or otherwise authorized in writing by the Department
2. The permittee shall maintain a logbook of all WTC use, noting for each WTC the date, time, exact location, and amount of each dosage, and, the name of the individual applying or measuring the chemical. The logbook must also document that adequate process controls are in place to ensure that excessive levels of WTCs are not used.
3. The permittee shall submit a completed *WTC Annual Report Form* each year that they use and discharge WTCs. This form shall be attached to either the December DMR or the annual monitoring report required below.

The *WTC Notification Form* and *WTC Annual Report Form* are available from the Department's website at <http://www.dec.ny.gov/permits/93245.html>.

## RECORDING, REPORTING AND ADDITIONAL MONITORING REQUIREMENTS

A. The monitoring information required by this permit shall be summarized, signed and retained for a period of at least five years from the date of the sampling for subsequent inspection by the Department or its designated agent. Also, monitoring information required by this permit shall be summarized and reported by submitting;

(if box is checked) completed and signed Discharge Monitoring Report (DMR) forms for each one month reporting period to the locations specified below. Blank forms are available at the Department's Albany office listed below. The first reporting period begins on the effective date of this permit and the reports will be due no later than the 28th day of the month following the end of each reporting period.

(if box is checked) an annual report to the Regional Water Engineer at the address specified below. The annual report is due by February 1 each year and must summarize information for January to December of the previous year in a format acceptable to the Department.

(if box is checked) a monthly "Wastewater Facility Operation Report..." (form 92-15-7) to the:

Regional Water Engineer and/or  County Health Department or Environmental Control Agency specified below

Send the original (top sheet) of each DMR page to:  
Department of Environmental Conservation  
Division of Water, Bureau of Water Compliance  
625 Broadway  
Albany, New York 12233-3506

Phone: (518) 402-8177

Send an additional copy of each DMR page to:

Suffolk County Dept. of Health Services  
360 Yaphank Avenue-Suite 2C  
Yaphank, NY 11980  
Atten: Walter Hilbert, P.E.

Send the first copy (second sheet) of each DMR page to:  
Department of Environmental Conservation  
Regional Water Engineer, Region 1  
50 Circle Road  
Stony Brook, New York 11790-3409

Phone: (631) 444-0420

- B. Monitoring and analysis shall be conducted according to test procedures approved under 40 CFR Part 136, unless other test procedures have been specified in this permit.
- C. More frequent monitoring of the discharge(s), monitoring point(s), or waters of the State than required by the permit, where analysis is performed by a certified laboratory or where such analysis is not required to be performed by a certified laboratory, shall be included in the calculations and recording of the data on the corresponding DMRs.
- D. Calculations which require averaging of measurements shall utilize an arithmetic mean unless otherwise specified in this permit.
- E. Unless otherwise specified, all information recorded on the DMRs shall be based upon measurements and sampling carried out during the most recently completed reporting period.
- F. Any laboratory test or sample analysis required by this permit for which the State Commissioner of Health issues certificates of approval pursuant to section 502 of the Public Health Law shall be conducted by a laboratory which has been issued a certificate of approval. Inquiries regarding laboratory certification should be directed to the New York State Department of Health, Environmental Laboratory Accreditation Program.



**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**RECEIVED**  
NOV 04 2024  
Central Pine Barrens Joint  
Planning & Policy Commission

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Town of Brookhaven sewer district #2 Plant Expansion.		
Project Location (describe, and attach a general location map): 60 Ramsay Road, Yaphank		
Brief Description of Proposed Action (include purpose or need): Expanding existing treatment plant from 200,000 gal per day to 400,000 gal per day.		
Name of Applicant/Sponsor: Town of Brookhaven	Telephone: 6314518696	E-Mail: mdibrita@brookhavenny.gov
Address: One Independance Hill		
City/PO: Farmingville	State: NY	Zip Code: 11738
Project Contact (if not same as sponsor; give name and title/role): Michelle DiBrita, Deputy Commissioner of PELM.	Telephone: 6314518696	E-Mail: mdibrita@brookhavenny.gov
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Town of Brookhaven	Telephone:	E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town Board	TBD
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Suffolk County Department of Health Suffolk County Department of Public Works	TBD
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYSDEC NYSEFC	TBD
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> <li>• If Yes, complete sections C, F and G.</li> <li>• If No, proceed to question C.2 and complete all remaining sections and questions in Part I</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?	<input type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes, identify the plan(s):	
Town of Brookhaven Sewer District #2	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify the plan(s):	
_____	
_____	
_____	



**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
 If Yes, what is the zoning classification(s) including any applicable overlay district?  
 L1(L Industrial 1)

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
 If Yes,  
 i. What is the proposed new zoning for the site?

**C.4. Existing community services.**

a. In what school district is the project site located? Longwood Central School District

b. What police or other public protection forces serve the project site?  
 Suffolk County Police Department

c. Which fire protection and emergency medical services serve the project site?  
 Ridge Fire District

d. What parks serve the project site?  
 N/A

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Expansion of treatment plant/additional sanitary connections from 200,000 GPD to 400,000 GPD.

b. a. Total acreage of the site of the proposed action? 4.07 acres  
 b. Total acreage to be physically disturbed? 1.61 acres  
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 4.07 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % 100 Units:

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
 If Yes,  
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed?

iv. Minimum and maximum proposed lot sizes? Minimum Maximum

e. Will the proposed action be constructed in multiple phases?  Yes  No  
 i. If No, anticipated period of construction: 20-24 months  
 ii. If Yes:  
 • Total number of phases anticipated  
 • Anticipated commencement date of phase I (including demolition) month year  
 • Anticipated completion date of final phase month year  
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases:

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	One Family	Two Family	Three Family	Multiple Family (four or more)
Initial Phase				
At completion of all phases				

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes.

i. Total number of structures: 1  
 ii. Dimensions (in feet) of largest proposed structure: 18ft height; 50ft width; and 100ft length  
 iii. Approximate extent of building space to be heated or cooled: 5000 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes.

i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? Building Foundation  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): 926 cubic yards  
 • Over what duration of time? 6 months  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
Native sand

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_



ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

N/A \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_  
\_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No  
If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_  
\_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No  
If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial, if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_  
 v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

c. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)



h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust):  
**Conventional construction equipment will be used.**

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

---

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

---

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
**To be determined.**

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
**grid/local utilities**

---

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>8 hours</u></li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: <u>24 hours</u></li> <li>• Saturday: <u>24 hours</u></li> <li>• Sunday: <u>24 hours</u></li> <li>• Holidays: <u>24 hours</u></li> </ul>
---	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No

If yes:

i. Provide details including sources, time of day and duration:  
Monday-friday 9-5 construction equipment.

---

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No

Describe: \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction aim, and proximity to nearest occupied structures:  
Exterior light for safety illumination only. 100 yards to nearest occupied structure.

---

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No

Describe: \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:  
\_\_\_\_\_  
\_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally, describe the proposed storage facilities:  
\_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s):  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

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ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)
- Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: \_\_\_\_\_
- Operation: \_\_\_\_\_



s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

---

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

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b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.77	0.88	0.11
• Forested	1.96	0.53	1.43
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	0	0	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes - Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes - Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): 152009  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_



v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? Approx. 1000 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

<u>Plymouth loamy coarse sand(PIC)</u>	<u>42</u> %
<u>Plymouth loamy coarse sand(PIB)</u>	<u>50</u> %
<u>PIA</u>	<u>8</u> %

d. What is the average depth to the water table on the project site? Average: 40 feet

e. Drainage status of project site soils:  Well Drained: 100 % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained: \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name Federal Waters Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: Sole Source Aquifer Names:Nassau-Suffolk SSA

m. Identify the predominant wildlife species that occupy or use the project site: \_\_\_\_\_  
 \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 ii. Source(s) of description or evaluation: \_\_\_\_\_  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ acres  
 • Following completion of project as proposed: \_\_\_\_\_ acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No  
 If Yes:  
 i. Species and listing (endangered or threatened): \_\_\_\_\_  
 Northern Long-eared Bat, Frosted Elfin

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No  
 If Yes:  
 i. Species and listing: \_\_\_\_\_  
 Eastern Spadefoot

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: SGPA, Central Suffolk Pine Barrens  
 ii. Basis for designation: Protect groundwater, Benefit to human health & protect drinking water  
 iii. Designating agency and date: Agency: Long Island Regional Planning, Agency Suffolk County, Date 3-19-93, Date 2-10-88



e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: \_\_\_\_\_

iii. Brief description of attributes on which listing is based: \_\_\_\_\_

---

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

---

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

---

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: \_\_\_\_\_

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_

iii. Distance between project and resource: \_\_\_\_\_ miles.

---

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

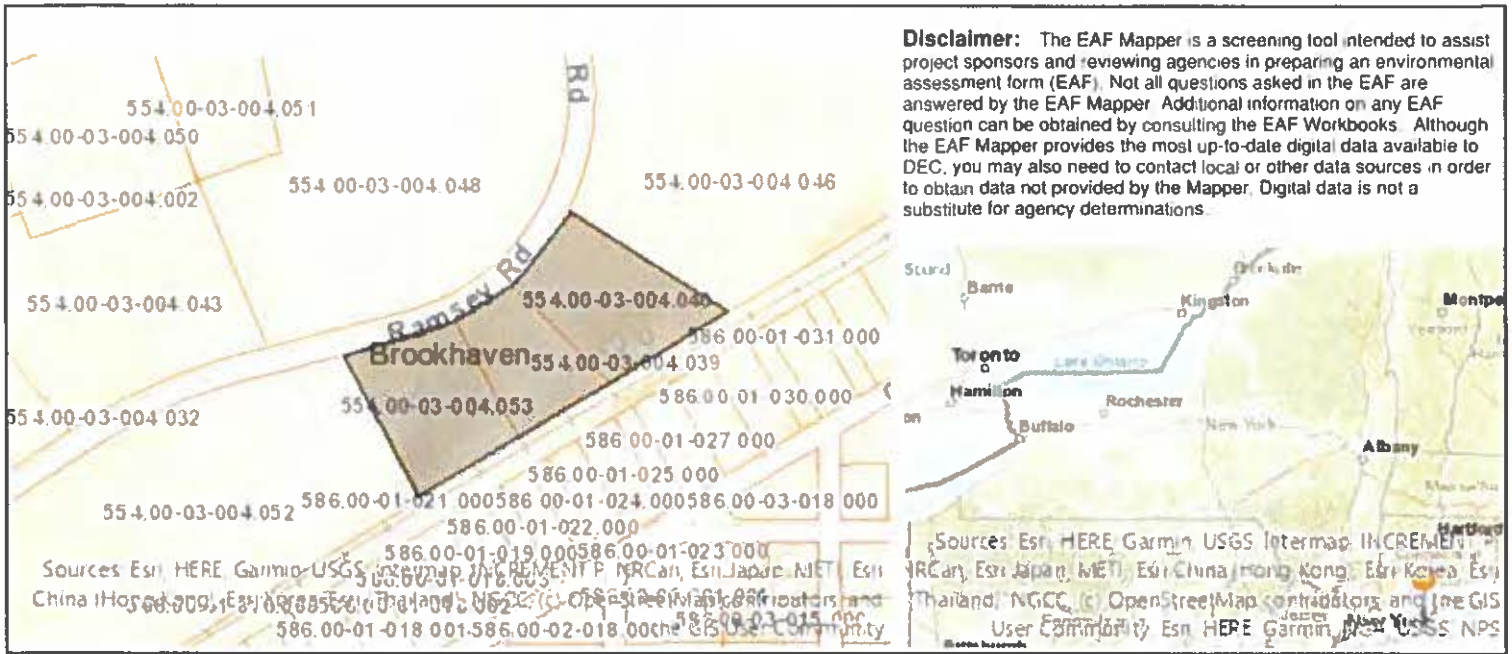
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name \_\_\_\_\_ Date \_\_\_\_\_

Signature \_\_\_\_\_ Title \_\_\_\_\_



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	152009
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
F.2.l. [Aquifers]	Yes



E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Northern Long-eared Bat, Frosted Elfin
E.2.p. [Rare Plants or Animals]	Yes
E.2.p. [Rare Plants or Animals - Name]	Eastern Spadefoot
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	Yes
E.3.d [Critical Environmental Area - Name]	SGPA, Central Suffolk Pine Barrens
E.3.d.ii [Critical Environmental Area - Reason]	Protect groundwater, Benefit to human health & protect drinking water
E.3.d.iii [Critical Environmental Area – Date and Agency]	Agency:Long Island Regional Planning, Agency:Suffolk County, Date:3-19-93, Date:2-10-88
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No



# Town of Brookhaven Long Island

**Brian X Foley**, Supervisor

TO: NYS Environmental Facilities Corporation  
Mark Carrara, NYSDEC, Region 1  
Kimberly Shaw, Suffolk County Dept. of Health Services  
Allen Logalbo, MTA  
Andrew Freleng, Suffolk County Planning.  
Jim Bagg, Suffolk County Planning  
Kim Kennedy, Suffolk County Water Authority  
Gil Anderson, PE Commissioner, Suffolk County DPW  
Ben Wright, Suffolk County DPW  
Suffolk County Sewer Agency  
Julie Hargrave, Central Pine Barrens Joint Planning and Policy Commission  
Sheref Fathi, New York State DOT, Region 10  
Jean Pietrusiak, New York State DEC  
Jim Warren, NYS Office of Parks Recreation and Historic Preservation  
Tim Green, Brookhaven National Laboratory

DATE: July 24, 2008

RE: SEQR Coordination follow up as per NYS Facilities Corporation Requirement for the Formation of Town of Brookhaven Sewer District Number 2, funding for the construction and operation of a 200,000 gallon per day sewage treatment plant. Please note - amended plans showing expansion area as required by Suffolk County.

LOCATION: S/S Long Island Expressway Service Road, E/O William Floyd Parkway, Shirley, NY

Dear Involved Agency:

Attached is a copy of an Amended Environmental Assessment Form and addendum as required by the NYS Environmental Facilities Corporation following our initial lead agency coordination request of June 25, 2008. Some changes have been made to the EAF and have been highlighted and expounded within the EAF addendum. Additionally, changes in the project design have resulted in a modified plan which relocates the Sewage Treatment Plant building approximately 20' to the north and a future leaching pools expansion area to the west of the STP (see enclosed revised plans). Please review these documents and provide written or e-mail responses to me within 10 calendar days of this communication. Thank you.

Sincerely

Dennis Cole  
Chief Environmental Analyst



**EAF PART I ADDENDUM  
TO ADDRESS NYS ENVIRONMENTAL FACILITIES CORPORATION  
ITEMIZED QUESTIONS**

For  
ESTABLISHMENT OF SEWER DISTRICT NO 2 AND CONSTRUCTION OF  
BESST SEWAGE TREATMENT PLANT AND SITE BUILDOUT SCENARIOS  
TOWN OF BROOKHAVEN

Note: The information contained in the Environmental Assessment Form was assembled based on the overall cumulative impacts of a build out scenario including the existing built and vacant properties within proposed Sewer District No 2 and including parcels that could be further subdivided.

**C. Zoning and Planning Information 13**

Will the proposed action result in the generation of traffic significantly above present levels. **YES**

Are there existing roads adequate to handle the additional traffic? **YES**

Comment – Proposed Sewer District No 2 is served by the William Floyd Parkway which is a four-lane divided highway and by the Long Island Expressway which is a six lane divided highway. There are direct arrival access points from the north service road of the LIE (eastbound) and north and south bound from the William Floyd Parkway. At the close of business traffic will exit the sewer district via the William Floyd Parkway northbound. Upon reaching the Long Island Expressway, patrons can use the clover leafs for eastbound, southbound or westbound commuting. This information was obtained from our Division of Traffic Safety.

**E. Project Description 1. j.**

Dimensions of largest proposed structure. 75' Height 315' Width 175'length.

Comment: There is a pending Town Board Change of Zone Application for a to allow for a 276,000 square foot hotel within proposed Sewage District No. 2. This proposal is not an as of right development, and requires Town Board Approval as well as adequate sewage capacity, from the proposed Sewage Treatment Plant. The STP will be designed to have adequate capacity to connect this hotel.

**F. Land Resources 10. Grading d. Greatest depth of excavation or cut 25'**

Comment: The engineering report dated February 2008 identified an excavation area that is 25' below grade.

**G. Visual – Cultural Resources 1. b.**

Will the project remove vegetation that currently screens the project site from the surrounding areas. NO

Comment: Construction of the Sewage Treatment Plant – this portion of the project involves the construction of a 200,000 gallon per day sewage treatment plant which will be located on a site that was cleared prior to 1990 and remains cleared to this date. The site will be co-occupied by buildings owned and operated by the Brookhaven National Laboratory for groundwater remediation. The remediation of groundwater by BNL is expected to continue for the next five to seven years at which time the buildings may be removed and the property vegetated with screening plants indigenous to the Pine Barrens.

The STP may be visible from the rear property lines of the residences. however approximately 270' would separate the STP from the closest residence separated by the Long Island Rail Road. Review of the 2006 aerial photograph indicates that there is a band of vegetation along the Long Island Rail Road corridor and along the rear properties lines of the residences. The existing vegetation will aid in screening the plant and future development from existing vegetation that may provide screening.

Once the STP plant is operational, development within the industrial subdivision is expected to proceed. New development such as the 276,000 square foot hotel along the Long Island Expressway would be visible along the LIE, but not to the adjacent residential community as most of the land adjacent to this industrial park to the east is vacant and zoned L-1 industrial and the property to the north is also vacant and is part of the undeveloped portion of Brookhaven National Laboratory. The remainder of the properties to be cleared would be interior to the existing industrial subdivision and therefore, would not be readily visible to the residents in the adjacent community.

**K. Waste Disposal –**

Will the project involve the storage or disposal of solid waste? YES

Comment: The sewage treatment plant will generate sewage sludge at a rate of 279 tons per month that will have to be removed to a regional sewage treatment plant for further processing. The Bergen Point Sewage Treatment Plant in Babylon would accept and process the 279 tons produced. The Sewage Treatment Plant at Sewer District Number 2 will not generate any other solid waste.

The industrial subdivision at build out will generate solid waste at rates dependent on the present and future occupants on the site. Based on the existing and



proposed uses it is anticipated that at build out 500 employees will occupy the businesses within the Sewer District and by using California's Integrated Waste Management Boards "Estimated Solid Waste Generation Rates for Industrial Establishments" for Light Industrial we find that a generation rate of 41.64 pounds/employee would generate 270 tons per month based on 26 days/month by the occupants within Sewer District No 2. Please note that warehousing and office uses will generate less solid waste.

#### **K. 11 Waste Disposal**

**Will the project routinely project odors more than 1 hour/day. NO**

Comment: The proposed sewage treatment plant is a Biologically Engineered Single Sludge Treatment Plant which is fully enclosed and discharges below ground surface. According to the manufacturer, Purestream ES LLC., no unpleasant odors are produced by this plant outside the buildings. It is anticipated that some odors may be emitted at the time of removal of the sewage sludge and that the odors produced at this time would be from the air displaced from the holding tank of the transport truck, this process would be less than one-half hour per month.

**EAF PART I ADDENDUM  
TO ADDRESS NYS ENVIRONMENTAL FACILITIES CORPORATION  
ITEMIZED QUESTIONS**

For  
ESTABLISHMENT OF SEWER DISTRICT NO 2 AND CONSTRUCTION OF  
BESST SEWAGE TREATMENT PLANT AND SITE BUILDOUT SCENARIOS  
TOWN OF BROOKHAVEN

Note: The information contained in the Environmental Assessment Form was assembled based on the overall cumulative impacts of a build out scenario including the existing built and vacant properties within proposed Sewer District No 2 and including parcels that could be further subdivided.

**C. Zoning and Planning Information 13**

Will the proposed action result in the generation of traffic significantly above present levels. **YES**

Are there existing roads adequate to handle the additional traffic? **YES**

Comment – Proposed Sewer District No 2 is served by the William Floyd Parkway which is a four-lane divided highway and by the Long Island Expressway which is a six lane divided highway. There are direct arrival access points from the north service road of the LIE (eastbound) and north and south bound from the William Floyd Parkway. At the close of business traffic will exit the sewer district via the William Floyd Parkway northbound. Upon reaching the Long Island Expressway, patrons can use the clover leafs for eastbound, southbound or westbound commuting. This information was obtained from our Division of Traffic Safety.

**E. Project Description 1. j.**

Dimensions of largest proposed structure. 75' Height 315' Width 175' length.

Comment: There is a pending Town Board Change of Zone Application for a to allow for a 276,000 square foot hotel. This is not an as of right development, and requires Town Board Approval as well as adequate sewage capacity from the proposed Sewage Treatment Plant. The STP will be designed to have adequate capacity to connect this hotel.

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## **G. Visual – Cultural Resources 1. b**

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Comment: Sewage Treatment Plant Construction – this portion of the project involves the construction of a 200,000 per day sewage treatment plant which will be located on a site that was cleared prior to 1990 and remains cleared to this date. The site will be co-occupied by buildings owned and operated by the Brookhaven National Laboratory for groundwater remediation. The remediation of groundwater by BNL is expected to continue for the next five to seven years at which time the buildings may be removed and the property vegetated with screening plants indigenous to the Pine Barrens.

The STP may be visible from the rear property lines of the residences, however approximately 270' would separate the STP from the closest residence separated by the Long Island Rail Road. Review of the 2006 aerial photograph indicates that there is a band of vegetation along the Long Island Rail Road corridor and along the rear properties lines of the residences. The existing vegetation will aid in screening the plant and future development from existing that may provide screening.

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#### **K. 11 Waste Disposal**

**Will the project routinely project odors more than 1 hour/day. NO**

Comment: The proposed sewage treatment plant is a Biologically Engineered Single Sludge Treatment Plant which is fully enclosed and discharges below ground surface. According to the manufacturer, Purestream ES I.L.C. no unpleasant odors are produced by this plant outside the buildings. It is anticipated that some odors may be emitted at the time of removal of the sewage sludge and that the odors produced at this time would be from the air displaced from the holding tank of the transport truck, this process would be less than one-half hour per month.

TOWN OF BROOKHAVEN  
STATE ENVIRONMENTAL QUALITY REVIEW ACT  
FULL ENVIRONMENTAL ASSESSMENT FORM

The full EAF is intended to provide a method whereby applicants and agencies can be assured that the determination process has been orderly, comprehensive in nature, yet flexible to allow introduction of information to fit a project or action.

Full EAF Components: The full EAF is comprised of three parts:

- Part I: Provides objective data and information about a given project and its site. By identifying basic data, it assists a reviewer in the analysis that takes place in Parts II and III.
- Part II: Focuses on identifying the range of possible impacts that may occur from a project or action. It provides guidance as to whether an impact is likely to be considered small to moderate or whether it is a potentially large impact. The form also identifies whether an impact can be mitigated or reduced.
- Part III: If any impact in Part II is identified as potentially large, then Part III is used to evaluate whether or not the impact is actually important.

**DETERMINATION OF SIGNIFICANCE – Type I and Unlisted Actions**

Identify portions of EAF completed for project:       Part I                       Part II                       Part III

Upon review of the information recorded on this EAF (Parts I, II and III if appropriate) and any other supporting information, and considering both the magnitude and importance of each impact, it is reasonably determined by the lead agency that:

- A. The project will not result in any large and important impact (s) and, therefore, is one that will not have a significant impact on the environment; therefore, a **NEGATIVE DECLARATION** will be prepared.
- B. Although the project could have a significant effect on the environment, there will not be a significant effect for this Unlisted Action because the mitigation measures described in PART 3 have been required; therefore, a **CONDITIONED NEGATIVE DECLARATION\*** will be prepared.
- C. The project may result in one or more large and important impacts that may have a significant impact on the environment; therefore, a **POSITIVE DECLARATION** will be prepared.

\*A conditioned Negative Declaration is only valid for Unlisted Actions

Name of Action: Formation of Town of Brookhaven Sewer District Number 2 and construction and operation of a 200,000 gallon per day sewage treatment plant.

Reference No. \_\_\_\_\_

Name of Lead Agency: Town of Brookhaven Town Board

Name of Officer in Lead Agency: Pamela Bethel, Town Clerk

\_\_\_\_\_  
Signature of Responsible Officer in Lead Agency

*Dennis W. Green*  
Signature of Preparer

Date: June 17, 2008



## Part I – PROJECT INFORMATION

Prepared by Project Sponsor

*NOTICE: This document is designed to assist in determining whether the action proposed may have a significant effect on the environment. Please complete the entire form Part A through O. Answers to these questions will be considered as part of the application for approval and may be subject to further verification and public review. Provide any additional information you believe will be needed to complete Parts II and III.*

*It is expected that completion of the full EAF will be dependent on information currently available and will not involve new studies, research or investigation. If information requiring such additional work is unavailable, so indicate and specify each instance.*

**Name of Project:** Formation of Sewer District No. 2 and construction of 200,000 gallon per day Sewage Treatment Plant

**Project Location:** S/S Long Island Expressway Service Road, E/O William Floyd Parkway, Shirley, NY

**Name and Address of Applicant/Sponsor:** Town of Brookhaven Town Board **Bus. Phone:** 631-451-6455

**Name & Address of Owner, if Different:** 1 Independence Hill, Farmingville, NY 11738

**S.C. Tax Parcel No.:** See Attached List

**Present Zoning:** L-1 Industrial

**DESCRIPTION OF ACTION** (Please be specific; attach additional sheet(s) if necessary):

Formation of Sewer District No. 2 a/k/a Brookhaven R and D Plaza and construction and maintenance of 200,000 gallon per day Sewage Treatment Plant see attached sheet for history of project.

### PLEASE COMPLETE EACH QUESTION – INDICATE "N/A" IF NOT APPLICABLE:

A. **LAND USE:** (If not applicable, check here and go to Section B)  N/A  
Physical setting of overall project, both developed and undeveloped areas.

1. Present land use:  Urban  Industrial  Commercial  
 Residential Suburban  Rural (non-farm)  Forest  
 Agriculture  Other (Specify) \_\_\_\_\_

### B. CRITICAL ENVIRONMENTAL AREAS:

1. Is the site located in or substantially contiguous to a Critical Environment Area designated pursuant to Article 8 of the ECL, and 6 NYCRR 617?  
 YES  NO  N/A

### C. ZONING AND PLANNING INFORMATION:

1. Does proposed action involve a planning or zoning decision?  YES  NO

If yes, complete 1-13 below, if no, go to section D:

- Zoning Amendment  Zoning Variance  Special Use Permit  
 Subdivision  Site Plan  New (Revision) of Land Use Plan  
 Resource Management Plan  Other \_\_\_\_\_

2. What is the zoning classification(s) of the site? L-1 Industrial

3. What is the maximum potential development of the site if developed as permitted by the present zoning?  
Industrial uses as allowed by Town Code

4. What is the **PROPOSED** zoning of the site? N/A
5. What is the maximum potential development of the site if developed as permitted by the proposed zoning? N/A
6. Is the proposed action consistent with the adopted or recommended local land use plans?  
 YES       NO
7. What are the predominant land use(s) and zoning classifications within a ¼ mile radius of proposed action? A-10 Residence, A-1 Residence and L-1 Industrial
8. Is the proposed action compatible with adjoining/surrounding land used within a ¼ mile?  
 YES       NO
9. If the proposed action is a subdivision of land, what is the number of lots proposed? N/A
  - a. What is the minimum sized lot proposed? \_\_\_\_\_
10. Will proposed action require any authorization(s) for the formation of sewer or water districts?  
 YES       NO
11. Is the project site presently used by the community or neighborhood as an open space or recreation area?  
 YES       NO
12. Will the proposed action create a significant demand for any community provided services (recreation, education, police, fire protection)?       YES       NO
  - a. If YES, is existing capacity sufficient to handle projected demand?       YES       NO
13. Will the proposed action result in the generation of traffic significantly above present levels?  
 YES       NO
  - a. If YES, are existing roads adequate to handle the additional traffic?       YES       NO

**D. SITE DESCRIPTION:** (If not applicable, check here & go to Section E)       N/A

Total Lot Area: 236  square feet  acres

**PRESENTLY**

**AFTER COMPLETION**

Meadow or Old Field (non-agriculture)	_____	_____
Forested	<u>174.67</u>	<u>72</u>
Agricultural (Include orchards, pasture etc.)	_____	_____
Unvegetated (Rock, earth or fill)	_____	_____
Roads, buildings and other paved surfaces	<u>61.33</u>	<u>164</u>
Beach, Dune or Bluff	_____	_____
Surface Water	_____	_____
Tidal Wetlands (as per Chapter 81 and Art. 25	_____	_____
Freshwater Wetlands or 24 of the ECL)	_____	_____
Landscaped	_____	_____
Other (indicate type) _____	_____	_____

**E. PROJECT DESCRIPTION:** (If N/A, check here and go to Section F)       N/A

1. Physical dimensions and scale of project (fill in dimensions as appropriate):
  - a. Total contiguous acreage owned or controlled by project sponsor: 236
  - b. Project area to be developed: 61 initially: 164 ultimately       square feet       acres
  - c. Project area to remain undeveloped 71       square feet       acres
  - d. Length of project, in feet and/or miles, if appropriate: 7000       feet       miles
  - e. If the project is an expansion, indicate percent of expansion \_\_\_\_\_%
  - f. Number of off-street parking spaces existing 1551, proposed 1341.
  - g. Maximum vehicular trips generated upon completion of the project? 2044 (peak) hourly
  - h. Frontage along a public thoroughfare 1281 linear feet
  - i. If residential: Number and type of housing units:
 

One family	Two family	Multi-family	Condominium
------------	------------	--------------	-------------

Initially:      \_\_\_\_\_      \_\_\_\_\_      \_\_\_\_\_      \_\_\_\_\_



Ultimately: \_\_\_\_\_

j. Dimensions of largest proposed structure.  
75 Height      315 Width      175 Length      as of 7/24/08  
see addendum

- 2. Will blasting occur during construction?       YES       NO
  - 3. Will protect require relocation of any facilities?       YES       NO
- If YES, explain \_\_\_\_\_

**F. LAND RESOURCES:** (If not applicable, check here & go to Section G)       N/A

- 1. What is/are the predominant soil type(s) on project site? (Please consult Suffolk County Soil Survey and Soil Conservation Service – Phone: 727-2315)  
List types: PIB, CPE, RDA, PIA, RDB, SDA, PIC
- 2. Is project or any portion of project located in a 100-year flood plain?       YES       NO       N/A
- 3. Soil drainage:      Well-drained 90 % of site  
Moderately well drained 10 % of site  
Poorly drained \_\_\_\_\_ % of site
- 4. If any agricultural land is involved, how many acres of soil are classified within soil groups 1 through 4 of the NYS Land Classification System? (See 1 NYCRR 370 (1).)      \_\_\_\_\_       N/A
- 5. Are there any dunes, bluffs, swales, kettleholes, strands or other geological formations on the project site?       YES       NO      If YES, Describe: \_\_\_\_\_
- 6. Are there bedrock out croppings on project site?       Yes       No
  - a. What is depth to bedrock? N/A (in feet)
- 7. Approximate percentage of the project site with slopes (0-100%):  
0-10% 95      10-15% 5      15% or greater \_\_\_\_\_
- 8. How much natural material (i.e. rock, earth, etc.) will be removed from the site? 0 cubic yards
- 9. Will the disturbed areas be reclaimed?       YES       NO       N/A
  - a. If YES, for what intended purpose is the site being reclaimed? landscaping, replanting
  - b. Will topsoil be stockpiled for reclamation?       YES       NO
  - c. Will upper subsoil be stockpiled for reclamation?       YES       NO
- 10. Grading:       YES       NO       N/A      if yes, complete a. through i.
  - a. Total area to be regraded 50       square feet       acres
  - b. Total cubic yards of cut: 1162 cubic yards
  - c. Total cubic yards of fill: 1162 cubic yards
  - d. Greatest depth of excavation or cut: 20 feet (excluding recharge basin)
  - e. Greatest depth of any recharge basin: 10 feet
  - f. Greatest depth of fill: 6 feet
  - g. Greatest depth of excavation or cut: 20 feet (excluding recharge basins)
  - h. Maximum artificial slopes after construction (check one )  
 2:1 or greater       3:1       5:1       10:1 or less
  - i. Will the project require the use of retaining walls?       YES       NO
  - j. Briefly describe method (s) to reduce erosion/runoff during and after construction: silt fencing, hay bales

**G. VISUAL-CULTURAL RESOURCES:** (If N/A, check here and go to Section H)       N/A

- 1. **Visual**
  - a. Will the project be noticeably visible from surrounding areas after its completion?  
 YES       NO       N/A      See addendum
  - b. Will the project remove vegetation that currently screens the project site from surrounding areas?  
 YES       NO       N/A

- c. Will the project partially or completely block, or contrast with, scenic views from surrounding areas or from the site?  YES  NO  N/A
- d. Does the present site include scenic views known to be important to the community?  YES  NO If yes, please explain: Site is buffered along the Long Island RR and the Long Island Expressway

2. **Cultural:**

- a. Does the project site contain a building or site, and/or is it located within or substantially contiguous to a building, site or district listed on the State or the National Registers of Historic Places or Register of National Landmarks?  YES  NO  N/A
- b. Does the project site contain a building or site, which is substantially contiguous to or within a Town Historic District, or Town Historic District Transition Zone?  YES  NO  N/A
- c. Is the project site contiguous to or does it contain a site or building which is designated a Town Landmark?  YES  NO  N/A
- d. Will the project be noticeably visible from, be adjacent to, or result in the partial or complete demolition of any structures listed on the State or National Registers of Historic Places, or a Town Historic Landmark?  YES  NO  N/A
- e. Will the project result in the partial or complete demolition or relocation of any structures greater than 50 years old?  YES  NO  N/A
- f. Will the project result in the partial or complete removal of any documented or known Native American site?  YES  NO  N/A
- g. Does the project site contain or is it located adjacent to a cemetery or gravesite?  YES  NO  N/A

H. **WATER RESOURCES:** (If N/A, check here & go to Section I)  N/A

1. Will there be a potential discharge as a result of an approval of this application into a body of water either on or off-site?  YES  NO  N/A  
If yes, please explain: \_\_\_\_\_
2. Method of handling runoff (check all that apply):  
 Leaching Pools  Dry Wells  
 Recharge Basin (off-site)  Recharge Basin (on-site)  
 Other (describe): \_\_\_\_\_
3. What is the minimum depth to the water table on site? 37 feet  
(Please cite date and source of information) Suffolk County Ground Water Maps.
- a. Seasonal variation 4 feet
4. Are there any lakes, ponds, swamps, bogs, marshes, or freshwater wetlands within or contiguous to project area?  YES  NO  N/A  
a. Name of lake/pond or wetland: \_\_\_\_\_
5. Are there any streams within or contiguous to the project site?  
 YES  NO  N/A Name: \_\_\_\_\_  
a. Name of body of water to which it is tributary: \_\_\_\_\_
6. Name of any Creek, Embayment, Harbor or tidal wetland area within, or contiguous to the project area:  
 YES  NO  N/A  
a. Name of waterbody to which it is tributary: \_\_\_\_\_
7. Is the site located over a primary, principal or sole source aquifer?  YES  NO  N/A
8. Will surface area of an existing water body increase or decrease by proposal?  YES  NO  
Please explain: \_\_\_\_\_

I. **FLORA-FAUNA-AQUATICS:** (If N/A, check here and go to Section J)  N/A

1. Do hunting, fishing or shellfishing opportunities presently exist in the project area?  
 YES  NO  N/A



2. Is the project site utilized by, or contain any species of plant or animal life that is identified as rare, threatened, endangered, protected or identified as a species of special concern?  
 YES     NO     UNKNOWN    If yes, identify each species: \_\_\_\_\_
3. What wildlife species have been confirmed or would be expected to occur on site? See attached Sheet
4. What vegetation species have been confirmed or would be expected to occur on site? See attached sheet
5. Are there any rare or protected plants or unique plant communities present on site?  
 YES     NO    If yes, identify each species: \_\_\_\_\_
6. How many acres/sq. ft. of vegetation (trees, shrubs, ground covers) would be removed from site?  
164 at buildout     Acres     square feet     N/A
7. Will any mature forest (over 100 years old) or any other locally important vegetation be removed by this project?  
 YES     NO     N/A

**J. UTILITIES:** (If N/A, check here and go to Section K)  N/A

1. Is the site served by existing public utilities?  YES     NO
  - a. If yes, does sufficient capacity exist to allow connection?  YES     NO
  - b. If yes, will improvements be necessary to allow connection?  YES     NO
2. Will project result in an increase in energy use?  YES     NO  
 If yes, indicate types: electrical
3. What type of water supply? SCWA If from wells, indicate pumping capacity: \_\_\_\_\_ gallons/minute.
4. Total anticipated water usage per day: 200,000 gallons/day.

**K. WASTE DISPOSAL:** (If N/A, check here & go to Section L)  N/A

1. Will a State Pollutant Discharge Elimination System (SPDES) permit be required?  YES     NO  
 If yes, for what type of material? operation of sewage treatment plant
2. Is surface liquid waste disposal or storage involved?  YES     NO
  - a. If yes, indicate type of waste (sewage, industrial, etc.) amount and method of disposal \_\_\_\_\_
3. Is subsurface liquid waste disposal involved (including sanitary)?  YES     NO  
 If yes, please indicate:
  - a. Type of waste: Treated sewage
  - b. Volume of waste: 200,000 gallons per day
  - c. Sanitary waste treatment
    - on-site septic-system
    - municipal treatment plant
    - modified subsurface sewage disposal system
    - community sewage disposal system
    - other \_\_\_\_\_
4. Are there any point source discharges not previously described associated with this project?  
 YES     NO     N/A    If yes, explain: \_\_\_\_\_
5. Will the project generate solid waste?  YES     NO     N/A
  - a. If yes, what is the amount per month? 270 tons/month
  - b. If yes, will an existing solid waste facility be used?  YES     NO
  - c. If yes, give name: Town of Brookhaven Landfill location: Brookhaven
  - d. Will any wastes not go into a sewage disposal system or into a sanitary landfill?  
 YES     NO    If yes, explain: \_\_\_\_\_
6. Will the project involve the storage or disposal of solid waste? see addendum  
 YES     NO    (If yes, please attach a list itemizing same)
  - a. If yes, what is the anticipated rate of disposal? 270 tons/month
  - b. If yes, what is the anticipated site life? \_\_\_\_\_ years.
7. As part of the construction or use of the site will the project routinely use herbicides or pesticides?  
 YES     NO    If yes, describe the type, amount and method of application: \_\_\_\_\_
8. Has the site ever been used for the disposal of solid or hazardous wastes?  
 YES     NO     UNKNOWN    If yes, explain fully on a separate sheet.

9. If an industrial use is proposed for the site, describe the product and the manufacturing process involved? various uses including pharmaceutical, food production and research
10. Will any hazardous or toxic substances or waste be stored or generated on site?  
 YES       NO       N/A
- a. If yes, identify the substance, amount and method of storage or disposal. \_\_\_\_\_

11. Will project routinely project odors more than 1 hour/day?       YES       NO *See rec'd & ncl'd*
12. Will project produce operating noise exceeding the local ambient noise levels?  
 YES       NO      If yes, source of noise: \_\_\_\_\_

**L. ECONOMICAL IMPACTS:** Completed for all commercial/industrial projects and residential projects greater than 10 units. (If not applicable, check here and go to Section M)       N/A

1. Does project involved Local, State or Federal funding?       YES       NO
2. If single phase project:  
 anticipated period of construction \_\_\_\_\_ months. (including demolition)
3. If multi-phased:  
 a. Total number of phases anticipated: 2  
 b. Expected date of commencement phase 1(including demolition): 1987  
 c. Approximate completion date of final phase: 1 month, 2010 year.  
 d. Is phase 1 functionally dependent on subsequent phases?       YES       NO
4. Number of jobs generated during construction 30. After project is complete 500.
5. Number of jobs eliminated by this project: 0
6. What are the current tax revenues generated by the project site? 682,276 dollars
7. What tax revenues will project generate after completion? \$3,115,000.00 dollars
8. What is the estimated cost of construction? 10,358,145.00 dollars
9. How many schoolchildren is the project expected to generate? 0       N/A
10. What is the estimated cost of educating the school-age children generated by the completion of this project? \_\_\_\_\_       N/A

**M. APPROVALS REQUIRED:**      TYPE      SUBMITTAL DATE

Town Board	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<u>Resolution -Formation of District</u>	_____
Town Planning Board	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	_____	_____
Town Zoning Board	<input type="checkbox"/> YES	<input type="checkbox"/> NO	_____	_____
Town: Environmental Protection	<input type="checkbox"/> YES	<input type="checkbox"/> NO	_____	_____
Town: Building Department	<input type="checkbox"/> YES	<input type="checkbox"/> NO	_____	_____
County Health Department	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<u>Setback Variance</u>	<u>March, 2008</u>
Local Agencies: _____	<input type="checkbox"/> YES	<input type="checkbox"/> NO	_____	_____
State Agencies	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<u>SPDES</u>	<u>March, 2008</u>
Federal Agencies	<input type="checkbox"/> YES	<input type="checkbox"/> NO	_____	_____
Other Agencies: <u>SCDPW</u>	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<u>Engineering Design</u>	<u>March, 2008</u>

**N. ADDITIONAL INFORMATION:**

Attach any additional information as may be needed to clarify your project. If there are or may be any adverse impacts associated with your proposal, please discuss such impacts and the measures which you propose to mitigate or avoid them.

**O. VERIFICATION:**

I certify that the information provided above is true to the best of my knowledge.

Name of Applicant/Sponsor: Town of Brookhaven Town Board



Signature: Dennis W. Lee

Title: Chief Environmental  
Analyst

Date: 7/24/08

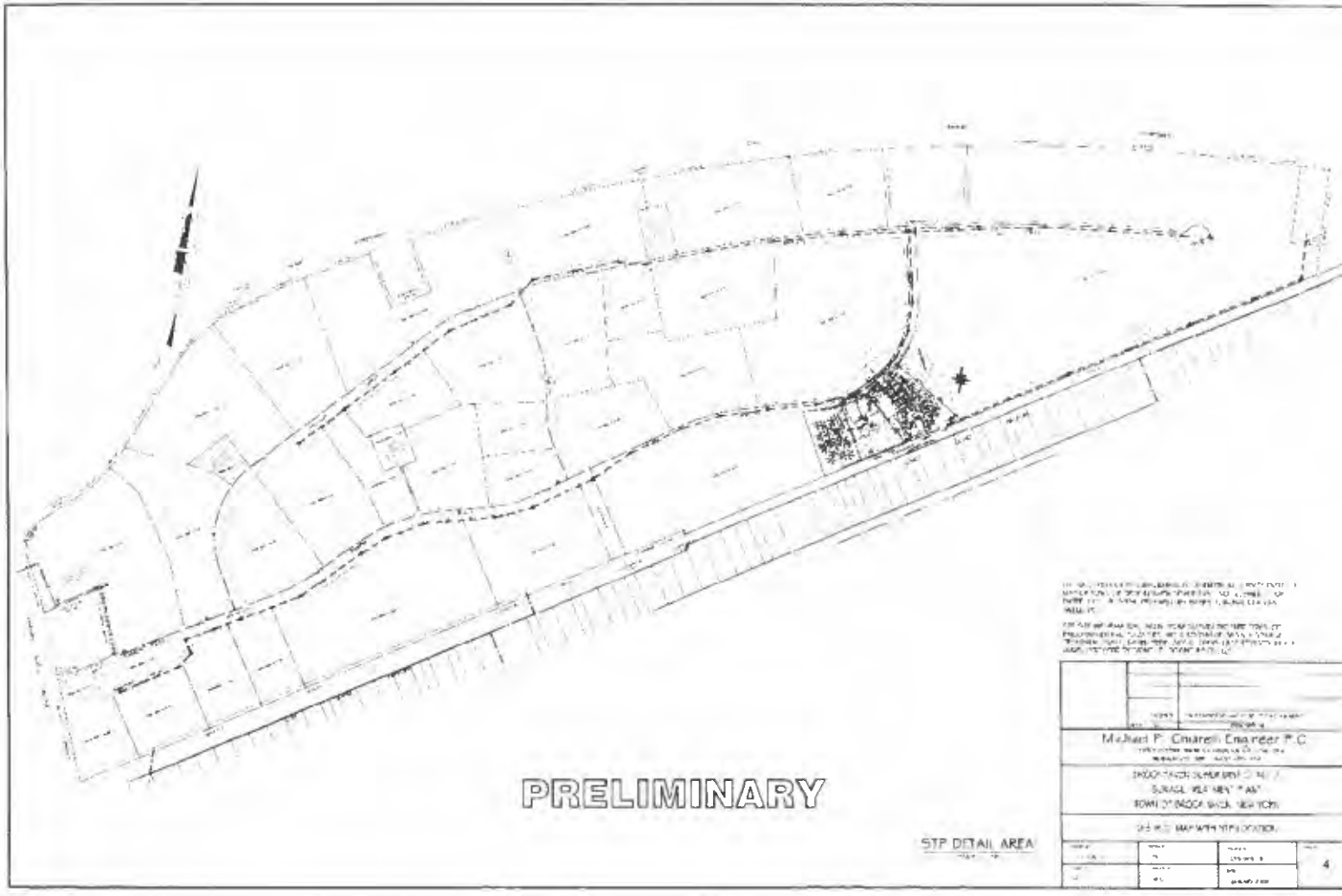
Name of Owner: \_\_\_\_\_

Signature: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

*Note: If the action is in the Coastal Area, and you are a state agency, complete the Coastal Assessment Form before proceeding with the assessment*



THIS PLAN IS PRELIMINARY AND SUBJECT TO THE APPROVAL OF THE TOWN ENGINEER AND THE TOWN BOARD. IT IS NOT TO BE USED FOR CONSTRUCTION WITHOUT THE APPROVAL OF THE TOWN ENGINEER AND THE TOWN BOARD.

PROJECT NO.		DATE	
SHEET NO.		SCALE	
<b>Michael P. Charell Engineer P.C.</b> 1000 WEST 10TH AVENUE, SUITE 100 DENVER, CO 80202			
PROJECT: SURFACE IMPROVEMENTS LOCATION: 10TH AVENUE, DENVER, CO			
SHEET: STP DETAIL AREA			
DATE	BY	CHECKED	APP. NO.
10/15/10	MC	MC	1000

**PRELIMINARY**

STP DETAIL AREA



- 1. 10' x 10' Grid
- 2. 10' x 10' Grid
- 3. 10' x 10' Grid
- 4. 10' x 10' Grid
- 5. 10' x 10' Grid
- 6. 10' x 10' Grid
- 7. 10' x 10' Grid
- 8. 10' x 10' Grid
- 9. 10' x 10' Grid
- 10. 10' x 10' Grid



1. 10' x 10' Grid  
 2. 10' x 10' Grid  
 3. 10' x 10' Grid  
 4. 10' x 10' Grid  
 5. 10' x 10' Grid  
 6. 10' x 10' Grid  
 7. 10' x 10' Grid  
 8. 10' x 10' Grid  
 9. 10' x 10' Grid  
 10. 10' x 10' Grid

Michael P. Charelli Engineer P.E. 1000 W. 10th Street, Suite 100 West Nyack, NY 10994-2100	
BROOKHAVEN SEWER DISTRICT # 2 SOWAGE REA MILA PLAN SUFFOLK COUNTY, NEW YORK	
SUT PLAN - SOWAGE TREATMENT PLANT	
DATE	NOV 19 2003
SCALE	AS SHOWN
PROJECT	1000 W. 10th Street, Suite 100
CLIENT	BROOKHAVEN SEWER DISTRICT # 2



LEGEND (continued)  
 AREA OF TREE REMOVAL  
 (SEE OTHER SHEETS)



PROJECT NO. 24020419.0  
 DATE 8/24/2024  
 SHEET 1 OF 1  
 TOWN OF BROOKHAVEN  
 SEWER DISTRICT 2  
 RIDGE, NY 11961  
 TREE CLEARING PLAN



**RECEIVED**  
 NOV 04 2024  
 Central Pine Barrens Joint  
 Planning & Policy Commission







