



Central Pine Barrens Commission Meeting Agenda
Riverhead Town Hall, 200 Howell Avenue, Riverhead, NY 11901
Wednesday, May 18, 2022 at 2:00 pm
Hybrid In-Person and Remote Meeting

Link to Join Zoom Meeting

<https://us02web.zoom.us/j/81036094443?pwd=dmUxMGE3dExpTEExOSGllK2EzOVhrQT09>

Meeting ID: 810 3609 4443 ; Passcode: 254517

Telephone Dial in:

+1 312 626 6799/ +1 669 900 6833

Yvette Aguiar
Member

Steven Bellone
Member

Edward P. Romaine
Member

Jay H. Schneiderman
Member

1. Administrative and Public Comment

- a. Public Comment
- b. Minutes for 4/20/22 review (*approval*)

2. Education, Science and Stewardship

- a. NYWIMA: update (*Ms. Malangone*)
- b. Education and Outreach Division: update (*Ms. Parrott*)
- c. Science and Stewardship Division: update (*Ms. Weigand*)
- d. Prescribed fire insurance / draft resolution to renew (*Ms. Jakobsen*)
- e. Friends of Wertheim MOU / authorization to sign if acceptable to counsel (*Ms. Jakobsen*)

3. Planning, Land Use and the Pine Barrens Credit Program

- a. Compliance and Enforcement Division: update (*Mr. Huss*)
- b. Land Use Division: update (*Ms. Hargrave*)
- c. Credit Program: update (*Mr. Tverdy*)

Core Preservation Area

- d. Town Referral: 2023 River Road (former Warner Duck Farm) / Riverhead / 600-118-4-5.7 & 5.10 / lot line modification and construction of 29,808 square feet of horse facilities on property with a Credit Program conservation easement / *draft response* (*Ms. Hargrave*)

Compatible Growth Area

- e. Request: Eastport South Manor Central School District / Eastport / 200-589-3-13.7 & 13.8 (Dayton Elementary School) and 200-589-4-1 & 200-676-1-7.7 (High School) / projects include grass fields to artificial turf and solar carports at Elementary and High Schools, 120-foot cell tower and 7,000 square foot expansion of high school / *determination* (*Ms. Hargrave*)
- f. 59 Ryerson Avenue Subdivision CGA Hardship Waiver / Manorville / 200-461-4-31 & 32 / exceed clearing limit standard / *request hearing adjournment, extension of decision deadline* (*Ms. Hargrave*)
- g. Finks Country Farm CGA Hardship Waiver / Wading River / Wading River / 600-134-1-1.3 / *request hearing adjournment and extension of decision deadline* (*Ms. Hargrave*)
- h. Town and NYSDEC Referrals: *draft responses* (*Ms. Hargrave*)
 - i. Expressway Drive North Warehouses / Yaphank / 200-662-2-5.16 / Planning Board referral of application to develop three warehouses, 549,942 square feet, on 71 acres
 - ii. Oak Run @ Middle Island / Middle Island / 200-401-2-38.5 / Town Board referral change of zone from B1 Residence to Planned Retirement Community to develop 74 senior apartments with amenities on 23.56 acres
 - iii. Peconic Restaurant/Peconic Paddler / 89 Peconic Avenue / Riverside / 900-118-2-2 / NYSDEC referral of an application for a two phased development project including a 4,212 square foot building with 2,383 sf patio and 22 parking spaces for a restaurant use and boat rental/sales (phase 1) and a hotel (phase 2)

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Westhampton Beach, NY
11978

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4. Public Hearings at 3:00 pm –ADJOURNED

- a. 59 Ryerson Avenue Subdivision CGA Hardship Waiver / Manorville / 200-461-4-31 & 32 / exceed clearing limit / *adjourn to 7/20/22* (*Ms. Hargrave*)
- b. Fink's Country Farm CGA Hardship Waiver / Wading River / 600-134-1-1.3 / exceed clearing limit and fertilizer-dependent vegetation limit standards / *adjourn to 6/15/22* (*Ms. Hargrave*)

5. Public Comment

6. Closed Advisory Session (if necessary)

Next Commission Meeting, Wednesday, June 15, 2022 at 2:00 pm
For meeting information visit <https://pb.state.ny.us/>

Item 1b:

Draft Meeting Minutes for 4/20/22



Central Pine Barrens Commission Meeting Summary
Wednesday, April 20, 2021 (DRAFT)
Hybrid In-Person and Remote Meeting
Riverhead Town Hall
200 Howell Avenue, Riverhead, NY 11901

2:00 pm

Commission members present: Mr. Romaine and Ms. Pines (for Brookhaven), Ms. Aguiar and Mr. McCormick (for Riverhead), Ms. Scherer and Mr. Shea (for Southampton), Mr. Dale and Mr. Freleng (for Suffolk County), New York State Governor's Representative (not designated).

Others present: Commission and other agency staff members included Ms. Jakobsen, Mr. Milazzo, Ms. Hargrave, Mr. Tverdyy, Ms. Parrott, Mr. Mazzio, Mr. Motz, Ms. Malangone and Ms. Brown-Walton.

Ms. Aguiar led the pledge to the flag and Ms. Jakobsen noted that with four Commission members present there is a quorum. Ms. Jakobsen explained that the meeting was a Hybrid meeting attending in person and on Zoom.

1. Administrative and Public Comment

a. *Public Comments*

Summary: No public comments were received.

b. *Minutes for 3/16/22*

Summary: **The motion was made by Mr. Romaine and seconded by Ms. Aguiar to approve the 03/16/22 meeting minutes. The motion was approved by the four members present.**

2. Science and Stewardship

a. *SEQRA Lead Agency Coordination for Sarnoff West NYSDEC property*

Summary: **The motion was made by Mr. Romaine and seconded by Ms. Aguiar to approve the draft resolution Adopt a Negative Declaration, Determination of Non-Significance pursuant to SEQRA for the Sarnoff West Forest Health Restoration and Prescribed Fire Management. The motion was approved by the four members present.**

b. *Memorandum of Understanding with Wertheim National Wildlife Refuge*

Summary: **The motion was made by Mr. Romaine and seconded by Mr. Shea to adopt the Memorandum of Understanding between U.S. Fish and Wildlife Service Long Island National Wildlife Refuge Complex and Central Pine Barrens Joint Planning and Policy Commission. The motion was approved by the four members present.**

c. *Draft Resolution to approve NYWIMA Board members*

Summary: **The motion was made by Mr. Romaine and seconded by Mr. Shea to approve the draft resolution to approve Academy Board Members for the New York Wildfire and Incident Management Academy. The motion was approved by the four members present.**

3. Planning, Land Use and the Pine Barrens Credit Program

Core preservation Area

a. *Sunrise Wind Core Preservation Area Compelling Public Need Hardship / onshore cable in the Core Preservation Area*

Yvette Aguiar
Member

Steven Bellone
Member

Edward P. Romaine
Member

Jay H.
Schneiderman
Member

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Summary: Ms. Hargrave discussed the basis of the project serving more than one municipality and that it cannot be moved due to the landfall location and the connection location onshore. There is a minimum amount of vegetation being removed and there will be restoration when the project is complete.

The motion was made by Mr. Shea and seconded by Mr. Romaine to approve the draft resolution for the Sunrise Wind, LLC Core Hardship Application. The motion was approved by the four members present.

- b. *Determination of Jurisdiction: 2025 Flanders Road / Flanders / 900-170-1-40.4 / proposal to build a three-car garage with a 1,000 square foot accessory apartment above the garage with basement below and a swimming pool on a 4-acre property with a single-family residence in the CR60 Zoning District*

Summary: **The motion was made by Mr. Shea and seconded by Mr. Freleng to approve to send the draft letter to the Town of Southampton requesting additional information for the 2025 Flanders Road Project. The motion was approved by the four members present.**

- c. *Determination of Jurisdiction: Pedro Rivera / ne corner of Wading River Road and LIE Exit 69 / Manorville / 200-461-2-11 / proposal to construct a 320 square foot agricultural building on a 1.0 Acre Conservation Easement property in the Credit Program*

Summary: Mr. Tverdy discussed the commission has received a request for approval of the agricultural uses on the conservation easement parcel number 200-461-2-11. The property is located just north of exit 69 on LI expressway at the northeast corner of the expressway service road and Wading River Road in Manorville in the town of Brookhaven. The easement was recorded in 1996, it was one of the first easements that was recorded. The former owner received one pine barrens credit. The property size is one acre and it is mostly cleared. It was part of the Dosiak farm and for many years the parcel was used to store big piles of manure. Mr. Rivera purchased the property last year and currently the parcel is vacant. Mr. Rivera's request includes growing vegetables and flowers fencing the property to protect crops from deer and bringing water service and an installation of 320 square foot shed. The property is in the agricultural district and the Easement reserved rights allow the use of the parcel for agricultural activities including construction of agricultural structures. If the project does not involve alteration of native vegetation and if the structure is strictly for agricultural use, it may not need the building permit from the town. The staff asked the Commission to review the proposal for consistency with the easement restrictions and decide today whether Mr. Rivera's request should be approved.

Mr. Romaine asked if the Commission has done this in the past with other land and agricultural districts where people wanted to use it for farming and is there a provision in the Pine Barrens Legislation that carves out an exception for farming. Does the easement specifically indicate this property can be used for agricultural purposes and is there any restriction in terms of constructing accessory building for agricultural purposes. Mr. Milazzo responded that this request is consistent with the easement and it specifically reserves the right to use the property for agricultural buildings provided there is not a material alteration of native vegetation which is not occurring in this request so it is consistent with the easement and it does not require the Commission to go to the statute on the definition of agriculture to make that determination. Mr. McCormick asked Mr. Rivera what the actual use for the agricultural building will be. Mr. Rivera responded and gave a background description of how he acquired the property.

The motion was made by Mr. Shea and seconded by Ms. Aguiar to approve the proposed use of the property for construction of an agricultural building consistent with the intent of the easement as described in the letter. The motion was approved by the four members present.

Compatible Growth Area

- d. Referral: 69 Cypress Avenue Subdivision / Flanders / 900-142-3-19 / two-lot subdivision of a 43,556 square foot property with one existing single-family residence in the R15 Zoning District

Summary: The motion was made by Mr. Shea and seconded by Mr. Freleng to approve the draft response to the town of Southampton for the 69 Cypress Avenue Subdivision Project. The motion was approved by the four members present.

- e. Finks Farm CGA Hardship application / 6242 Middle Country Road / Wading River / 60-134-1-1.3 / proposed to clear 95% of 11.2 acres where 65% is presently cleared in the RB 80 Zoning District / schedule public hearing

Summary: The motion was made by Mr. Romaine and seconded by Mr. Shea to approve to schedule a public hearing on May 18, 2022 for Finks Farm CGA Hardship Application. The motion was approved by the four members present.

- f. Tommasino CGA Hardship application / 88 Woodland Avenue / Manorville / 200-558-2-23.3 / proposal to clear 45% where 35% is allowed for a 9,600 square foot equine therapy arena on a 2.37-acres property with a single-family residence in the A2 Zoning District

Summary: The motion was made by Mr. Romaine and seconded by Ms. Aguiar to approve to schedule a public hearing on June 15, 2022 for Tommasino CGA Hardship Application. The motion was approved by the four members present.

- g. RD Industrial DRS / Ramsey Road / Precision Drive / Yaphank / 200-554-3-4.41, 4.45 and 4.46 / policy on existing easements on a development project site

Summary: A discussion ensued concerning pre-existing easements related to utilities and sewage for the property and whether this would impact the Commission's required conservation easement for the open space on the property. Mr. Romaine stated that the Town did not need the easement allowing for the STP or the sanitary lines because that one was not omitted from the report based on Mr. Tim Shea's statement. It was determined that final resolution of the title exceptions and prior easements would be necessary and then a Commission easement could be placed on the open space portion of the property.

4. Public Comment

Summary: No public comments were received.

5. Public Session of the Meeting Adjourned at 2:37pm

The motion was made by Mr. Romaine and seconded by Mr. Freleng to close the public portion of the meeting and to move into a public hearing. The motion was approved by the four members present.

6. Public Hearing at 3:00pm

- a. Supplemental Draft Generic Environmental Statement for the Comprehensive Land Use Plan Amendments

Summary:

A stenographic transcript was prepared for each hearing.

Ms. Jakobsen discussed written comments received by 12 noon on May 31, 2022 at Central Pine Barrens Commission, 624 Old Riverhead Road, Westhampton Beach, NY 11978 will be added to the draft responsiveness document in the Final Environmental Impact Statement. The motion was made by Mr. Romaine and seconded by Ms. Aguiar to close the public hearing. The motion was approved by the four members present.

Meeting was adjourned at approximately 3:32 pm.

Attachments (in order of discussion)

1. Draft Commission meeting summary for March 16, 2022 (4 pages)
2. Final Commission meeting summary for March 16, 2022 (4 pages)
3. Draft resolution Adopt a Negative Declaration, Determination of Non-Significance, Pursuant to SEQRA for Sarnoff West Forest health Restoration and Prescribed Fire Management dated April 20, 2022 (2 pages); Response form for SEQRA Lead Agency Coordination: Central Pine Barrens Sarnoff West Prescribed Burn Plan and Forest Management to Cathy Hass dated February 16, 2022 (15 pages), Full Environment Assessment Form dated April 20, 2022 (36 pages)
4. Final resolution Adopt a Negative Declaration, Determination of Non-Significance, Pursuant to SEQRA for Sarnoff West Forest health Restoration and Prescribed Fire Management dated April 20, 2022 (2 pages)
5. Draft resolution of the Central Pine Barrens Joint Planning and Policy Commission Authorizing the Renewal of a Memorandum of Understanding with U.S. Fish and Wildlife Service dated April 20, 2022 (10 pages)
6. Final resolution of the Central Pine Barrens Joint Planning and Policy Commission Authorizing the Renewal of a Memorandum of Understanding with U.S. Fish and Wildlife Service dated April 20, 2022 (10 pages)
7. Draft resolution to Approve Academy Board members for the New York wildfire and Incident Management Academy and attachments dated April 20, 2022 (18 pages)
8. Final resolution to Approve Academy Board members for the New York wildfire and Incident Management Academy dated April 20, 2022 (2 pages)
9. Draft decision to Approve Sunrise Wind LLC Core Preservation Area Compelling Public Need Hardship dated April 20, 2022 (6 pages)
10. Final decision to Approve Sunrise Wind LLC Core Preservation Area Compelling Public Need Hardship dated April 20, 2022 (6 pages)
11. Draft letter and maps to the Town of Southampton requesting additional information for 2025 Flanders Road Core Preservation Area dated April 20, 2022 (4 pages); Letter from Richard Warden and attachments dated March 15, 2022 (20 pages)
12. Final letter to the Town of Southampton requesting additional information for 2025 Flanders Road Core Preservation Area dated April 20, 2022 (2 pages)
13. Draft response letter from the Commission for JSC Resources, Inc. final subdivision map three lot subdivision of 19 Sophia Court dated March 16, 2022 (2 pages), referral letter and map dated February 7, 2022 (2 pages)
14. Final response letter from the Commission for JSC Resources, Inc. final subdivision map three lot subdivision of 19 Sophia Court dated March 16, 2022 (2 pages)
15. Pine Barrens Conservation Easement Report for Pedro Rivera Core Preservation Area Staff Report and Aerial maps dated April 20, 2022 (4 pages); Photos taken by staff during site visit dated March 3, 2022 (2 pages); Letter from Pedro Rivera dated March 7, 2022; Conservation Easement recorded dated September 30, 1996 (14 pages)
16. Draft response letter from the Commission to the referral for 69 Cypress Avenue Subdivision dated April 20, 2022 (1 page); Letter from Jacqueline Fenlon and attachments dated March 7, 2022 (20 pages)
17. Final response letter from the Commission to the referral for 69 Cypress Avenue Subdivision dated April 20, 2022 (1 page)
18. Draft resolution and attachments Commence SEQRA Lead Agency Coordination and Schedule a Public Hearing for the Finks Country Farm, Inc. dated April 20, 2022 (46 pages)
19. Final resolution Commence SEQRA Lead Agency Coordination and Schedule a Public Hearing for the Finks Country Farm, Inc. dated April 20, 2022 (2 pages)
20. Draft resolution and attachments Commence SEQRA Lead Agency Coordination and Schedule a Public Hearing for Desiree Tommasino Inc. dated April 20, 2022 (16 pages)
21. Final resolution Commence SEQRA Lead Agency Coordination and Schedule a Public Hearing for Desiree Tommasino Inc. dated April 20, 2022 (2 pages)

Item 2a:

NYWIMA update



2022 Spring New York Wildfire and Incident Management Academy

In March 2022, the Academy held the following classes:

- S-130/190 5 day – Firefighting Training/Intro. To Wildland Fire Behavior
- S-130/190 Field days only – Firefighting Training/Intro. To Wildland Fire Behavior
- S-131 – Firefighter Type 1
- S-211 – Portable Pumps & Water Usage
- S-212 – Wildfire Chainsaws with Storm Debris Removal
- S-219 – Firing Operations
- S-330 – Task Force/Strike Team Leader
- S-420 – Command and General Staff
- ATV – All-terrain vehicle and driver operations
- UTV – Off-highway Vehicle Basic Driver Course

The spring Academy was held at Stony Brook Southampton University. The University offered NYWIMA the facility at no charge to the Academy and were extremely accommodating and helpful. A total of 10 classes were held with a total of 120 students in attendance and 12 instructors.

The 2022 Fall New York Wildfire & Incident Management Academy will be held October 20 – 30, 2022. Planning and coordination for the fall Academy has begun. The location has not been determined as of yet.

Item 2b:

Education and Outreach Division update

Education and Outreach Division

May 2022 Update

Submitted by Melissa Griffiths Parrott, Education and Outreach Coordinator

1. School Programs

- Virtual and in person outreach programs (Climate Change, Pine Barrens Ecology, Biodiversity, Barrens to Bay, and A Day in the Life:

Schools/Libraries/Groups:

- Bay Avenue Elementary- 100
- Woodhull Elementary-125
- Sayville HS - 21
- Seatuck Association - 30
- Southampton Library- Climate Change on LI and a case for Optimism-30
- Setauket Elementary – 65

2. Barrens to Bay Summer Camp @ Wertheim Wildlife Refuge

- June 27th -August 12th
- **Camp 100% booked up!**
- New programming and activities planned this year
- Assisting with the implementation of a procedural document and MOU with the Friends of Wertheim

3. A Day in the Life 2022

- Spring Teacher training complete – 4/25/22
- Summer Training is scheduled for mid-August. To train on data collection and Data retrieval, including Survey 123 and Arc GIS
- 2022 dates below, all in person:

Carmans River~ September 23

Greens Creek~ September 23

Gardiner County Park~ September 23

Massapequa Preserve~ September 30

Fire Island~ September 30

Nissequogue River~ October 7

Carlls River~ October 14

Forge River~ October 14

Peconic Estuary~ October 21

Connetquot River~ October 28

Mill River~ November 4

4. Cooperators Lunch

- **CPBC video** - Filming, editing, and co-creating content for short 10-15 minute A Day in the Life video of what staff do at the Commission on a day-to-day basis
- Working in coordination with Tim Motz, writer, and director of video
- Identifying partner groups to bring exhibits on organization/agencies and our partnership programs
- Assisting with overall coordination of event

Item 2c:

Science and Stewardship Division update



Science and Stewardship Division Update May 18, 2022

Administrative:

- Erich Horn, Squad Boss has been accepted into the NYSDEC Forest Ranger Academy. We wish Erich much success as he pursues this next professional endeavour and recognize his numerous contributions to the prescribed fire program. Erich is a natural leader and mentor who has been instrumental in his short time with the Commission in helping ensure preparedness for spring prescribed fire operations and program expansion in notable ways including outfitting the mobile cache trailer, storage facilities and UTV engines allowing for maximal access and ensured organization and accounting of the equipment and vehicles. He supervised the prescribed fire crew daily; mentored Division staff in various capacities to help expand and strengthen skills related to trailering, prescribed fire implementation, UTV/ATV operation, and other standard operating procedures and led his prescribed fire squads professionally and skillfully. We are confident that Erich will be a highly accomplished and valued asset to the Department of Forest Protection and look forward to addressing him as Ranger Horn the next time we have the opportunity to work with him.
- The Fire Management Specialist has continued to be advertised both through SCWA and Commission outlets as well as national job boards.



Prescribed Fire Program:

- *Administration:*
 - Quarterly vouchers continue to be processed to receive reimbursement of expenses incurred and ensure access to the balance of funds to be used for prescribed fire planning and implementation.
 - Annual budget and workplan for the last year of the prescribed fire contract is being finalized. A continuity budget is also being finalized as continued funding of the fire program is anticipated.
- *Planning:*
 - Sarnoff West prescribed burn plan and the associated SEQRA review process has been finalized allowing for prescribed fire operations to commence in this unit in May.
 - The Dwarf Pine Prescribed Fire Enhancement Zone burn plan for the Westhampton Pine Barrens State Forest is in internal review within the Central Pine Barrens Commission. This plan covers 633 acres with eleven burn units.
 - Otis The Pike State Forest/Upton Reserve Burn Unit is currently in development and will encompass the largest area of treatment with a total of 4252 acres. This landscape focused plan is also the first that covers both NYSDEC (3492 acres) and the remaining acreage encompassing federal lands at Brookhaven National Lab. This land area is unique as it has one of the highest diversity of ecosystems as well as the highest level of wildfire activity of the Central Pine Barrens, allowing for the majority prescribed fire operations to advance in areas with limited need for mechanical treatment/fuels management prior to applying prescribed fire.

- *Equipment Storage and Purchasing:*

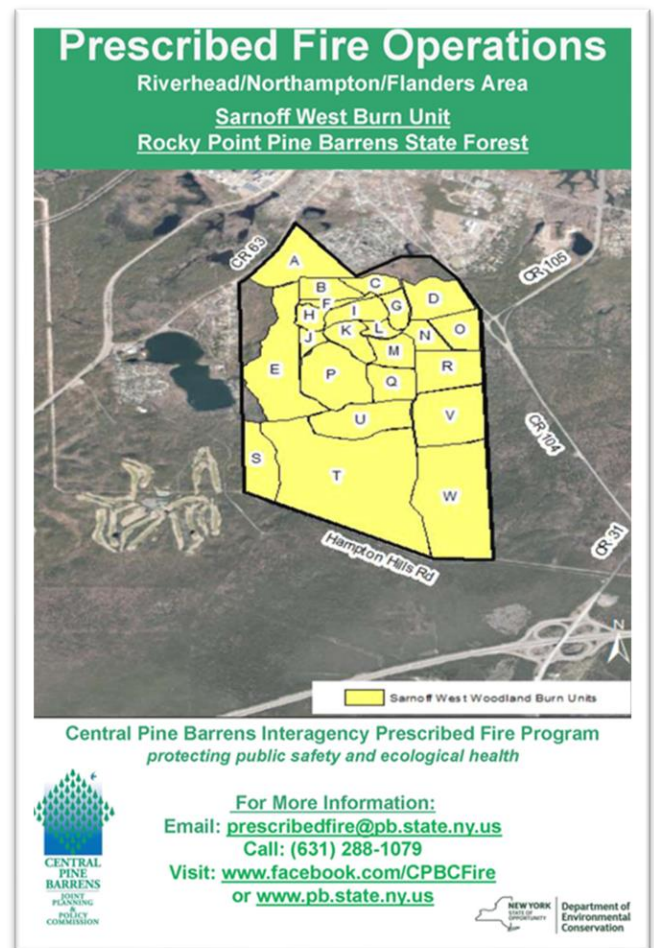
- Equipment purchases continue as operations determine additional needs.
- Pumps, hoses, mop up wands and fold-a-tanks have been received and utilized for supportive hose lays on prescribed fire operations.
- The Cargo trailer has been retrofitted as the portable prescribed fire cache which allows for the transport of hoses, fold-a-tanks, accessories and other equipment to facilitate operations.
- The UTV trailers have been received, registered and fitted with new cargo straps are being used to transport the two UTV Type 7 Engines. Both these and Ranger UTV have been outfitted and utilized for prescribed fire operations and patrol.
- Focus on outfitting the Fire Engine and securing insurance continues in partnership with Forest Protection and Forest Health.

- *Education and Outreach:*

- A press release announcing the expanded prescribed fire program implementation in Rocky Point and David Sarnoff Pine Barrens State Forests received comprehensive coverage by numerous news outlets including [News 12](#), [East End Beacon](#), [Express News Group](#), and the [Patch](#) which is important to notify the public of our upcoming operations and increase the awareness of prescribed fire in helping reduce wildfire risk and improving forest health.
- Pre-operation outreach notifications are being conducted prior to planned prescribed fire operations. A map of the unit and notification language to fire departments, Town Representatives, and Civic and Homeowner Associations such as that illustrated for Sarnoff West Burn Unit are provided in order to readily inform their constituents of the pending operation. The notifications can be easily posted to social media or printed and posed. To further communicate with the public on operations, the Commission also issues these operational posts to our social media accounts when an operation is tentatively anticipated. The final Go-No Go determination is made the day of by the Burn Boss reflective of the prescription, current conditions, staffing and other considerations.

- *Prescribed Fire Operations:*

- Spring burn season has been very successfully equipped and staffed by Division staff including the prescribed fire squad; NYSDEC staff including Forest Ranger staffed modules from off the island; Brookhaven National Lab staff and NYSDEC volunteers. The bolstered staffing and new equipment especially the Type 7 Engines has been integral to conducting a higher number of prescribed fires as well as expanding from grassland to forest treatments. In addition there has been increased training opportunities, increased experience gained and expanded professional development across prescribed fire staffing.





- Over 300 acres of grassland burn treatments within Otis Pike, Eastport and Rocky Point Pine Barrens State Forests have been conducted this spring, which is the highest number of grassland acres treated in one season.
- As of May 5th, the Commission successfully conducted three forest understory prescribed burns totaling 20 acres within the South Currans Woodlands Burn Unit in Rocky Point Pine Barrens State Forest.
- The 3rd operation conducted in the South Currans Woodlands Burn Unit on April 25 was successfully implemented and then was patrolled for seven days by Commission and NYSDEC staff. On the April 28th patrol, NYSDEC Forest Ranger Gallagher noticed that a hot spot had reignited, and an “escape” fire had occurred onto adjacent private property. Following procedures outlined in the burn plan, DEC Forest Ranger requested assistance to contain the escape from the Middle Island Fire Department. The escape burned 0.8 acres in privately owned undeveloped forest and was contained within 15 minutes of arrival of the additional resources. Thereafter, the NYS DEC and Commission prescribed fire crew continued monitoring and mop up (actively extinguishing all hot spots) of the burn and escape Thursday evening and all-day Friday until it was declared out on Monday May 1st after a wetting rain. Ranger Gallagher toured the site on Friday with the private landowner who was not aware he owned the property of the escape until Ranger Gallagher showed him the State DEC boundary. An onsite after-action review was conducted by the prescribed fire crew present concerning the burn and escape and appropriate notifications were made. Additional after-action reviews were conducted with Commission and NYSDEC prescribed fire staff and agency representatives to discuss the details of what occurred and any potential additional precautions that may be appropriate to implement in the future.
- In May, prescribed fire operations will continue within South Currans Woodlands and move into Demonstration Forest I of Rocky Point Pine Barrens State Forest as well as David Sarnoff Pine Barrens State Forest in Riverside and then onto Brookhaven National Lab lands in June.

Community WISE Program:



- *Planning:*
 - Ecological Field Specialist, Sabrina Cohn is helping coordinate this US Forest Service funded program which Judy Jakobsen initiated in November 2016. The program's goal is the promotion of wildfire ignition safety and mitigation measures that can help reduce the risk of wildfire associated losses for homes and businesses within the Ridge-Calverton-Manorville Community Wildfire Protection Plan.
- *Home Assessments and Outreach:*
 - Social media postings were drafted and issued for National Fire Protection Association's Wildfire Preparedness Day (May 7th) to help increase the public's awareness of the importance and means by which to make improvements to their homes and landscapes for purposes of wildfire protection. This is critically important proactive messaging to encourage action on behalf of homeowners as wildfires are not an if but a when in the fire prone Central Pine Barrens.
 - Four additional home assessments have been conducted in the last two months, bringing the total of homes that have been evaluated for wildfire prevention to 11. The reports are being drafted and will be delivered to the homeowners to allow for their review and implementation of the findings to help improve the resiliency of these homes and properties in the face of wildfire. Mitigation funding, provided to help offset the cost of improvements recommended within the home assessments, remains available through the cost share funding provided by the USFS Grant.

Southern Pine Beetle (SPB):

- **Surveying and Suppression:** Statewide SPB Incident Command System continues to be coordinated by NYSDEC's Forest Health Unit. Surveying and suppression cutting have commenced this spring.
- Ms. Weigand presented on forest health management operations that have been occurring in the Central Pine Barrens at a Southern Pine Beetle Virtual Workshop hosted by the Northeast Fire Science Exchange/ US Forest Service for land managers in the northeast. Over 100 people attended this very well coordinated and informative meeting that is integral to helping protect northeastern forests from the effects of southern pine beetle.

Invasive Species Management:

- **USFS/NYSDEC Early Detection Rapid Response Non-Native Bark and Ambrosia Beetle monitoring program (NBBT):** For the third year, the Division is participating in NBBT to monitor and detect emerging non-native beetles within the Central Pine Barrens. This study which runs from April through June in Calverton helps to monitor for these species that may have been inadvertently introduced through trade and detect potentially problematic species early while eradication is still feasible.
- **Spotted Lanternfly, caper spurge, Japanese stiltgrass** as well as other invasive species are on the forefront of monitoring and management as we roll into field operations.

Encroachment Restoration:

- Division staff continues to provide restoration recommendations and provide technical assistance to the NYS Attorney General's office regarding a violation in Eastport.
- A draft Request for Proposal (RFP) is being reviewed to solicit, vet and secure contractors for performing restoration work at existing and future encroachment and violation sites.

Item 2d:

Prescribed Fire Insurance draft resolution to renew



Central Pine Barrens Joint Planning and Policy Commission Meeting

Wednesday, May 18, 2022

Riverhead Town Hall

200 Howell Avenue

Riverhead, NY

Hybrid in-person and Zoom Meeting

Draft Resolution of the Central Pine Barrens Joint Planning and Policy Commission (“Commission”) Authorizing the Renewal of Prescribed Fire Insurance Policy in Support of the Commission’s Prescribed Fire and Forest Management Programs

Present: _____ (for the Suffolk County Executive)
_____ (Brookhaven Town Supervisor)
_____ (Riverhead Town Supervisor)
_____ (Southampton Town Supervisor)

Yvette Aguiar
Member

Steven Bellone
Member

Edward P. Romaine
Member

Jay H. Schneiderman
Member

Whereas, pursuant to Article 57 of the New York State Environmental Conservation Law, the Commission is authorized to obtain and maintain insurance, and

Whereas, on October 17, 2018 the Commission accepted a State of New York grant which provides a five-year total award to the Commission of \$1.25 million to develop, establish, implement and lead a prescribed fire management program on public lands in the Central Pine Barrens, and

Whereas, as part of the grant agreement, the Commission is required to obtain additional insurance to cover the grant activities and the State allows the cost of such insurance to be charged to said grant, and

Whereas, the additional insurance coverage that has been identified as necessary for the Commission to undertake the Prescribed Fire Program is a stand-alone Prescribed Fire Liability policy, and

Whereas, Hometown Insurance Agency serving as the insurance broker for AXIS Surplus Insurance Company, currently provides Prescribed Fire Liability insurance that is due for its yearly renewal at a cost of \$45,456.12, which is the same cost as last year, now, therefore, be it

Resolved, that the Commission hereby authorizes the renewal of the aforesaid insurance policy for Prescribed Fire Liability insurance in the amount of \$45,456.12 and authorizes this expenditure to be charged to and reimbursed through the Commission’s Prescribed Fire grant and be it further

Resolved, the Commission authorizes the Executive Director to execute any and all documents necessary to effect these coverages.

Motion by: _____
Second by: _____
Ayes: _____
Nays: _____
Abstentions: _____
Absent: _____

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NOTICE OF EXCESS LINE PLACEMENT

Date: MAY OF 2022

Consistent with the requirements of the New York Insurance Law and Regulation 41
Central Pine Barrens Joint Planning and Policy Commission is hereby advised that all or a portion of the required coverages have been
placed by Hometown Insurance Agency of LI with insurers not authorized to do an insurance business in
New York and which are not subject to supervision by this State. Placements with unauthorized insurers can
only be made under one of the following circumstances:

- a) A diligent effort was first made to place the required insurance with companies authorized in New York to write coverages of the kind requested; or
- b) NO diligent effort was required because i) the coverage qualifies as an "Export List" risk, or ii) the insured qualifies as an "Exempt Commercial Purchaser."

Policies issued by such unauthorized insurers may not be subject to all of the regulations of the Superintendent of Insurance pertaining to policy forms. In the event of insolvency of the unauthorized insurers, losses will not be covered by any New York State security fund.

TOTAL COST FORM (NON TAX ALLOCATED PREMIUM TRANSACTION)

In consideration of your placing my insurance as described in the policy referenced below, I agree to pay the total cost below which includes all premiums, inspection charges⁽¹⁾ and a service fee that includes taxes, stamping fees, and (if indicated) a fee⁽¹⁾ for compensation in addition to commissions received, and other expenses⁽¹⁾.

I further understand and agree that all fees, inspection charges and other expenses denoted by⁽¹⁾ are fully earned from the inception date of the policy and are non-refundable regardless of whether said policy is cancelled. Any policy changes which generate additional premium are subject to additional tax and stamping fee charges.

Re: Policy No.

Insurer

Policy Premium	\$ 39,800.00
<u>Insurer Imposed Charges:</u>	
Policy Fees ⁽¹⁾	\$ 150.00
Inspection Fees ⁽¹⁾	\$ 1,000.00
Total Taxable Charges	\$
<u>Service Fee Charges:</u>	
Excess Line Tax (3.60%)	\$ 1,438.20
Stamping Fee	\$ 67.92
Broker Fee ⁽¹⁾	\$ 3,000.00
Inspection Fee ⁽¹⁾	\$
Other Expenses (specify) ⁽¹⁾ _____	\$
Total Policy Cost	\$ 45,456.12



(Signature of Insured)

⁽¹⁾ = Fully earned

AXIS Surplus Insurance Company

Environmental Proposal

Named Insured: Central Pine Barrens Joint Planning and Policy Commission

Issued Date: May 5, 2022

Policy Term: One Year

Coverage(s):

Commercial General Liability

Contractors Pollution Liability

Limit(s):

Policy Aggregate Limit for All Claims and Damages: \$2,000,000

Policy Aggregate Limit for All Claims Expenses: \$2,000,000

Commercial General Liability

Each Occurrence: \$1,000,000

General Aggregate: \$2,000,000

Products-Completed Operations Aggregate: \$2,000,000

Personal and Advertising Injury: \$1,000,000

Medical Expense: \$10,000

Damage to Premises Rented to You: \$100,000

Contractors Pollution Liability

Each Claim: \$1,000,000

Aggregate: \$2,000,000

Each Claims Expense: \$1,000,000

Aggregate Claims Expense: \$2,000,000

Deductible:

Commercial General Liability \$25,000 per Occurrence

Contractors Pollution Liability \$25,000 per Claim

Premium (Minimum & Deposit): \$39,800

(A 25% minimum earned premium will apply at inception)

Optional Terrorism Risk Insurance Act (TRIA) Premium: \$1,990

(TRIA is calculated at 5% of the policy premium subject to \$250 minimum)

Rate: FLAT, Not Auditable



Exposure Basis: Revenue: \$250,000

Policy Fee: \$150

Forms List:

Declarations Page PGI EL 001 0918
Signature Page AXIS 102 ASIC
Notice to Policyholder AXIS001 0918
Policyholder Notice AXIS NY 105 0316
Service of Suit AXIS 106NY 0220
State Fraud Statement AXIS NY 104 0415
Schedule of Forms PGI EL 041 0210
Commercial General Liability Coverage Form CG00011207
Financial Interest Clause PGI PL 083 0518
Employee and Benefits Liability Coverage CG04351207
Additional Insured - Owners, Lessees or Contractors - Scheduled Person or Organization CG20100704
Additional Insured - Owners, Lessees, or Contractors - Completed Operations CG20370704
Employment - Related Practices Exclusion CG21470798
Exclusion - Exterior Insulation and Finish Systems CG21861204
Waiver of Transfer of Rights of Recovery Against Others To Us CG24041093
Exclusion - Testing or Consulting E & O CG22330798
Contractor's Pollution Liability Coverage Form – Occurrence PGI EL 004 0918
Common Policy Conditions PGI EL 036 0210
Mold, Mildew and Fungus Deductible PGI EL 009 0210
Additional Insured Endorsement PGI EL 018 0210
Primary and Non-Contributory Wording Endorsement PGI EL 020 0210
Policy Aggregate Endorsement PGI EL 002 0210
Waiver of Subrogation Endorsement PGI EL 019 0210
Transportation of Cargo – Pollution Endorsement PGI EL 010 0921
Designation of Surplus Lines Agent PGI PL 002
Continuous or Progressive Injury & Damage Exclusion PGI EL 045 1112
TCPA Exclusion PGI PL 074 1212
Non-Owned Disposal Site Liability Coverage Endorsement (Blanket) PGI EL 064 0118
Deductible Liability Insurance CG03000196
Nuclear Incident Exclusion SLX-1008-01-14b
Coronavirus Endorsement AXIS 1012679 0320
Notice of Terrorism Insurance Coverage - TRIA Declined TRIA Declined Disclosure 0115
U.S. Treasury Department's Office of Foreign Assets Control ("OFAC") DE0010 1210

Subjectivities:

(Unless otherwise noted, these are due within 10 days of Binding)

PRIOR TO BINDING, we will require completed surplus lines form, including TRIA selection

Subject to most recent financials – Profit & Loss, Income Statement, or recent Tax Return

Note: Taxes, Fees and Filings (if applicable) are the responsibility of the broker.

Issued By: AXIS Surplus Insurance Company
 (AM Best A Excellent) Non-Admitted

Please read all terms and conditions shown above carefully as they may not conform to the specifications shown in your submission. Coverage shall be subject to all terms and conditions of the policy to be issued which shall when delivered, replace the binder. This Quote is only valid for 30 days from the issue date listed.



POLICYHOLDER DISCLOSURE

NOTICE OF TERRORISM INSURANCE COVERAGE

You are hereby notified that under the Terrorism Risk Insurance Act, as amended (the "Act"), you have a right to purchase insurance coverage for losses resulting from acts of terrorism. As defined in Section 102(1) of the Act, the term "act of terrorism" means any act that is certified by the Secretary of the Treasury—in consultation with the Secretary of Homeland Security, and the Attorney General of the United States—to be an act of terrorism; to be a violent act or an act that is dangerous to human life, property, or infrastructure; to have resulted in damage within the United States, or outside the United States in the case of certain air carriers or vessels or the premises of a United States mission; and to have been committed by an individual or individuals as part of an effort to coerce the civilian population of the United States or to influence the policy or affect the conduct of the United States Government by coercion.

If, as a part of your policy, you also elect to purchase this terrorism coverage from us, you will be charged an additional premium of \$1,990.

YOU SHOULD KNOW THAT WHERE COVERAGE IS PROVIDED BY THIS POLICY FOR LOSSES RESULTING FROM CERTIFIED ACTS OF TERRORISM, SUCH LOSSES MAY BE PARTIALLY REIMBURSED BY THE UNITED STATES GOVERNMENT UNDER A FORMULA ESTABLISHED BY FEDERAL LAW. HOWEVER, YOUR POLICY MAY CONTAIN OTHER EXCLUSIONS WHICH MIGHT AFFECT YOUR COVERAGE, SUCH AS AN EXCLUSION FOR NUCLEAR EVENTS. UNDER THE FORMULA, THE UNITED STATES GOVERNMENT GENERALLY REIMBURSES 85% THROUGH 2015; 84% BEGINNING ON JANUARY 1, 2016; 83% BEGINNING ON JANUARY 1, 2017; 82% BEGINNING ON JANUARY 1, 2018; 81% BEGINNING ON JANUARY 1, 2019 and 80% BEGINNING ON JANUARY 1, 2020, OF COVERED TERRORISM LOSSES EXCEEDING THE STATUTORILY ESTABLISHED DEDUCTIBLE PAID BY THE INSURANCE COMPANY PROVIDING THE COVERAGE. THE PREMIUM CHARGED FOR THIS COVERAGE IS PROVIDED ABOVE AND DOES NOT INCLUDE ANY CHARGES FOR THE PORTION OF LOSS THAT MAY BE COVERED BY THE FEDERAL GOVERNMENT UNDER THE ACT.

YOU SHOULD ALSO KNOW THAT THE TERRORISM RISK INSURANCE ACT, AS AMENDED, CONTAINS A \$100 BILLION CAP THAT LIMITS U.S. GOVERNMENT REIMBURSEMENT AS WELL AS INSURERS' LIABILITY FOR LOSSES RESULTING FROM CERTIFIED ACTS OF TERRORISM WHEN THE AMOUNT OF SUCH LOSSES IN ANY ONE CALENDAR YEAR EXCEEDS \$100 BILLION. IF THE AGGREGATE INSURED LOSSES FOR ALL INSURERS EXCEED \$100 BILLION, YOUR COVERAGE MAY BE REDUCED.

NOTICE TO BROKER

We are required by the [Terrorism Risk Insurance Act](#), as amended (the "Act"), to provide policyholders with clear and conspicuous disclosures. This notice must be provided at the time of offer and renewal of the policy.

We have provided you with a notice that meets the Act's requirements. You are instructed to deliver a copy of this notice to our prospective insured when you forward our quote.

Includes copyrighted material 2015 National Association of Insurance Commissioners

Item 3a:

Compliance and Enforcement Division update



Compliance and Enforcement Division Highlights January - April 2022

Prepared by Chief CAED Officer Tim Huss

- Fourteen complaint investigations documented to date (Clearing, dumping, and criminal mischief)
- Four confirmed dumping violations documented on CAED surveillance cameras.
- Compliance and Enforcement staff continue to utilize new GIS based data collection program to track locations, status of, and types of violations
- Enforcement staff monitoring easements and important development projects in Brookhaven and Southampton to assure compliance with Commission requirements
- Coordinating active clearing investigations with Towns of Brookhaven and Southampton
- Meetings held with LEC, County Parks, and other enforcement partners

Yvette Aguiar
Member

Steven Bellone
Member

Edward P. Romaine
Member

Jay H. Schneiderman
Member



624 Old Riverhead Road
Westhampton Beach, NY
11978


Phone (631) 288-1079
Fax (631) 288-1367
www.pb.state.ny.us

[illegible]

Item 3b:

Land Use Division update

Central Pine Barrens Joint Planning and Policy Commission
Land Use Division Bi-Monthly Update for the Meeting of Wednesday, May 18, 2022

Action	Central Pine Barrens Location		
Municipality	Town of Brookhaven	Town of Riverhead	Town of Southampton
Applications and Requests for Determination of Jurisdiction	<ul style="list-style-type: none"> ○ 59 Ryerson Ave Subdivision CGA Hardship waiver application, two lot substandard subdivision on 0.8 acres. Hearing 7/20/22. ○ Tommasino CGA Hardship Waiver Application. Hearing 6/15/22 ○ Determination: Eastport South Manor Central School District proposals for solar carports, cell tower, artificial turf and expansion at high school. 	<ul style="list-style-type: none"> ○ Finks Country Farm CGA Hardship Waiver Application. Hearing 6/15/22. 	-----
SEQRA Coordination, referrals, land use inquiries and activities	<ul style="list-style-type: none"> ○ Town Referral: Expressway Drive North, formerly Silver Corporate Park DRS, 3-lot industrial subdivision for 550,000 sf on 71 acres. ○ Town Referral: Oak Run rezoning and development of 74 senior apartment complex on 23.56 acres. ○ RD Industrial conservation easement. 	<ul style="list-style-type: none"> ○ Town Referral: 2013 River Road, former Warner Duck Farm property, Calverton. ○ NYSDEC Referral: Peconic Paddler restaurant and hotel, Riverside. 	<ul style="list-style-type: none"> ○ Request for Determination. 2025 Flanders Road apartment, Flanders. ○ Potential cell tower at junk yard in the Core, Flanders.
Regional Projects	<ul style="list-style-type: none"> ○ Peconic Estuary Partnership - participation in technical committees. ○ USGS-Commission Water Resources Monitoring Program, 2018 through 2022. 		
Division Activity and Participation 	<ul style="list-style-type: none"> ○ Research, review and analyze new Core and CGA hardship waiver applications, SEQRA Coordination, interagency referrals, information requests and inquiries. ○ Prepare material and responses for Commission review of development project activities and land use related items. Types of projects include commercial/industrial site plans, commercial and residential subdivisions, mixed-use projects, Developments of Regional Significance, Assertions of Jurisdiction, code amendments, zone changes and other actions. ○ Site inspections pre- and post-construction, consent order compliance and monitoring of land use related activities and restoration on project sites and incidents/violations. ○ Requests for Determination of Jurisdiction. Research and prepare materials for the Commission. ○ FOIL Requests. Research and assist with FOIL requests and litigation on development projects. ○ Technical support to the Compliance and Enforcement Division on land use matters including property information research on unauthorized development, clearing activities, encroachments on credit program conservation easements and other incidents. ○ Supervise Credit Program staff. ○ Collaborate and coordinate with other Commission divisions. ○ SEQRA for the Draft Supplemental GEIS for the Comprehensive Land Use Plan Amendments. 		



Item 3c:

Credit Program update

Pine Barrens Credit Program Report for May 18, 2022:

Activities in the Credit Program (since January 1, 2022) included review of applications for Letters of Interpretation, Conservation Easements, Credit Program and FOIL requests management. Some specific work items include:

- Letters of Interpretation: Nine Letters of Interpretations were issued and four parcels were inspected in the Towns of Brookhaven and Southampton. Staff is following up on past LOIs for interest in the Program.
- Conservation Easements: Review and Monitoring
 - two easements were recently recorded
 - six easements are currently in progress
 - research and review of proposed activities on three easement properties for consistency with easement terms including reserved rights and covenants.
- Pine Barrens Credits
 - Redeemed: 34.08 Credits have been redeemed, 15.65 in the Town of Brookhaven, 6.33 in the Town of Riverhead and 12.1 in the Town of Southampton.
 - Conveyed: 23.99 Credits have been conveyed, 14.48 in the Town of Brookhaven, 4.5 in the Town of Riverhead and 5.01 in the Town of Southampton.
 - The average price is \$92,088 per credit.
- Order on Consent: The Ridge Church Order on Consent was executed on January 5, 2022. The three sheds and the stone were removed from the property, native pine barrens seed mix was planted and a split rail fence was installed to protect the site from future disturbance.
- Maps: The maps of DRS', CRAs and Assertions of Jurisdiction parcels, Core and CGA hardships, CGA overcleared and Industrial properties have been created.

Easement Protected Lands and Pine Barrens Credits As of May 10, 2022								
	Brookhaven	2022	Riverhead	2022	Southampton	2022	Total	2022
Parcels	513	1	37	-	454	1	1004	2
Acreage	819.57	5.02	516.78	-	850.05	0.96	2186.4	5.98
Average parcel size	1.60	5.02	13.97	-	1.87	0.96	2.18	2.99
Credits generated	540.5	2.01	172.39	-	331.82	0.20	1044.71	2.21
Credits redeemed	416.5	15.65	137.49	6.33	174.55	12.10	728.54	34.08
Credits not redeemed	124	-13.64	34.9	-	157.27	-11.9	316.17	-31.87
Credits sold	589.87	14.48	229.4	4.50	279.59	5.01	1098.86	23.99
Total value of PBC transactions through this date	\$32,540,169	\$1,456,750	\$8,563,247	\$332,500	\$18,950,242	\$419,940	\$60,053,658	\$2,209,190
Average Credits value		\$100,604		\$73,889		\$83,820		\$92,088
Credits owned by the Clearinghouse	0.54		-		-		0.54	
# of Inspected CE Parcels	-	16	-	-	-	-	-	16
# of Installed CE Sign	129	4	15	-	87	-	231	4



SUFFOLK COUNTY COMPTROLLER

330 CENTER DRIVE RIVERHEAD, N.Y. 11901-3311

Telephone: (631) 852-1501 FAX (631) 852-1507

JOHN M. KENNEDY, JR.
COUNTY COMPTROLLER

May 3rd, 2022

**Central Pine Barrens Joint Planning and
Policy Commission
P.O. Box 587
Great River, N.Y. 11739-0587**

**Dear Pine Barrens Credit Clearinghouse
Board of Advisors:**

**Attached please find our financial report on the Pine Barrens Credit Program for the
month of April 2022. Thank you.**

Respectfully submitted,

Christina M. Withers

**Christina M. Withers, CIA, CPFO
Executive Director of Finance & Taxation**

Suffolk County Comptroller's Office The Pine Barrens Credit Program	
Balance as of December 31st, 2021	\$2,551,999.78
Additional Deposits	0.00
Interest (see below for details)	832.15
Disbursements	0.00
Balance as of April 30th, 2022	\$2,552,831.93

**Interest Earnings & Disbursements
For the Months of January - December 2021**

Interest Earnings

Premier MMA - Public Fund

January	216.75
February	195.79
March	216.79
April	202.82
May	0.00
June	0.00
July	0.00
August	0.00
September	0.00
October	0.00
November	0.00
December	0.00
	<u>\$832.15</u>

<u>Interest Period</u>	<u>APR</u>
01/01/22- 01/31/22	0.1000%
02/01/22- 02/28/22	0.1000%
03/01/22- 03/31/22	0.1000%
04/01/22- 04/30/22	0.1000%
05/01/22- 05/31/22	0.0000%
06/01/22- 06/30/22	0.0000%
07/01/22- 07/31/22	0.0000%
08/01/22- 08/31/22	0.0000%
09/01/22- 09/30/22	0.0000%
10/01/22- 10/31/22	0.0000%
11/01/22- 11/30/22	0.0000%
12/01/22- 12/31/22	0.0000%

Disbursements

None	<u>\$ -</u>
	<u>\$ -</u>

Item 3d:

Warner Duck Farm draft referral response

DRAFT



May 18, 2022

Heather Trojanowski
Site Plan Reviewer
Planning Department
200 Howell Avenue
Riverhead, NY 11901-2596

RE: Referral: Warner Duck Farm Lot Line Modification
2023 River Road SCTM # 600-118-4-5.7 and
2011 River Road SCTM # 600-118-4-5.10
Core Preservation Area of the Central Pine Barrens

Dear Ms. Trojanowski:

On April 21, 2022, the Central Pine Barrens Commission office received your referral of the referenced proposal. The project site is in the Core Preservation Area of the Central Pine Barrens. A portion of the project site has a recorded Conservation Easement in the Pine Barrens Credit Program and is subject to its rights and restrictions.

Background and Conservation Easement

A portion of the project site is subject to a Pine Barrens Credit Program Conservation Easement recorded on January 8, 1996 (copy enclosed). The Grantor, Olin F. Warner, Jr., received 47.99 Pine Barrens Credits in exchange for granting the easement to the Commission (Grantee).

The easement covered three lots including Suffolk County Tax Map Numbers 600-118-4-5.5, 13 and 14.

Since the easement was recorded, at least two lot line modifications have occurred. These actions resulted in reconfigured lots, changed their areas and created new tax lots. Regardless, the easement area has not been modified and it remains in effect.

Lot 5.5 is now part of lot 5.10. Its area has been reduced from 30 acres to its present area of 13.8 acres, with the remaining acreage being transferred to new adjacent parcels. No changes have occurred to lots 13 and 14.

A summary of past actions on the referenced parcels is provided for your reference.

Existing Conditions and the Proposed Project

Presently, the project site may be characterized as:

- Lot 5.7 is 1.15 acres and is developed with a single-family residence.
- Lot 5.10 is partially wooded with natural pine barrens vegetation and partially developed with agricultural uses.

Yvette Aguiar
Member

Steven Bellone
Member

Edward P. Romaine
Member

Jay H. Schneiderman
Member

624 Old Riverhead Road
Westhampton Beach, NY
11978

Phone (631) 288-1079
Fax (631) 288-1367

<https://pb.state.ny.us/>

DRAFT

According to the referral materials and the map titled “Lot Line Modification for Stacy Pipczyinski” dated April 6, 2022, the proposal is comprised of 1) lot line modification and 2) construction of facilities for horses including a total of 29,808 square feet for a riding ring, stable and three paddocks. Specifically, the project includes:

1. Proposed lot line modification
 - a. Transfer 3.8610 acres from lot 5.10 to lot 5.7.
 - b. Lot 5.7 is increased in area from 1.15 acres to 5 acres.
 - c. Lot 5.10 is reduced in area from 13.8 acres to 9.9513 acres.
2. Proposed construction of 29,808 square feet of facilities for horses. The subject area is in a portion of the Conservation Easement. The proposed facilities include:
 - a. a riding ring: 15,600 square feet
 - b. a stable: 1,216 square feet
 - c. three paddocks that total 12,992 square feet

Related information

In 1998, Lot 5.5 was subdivided into three lots to create Lot 5.8 and Lot 5.9. Additionally, a map stamped received by the Commission in 2001 depicts existing conditions on the properties including woods, fields and cleared areas.

Conservation Easement

- With the proposed lot line modification, lot 5.7 will contain a portion of the conservation easement and thus be subject to its restrictions and reserved rights.
- Lot 5.10 will continue to be subject to the conservation easement.

Summary of changes in lot areas to lots 5.7 and 5.10.

Lot	Current area	Change	Final Area
5.7	1.15 acres	+3.8610 acres	5.01 acres
5.10	13.8 acres	-3.8610 acres	9.9 acres

Central Pine Barrens Status

The Long Island Pine Barrens Protection Act of 1993 (the Act) defines activities that constitute development and “non-development.” The Central Pine Barrens Comprehensive Land Use Plan (the Plan), implemented by the Town Code, outlines in Chapters 4 and 5 the Review Process and Jurisdiction and Standards and Guidelines for Land Use, respectively. The Plan states development is prohibited in the Core Preservation Area.

Lot Line Modification

The proposed lot line modification appears to be “non-development” activity pursuant to New York State Environmental Conservation Law Article 57 since no net increase in lots will occur and no material alteration occurs on the project from the modification of lot lines.

DRAFT

Construction on Lot 5.7

The Conservation Easement does not permit the proposed physical activity on Lot 5.7. The activity appears to not be consistent with the definition of agriculture pursuant to the Act.

Keeping horses as pets on a property does not constitute agriculture, as defined in the Act, as opposed to breeding horses or other agriculture. If details on the proposal are submitted that may affect this determination, please submit the information to this office for review.

The conservation easement also restricts disturbance to natural vegetation. Areas of natural vegetation exist on lot 5.7 and lot 5.10, as reflected in maps of the property when the easement was recorded. No removal of natural vegetation or disturbance to natural vegetation is permitted in the area of the conservation easement.

Other comments

- Please provide information on the proposed 12 foot wide driveway and whether it will be paved.
- Identify if there are restrooms in any new structures.
- The proposed “new garage” shown on existing lot 5.7 does not constitute development activity pursuant to the Act if it is customarily incidental to the existing residence, as per the Town Code.
- The map labels lot 5.2 and lot 5.8 as “Lot 1.” The survey does not define the dashed line between the two lots. Please clarify if a lot line modification is occurring between lots 5.2 and 5.8. Are they being merged into one lot? If they are merged, the merger will be affected by the presence of the conservation easement on lot 5.8.
- Does the proposal involve the removal of natural vegetation?
- Please add to the map for reference the existing and proposed lot data including transfers of area on all lots.
- Two proposed lots are labeled “lot 3.” Could they be distinguished and labeled differently (e.g., lot 3 and lot 4)?
- The applicant and future landowners would benefit from the preparation of a new map showing at least the areas of lots 5.7, 5.8 and 5.10 under a conservation easement to ensure that no new structures or uses are constructed in areas restricted by the easement and where facilities are not permitted as per the easement.

If any activity related to the proposal changes, please notify this office and forward the updated information for Commission review prior to implementation.

The proposal must conform to all other involved agency jurisdictions and permit requirements in effect on the project site. Thank you for your attention, and if you have any questions, please do not hesitate to contact me at (631) 218-1192.

Sincerely,

Julie Hargrave
Policy and Planning Manager

cc: Judy Jakobsen, Executive Director
John C. Milazzo, Counsel to the Commission
Jerry Tverdy, Senior Environmental Analyst

DRAFT

Attachment: A summary of changes to lots reflected in the tax map numbers and lot configuration.

Lot 5.10

- Lot 5.3 became lot 5.5 then lot 5.10 (see 1992, 1997 and 2019 tax maps)
- Lot 5.10 is approximately 13.8 acres
- Lot 5.10 transferred 2.3673 acres to create lot 5.8 (c. 1998)

Lot 5.7

- Lot 5.4 became lot 5.7 (see 1992 tax map)
- Lots 5.4 and 5.5 created lot 5.7 (c. 1997).
- Lot 5.5 transferred 9,587 square feet to lot 5.7 (c. 1997).
- Lot 5.7 is now 1.15 acres.
- Lot 5.10 transfers 3.8 acres to lot 5.7.
- Lot 5.7 is not presently under the restrictions of the Conservation Easement. The proposed lot line modification adds area to 5.7 that is encumbered by an easement. Therefore, a portion of lot 5.7 will be subject to the Conservation Easement.
- The proposed structures on lot 5.7 are in the easement area and are not consistent with the easement restrictions.

Lot 5.8

- Lot 5.10 transferred 2.3673 acres to create lot 5.8 (c. 1998).
- Lot 5.10 was reduced in area to 13.8123 acres.

Lot 5.9

Lot 5.5 was subdivided into three lots (c. 1998) including Lot 1: 2.3673 acres (now lot 5.8); Lot 2: 13.5515 acres (now lot 5.9) and Lot 3: 13.8123 acres (now lot 5.10)

Map	Lots and Lot Areas	
1992 tax map	600-118-4-5.2: 0.93 acres 600-118-4-5.3: 30 acres 600-118-4-5.4: 1.79 acres	
1997 tax map	600-118-4-5.2: 0.93 600-118-4-5.5: 29.8 acres 600-118-4-5.7: 1.2 acres	
Map Showing Alteration of Boundary Lines Olin F. Warner, Jr. stamped January 15, 1997	600-118-4-5.5: 29.7310 acres 600-118-4-5.7: 40,570 sf + 9,587 sf transferred from lot 5.5 Total area: 30.8825 acres	
Subdivision Plat titled Olin F. Warner, Jr. stamped March 24, 1998	Subdivision Lot 1: 2.3673 acres (north side) (now lot 5.8) Subdivision Lot 2: 13.5515 acres (east side) (now lot 5.9) Subdivision Lot 3: 13.8123 acres (west side) (now lot 5.10)	
Subdivision Plat titled Olin F. Warner, Jr. stamped March 9, 2001	Subdivision Lot 1: 2.3673 acres (north side, now lot 5.8) Subdivision Lot 2: 13.5515 acres (east side, now lot 5.9) Subdivision Lot 3: 13.8123 acres (west side, now lot 5.10) Total area: 29.7310 acres	
2019 tax map	600-118-4-5.2: 0.93 acres 600-118-4-5.7: 1.2 acres 600-118-4-5.8: 2.4 acres	600-118-4-5.9: 13.6 acres 600-118-4-5.10: 13.8 acres
Subdivision Map stamped April 21, 2022 (Stacy Pipczynski)	Subdivision Lot 1: 3.33 acres (lots 5.2 and 5.8) Subdivision Lot 2: 13.5515 acres (east side) (now lot 5.9)	Subdivision Portion of Lot 3: 3.8610 acres (central portion, now lot 5.10) Subdivision Portion of Lot 3: 9.9513 acres (west side now lot 5.7)

Warner Referral
2023 River Road, Calverton
Core Preservation Area
SCTM #s 600-118-4-5.7 and 5.10



NYS ITS GIS Program Office

CE - Conservation Easement

0 100 200 400 600 800
Feet

2020 aerial
draft for reference only



TOWN OF RIVERHEAD PLANNING DEPARTMENT

200 HOWELL AVENUE, RIVERHEAD, NEW YORK 11901-2596
(631) 727-3200

RECEIVED

APR 21 2022

Central Pine Barrens Joint
Planning & Policy Commission

Jefferson V. Murphree, AICP
*Town Building and Planning
Administrator*
Ext. 239

Greg Bergman
Planner
Ext. 264

Matt Charters
Planner
Ext. 207

Heather Trojanowski
Site Plan Reviewer
Ext. 283

Vacant
*Associate Administrator
to the Planning Board,
Zoning Board, and ARB*
Ext. 240

MEMO TO: Central Pine Barrens Joint Planning and Policy Commission
624 Old Riverhead Road, Westhampton Beach, NY 11978

FROM: Heather Trojanowski, Site Plan Reviewer, Planning Department

RE: Lot Line Modification

DATE: Monday, April 18, 2022

Kindly see the attached application for a lot line modification between 2023 River Rd (SCTM 118-4-5.7) and 2011 River Rd (SCTM 118-4-5.10).

Please note that this application is for the lot line modification only and the applicant will need to have any proposed development/site work omitted from the survey.



TOWN OF RIVERHEAD PLANNING BOARD

201 HOWELL AVENUE, RIVERHEAD, NEW YORK 11901-2596
(631) 727-3200, EXT. 240, FAX (631) 727-9101

REQUIREMENTS FOR MINOR SUBDIVISION/UNMERGER/LAND CONVEYANCE

*****Please note amended fee schedule*****

1. *****NEW REQUIREMENT***** - All applications must be accompanied by a flash drive containing digital files of all documents, surveys, maps, supporting information, etc. Application will be deemed incomplete until digital files have been submitted.
2. Letter of Intent (Explains what you are proposing).
3. Application (Attached) – *One (1) original & eleven (11) copies*
4. Disclosure Affidavit (Attached), signed and notarized – *One (1) original & eleven (11) copies*
5. *One (1) original and one (1) copy of Current Title Report for the subject property*, dated no more than three months prior to the date of submission of the application, prepared by a title company licensed in the State of New York containing a chain of title and any/all recorded covenants restrictions and/or easements on the subject property.
6. *Twelve (12) original surveys by a licensed surveyor* as per Chapter 301, Section 301-288 of the Code of the Town of Riverhead, showing the division lines and all required dimensions (fourteen [14] copies if within 500 feet of wetlands, water, county-owned, state-owned property or railroad, etc.).
7. Short Environmental Assessment Form, *Part 1 Only* – *One (1) original & eleven (11) copies*
8. Fees as per Chapter 301, Section 301-288 of the Code of the Town of Riverhead (*\$500, plus \$200 per lot*)
9. Construction Activity Agreement to be completed prior to final approval, if applicable. (Attached) – *One (1) original & eleven (11) copies*
10. Agricultural Data Statement, if applicable. (Attached) – *One (1) original & eleven (11) copies*
11. Owner's Endorsement, if applicable. (Attached), signed and notarized – *One (1) original & eleven (11) copies*

The Planning Board meets on the first Thursday of each month at 7:00 p.m. and the third Thursday of the month at 3:00 p.m. at the Riverhead Town Hall, 200 Howell Avenue, Riverhead, New York.

Applications will not be scheduled for hearing until staff reviews have been completed and reports or recommendations, if required, from other agencies have been received.

An approved Stormwater Pollution Prevention Plan (SWPPP) may be required prior to the signing of the plat and the commencement of any property improvements.

All subdivision fees are non-refundable.

6/16/2020

NOTICE TO APPLICANT
REQUIREMENTS FOR MINOR SUBDIVISION/UNMERGER/LAND
CONVEYANCE
STORMWATER POLLUTION PREVENTION PLAN

Please be advised that a Stormwater Pollution Prevention Plan (SWPPP) consistent with the provisions of Riverhead Town Code chapter 275 shall be required for construction activity including clearing, grading, excavating, soil disturbance or placement of fill that results in land disturbance of equal to or greater than one acre, or activities disturbing less than one acre of total land area that is part of a larger common plan of development or sale, even though multiple, separate and distinct land development or re-development activities may take place at different times on different schedules unless the activity is exempt as delineated in Riverhead Town Code section 275-5.

A SWPPP, in conformance with Riverhead Town Code section 275-6, may be required to be submitted separately to **both the Planning Department and Engineering Department-Stormwater Management Officer**. **In the event a SWPPP is required, the applicant may not commence any property improvements on the site and the mylar will not be signed by the Chairman of the Planning Department until such time that the Stormwater Management Officer has reviewed and substantially approved a submitted SWPPP.**

If you have any questions as to whether a SWPPP is required regarding your land use application you may contact either Drew Dillingham, Stormwater Management Officer, at 631-727-3200 x 604 or the Planning Department at 631-727-3200 x 240.



**TOWN OF RIVERHEAD
PLANNING DEPARTMENT
200 Howell Avenue
Riverhead, New York 11901
(631) 727-3200 Ext. 240**

APPLICATION FOR SUBDIVISION

Please type or print clearly

Major

☐

Lot Line Modification

☒

Minor

☐

Conveyance of Land

☐

Unmerger

☐

Designated name of proposed development or project. (If none exists, supply applicant name here):

2023 River Road Lot Line Modification

Applicant*:

Licensed Design Professional (if applicable)

Name: Stacy Pirczynski

Name: Thomas Wolpert, PE

Address: 2023 River Road
Calverton NY 11933

Address: 400 Ostrander Ave Riverhead
NY 11901

E-Mail: stacygriffing@gmail.com

E-Mail: tcw@youngengineering.com

Phone: 631 678 8459

Phone: 631-727-2303

Owner*:

Attorney (if applicable)*:

Name: Olivia Borely Warner

Name: _____

Address: 1661 Old Country Rd, Site
534 Riverhead NY 11901

Address: _____

E-Mail: bmwroses@gmail.com

E-Mail: _____

Phone: 631 727 3897

Phone: _____

Suffolk County Tax Map Number (s): 0600- 118-04-5.7 / 5.10

Location of site: Section 118 Block 04 Lot 5.7 / 5.10

Zoning Use District: RFC Riverfront Corridor

Size of area: 218,305 (total) Square feet, 5.01 (total) Acres.

Will an approved Stormwater Pollution Prevention Plan (SWPPP) be required? NO
(current residence resides on 1.15 acres, looking to gain 3.86)

Is the subject parcel within 500 ft. of a farm operation located in an Agricultural District? NO

Stacy Pirczynski
Applicant Signature

03/21/22
Date

Stacy Pirczynski
Print Applicant name

Mrs.
Title, if Applicable

6/16/2020



All Subdivision Fees are Not Refundable

TOWN OF RIVERHEAD PLANNING BOARD

200 HOWELL AVENUE, RIVERHEAD, NEW YORK 11901-2596
(631) 727-3200, EXT. 240, FAX (631) 727-9101

Construction Activity Agreement

Job Title: _____

SCTM No: _____ Site Address: _____

I agree to comply with the following:

- I will have available on-site this agreement and related plans during the entire construction process. I will explain the requirements to all construction personnel and subcontractors. I take responsibility for full compliance with this agreement and Chapter 275 of the Town of Riverhead Code (Stormwater Management and Erosion and Sediment Control).
- No vegetation and/or trees may be cleared without first receiving a mark-out or authorization from Planning, Building and/or Engineering Inspectors. Only vegetation, topsoil, and trees specifically in the path of construction activity may be removed.
- No earth, fill or construction material shall be allowed to migrate off site from this project on the Town of Riverhead roadway and/or storm drain system or an adjacent property.
- No fill shall be brought into site without the express approval of a Building Department. Fill piles will only be allowed in a location designated on plan, or authorized by Building Inspector(s). Piles of fill shall be stabilized and/or contained with grass seed, silt fences, hay bales, or other approved methods.
- At the end of each work day the adjacent roadway and/or storm drain system shall be inspected by owner or his/her designee for soil or other matter. All construction site and adjacent roadways shall be cleared of soil and other material at the end of each day.
- All construction and demolition debris and materials, including wet concrete, shall be disposed of at an appropriate facility in accordance with Town of Riverhead and NYSDEC waste management regulations. Dumping any liquid, semi-liquid, or other materials from a construction site into storm drains, roadways, vacant property or grounds for a violation.
- Litter shall be picked up on a daily basis from site, adjacent properties and/or the road system.
- Toilet facilities shall be available to all workers on site during the construction period.
- A temporary stable construction entrance shall be constructed utilizing recycled concrete aggregate (RCA) or a similar material, unless a suitable constructed entrance already exists on the site.

6/16/2020

N/A

- All municipal or private drainage inlets adjacent to area or construction shall be protected from dirt/matter/pollutants through the use of products/sponges designed for this purpose.
- On areas of steep slopes and areas cleared of vegetation, suitable stabilization methods, as shown on approved site plans and the stormwater pollution prevention plan (SWPPP) shall be employed to prevent soil migration and stormwater runoff.
- All exposed expanses of soil shall be stabilized with annual grass seed as soon as areas will no longer be needed for construction staging, or if areas will remain undisturbed for six weeks or longer.
- Prior to tree, shrub or other plantings, soil shall be suitably tilled and prepared.

In WITNESS WHEREOF, the parties hereto have caused this Declaration to be duly executed as of the date and year first above written.

Dated: _____

Owner Signature

Dated: _____

Contractor Signature

STATE OF NEW YORK)
 :ss:
COUNTY OF SUFFOLK)

On the _____ day of _____ in the year _____, before me, the undersigned, a Notary Public in and for said State, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed this instrument.

Dated: _____

Notary Signature

STATE OF NEW YORK)
 :ss:
COUNTY OF SUFFOLK)

On the _____ day of _____ in the year _____, before me, the undersigned, a Notary Public in and for said State, personally appeared _____, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed this instrument.

Dated: _____

Notary Signature

6/16/2020



N/A

Town of Riverhead Agricultural Data Statement

When to use this form: This form must be completed by the applicant for any use variance, Special Use Permit, site plan approval, or subdivision approval on property within an Agricultural District containing a farm operation **OR** on property with boundaries within 500 ft. of a farm operation located in an Agricultural District. Applications requiring an Agricultural Data Statement require referral to the Suffolk County Planning Commission unless exempt in accordance with the inter-municipal agreement regarding zoning referrals.

- 1) Name of Applicant: _____
- 2) Address of Applicant: _____
- 3) Name of Land Owner (if other than the applicant): _____
- 4) Address of Land Owner: _____
- 5) Description of Proposed Project: _____
- 6) Location of property (street address): _____
- 7) Project site tax map number: _____
- 8) Is the project located on property within an Agricultural District containing a farm operation? ____ (yes or no)
- 9) Is the project located on property outside an Agricultural District, but with a boundary or boundaries within 500 ft. of a farm operation located in an Agricultural District? ____ (yes or no).
- 10) Tax map # and name and address of any owner(s) of parcels of land within the Agricultural District containing farm operation(s) located within 500 ft. of the boundaries of the parcel subject to the pending application.

<u>Tax Map #</u>	<u>Name & Address</u>
1.	_____
2.	_____
3.	_____
4.	_____
5.	_____
6.	_____
7.	_____

(Use the back side of the page if more than seven properties are identified.)

Tax map numbers within 500 ft. may be obtained when requested in advance from the Planning Department at 631-727-3200 x240. Information regarding property addresses and whether a property is an active farm operation is available by contacting the Assessor's office in advance at 631-727-3200 x255.

- 11) Submit a copy of the current tax map page(s) labeling the site of the proposed project and highlighting the farm operation parcels identified in item 10 above.
- 12) Submit pre-addressed legal size envelopes, pre-addressed to each of the landowners identified in item 10 above with pre-paid certified mail postage, together with pre-addressed green, return receipt cards for each mailing. The return address on the return receipt card must read "Riverhead Town Planning Department, 201 Howell Ave., Riverhead, NY 11901."

Signature of Applicant _____ Date _____

Note: 1. The Planning Department will solicit comments via mail from the owners of land identified above in order for the applicable Board to consider the effect of the proposed action on their farm operation. This will include a copy of this statement. 2. Comments returned will be taken into consideration by the applicable Board as part of the overall review of an application. 3. Failure to provide a complete Agricultural Data Statement means the application cannot be acted upon by the applicable Board.

6/16/2020

READ THIS DOCUMENT CAREFULLY. YOU MAY CONSULT YOUR ATTORNEY
BEFORE COMPLETING.

DISCLOSURE AFFIDAVIT

State of New York)

ss:

County of Suffolk)

N/A

I, _____ an applicant for the following relief:

_____ and being duly sworn, deposes and says:

That I make and complete this affidavit under the penalty of perjury and swear to the truth thereof.

That I understand that this affidavit is required by Section 809 of the GENERAL MUNICIPAL LAW and that a knowing failure to provide true information is punishable as a misdemeanor. Being so warned, I state:

That _____, is a State Officer, is an officer or employee of Riverhead Town, and

That this person has an interest in the person, partnership, or association requesting the above stated relief.

That for the purpose of this section, an officer or employee shall be deemed to have an interest in the applicant where he, his spouse, or their brothers, sisters, parents, children, grandchildren, or the spouse of any of them

- (a) is an applicant,
- (b) is an officer, director, partner or employee of the applicant,
- (c) legally or beneficially owns or controls stock of a corporate applicant or is a member of a partnership or association, applicant, or
- (d) is a party to an agreement with such an applicant, express or implied, whereby he may receive any payment or other benefit, whether or not for services rendered dependent or contingent upon the favorable approval of such application, petition, or request.

That ownership of less than five (5) percent of the stock of a corporation whose stock is listed on the New York or American Stock Exchange shall not constitute an interest for the purpose of this section.

(SIGNATURE)

Sworn to before me this _____ day

of _____, 20 ____

NOTARY PUBLIC

6/16/2020

Please note: If ownership is held jointly or in partnership, each owner and/or partner must sign a separate owner's endorsement. If the owner or owners are making the application, this endorsement is not required.

OWNER'S ENDORSEMENT

STATE OF NEW YORK)
COUNTY OF SUFFOLK) ss:

Application/Project Name: 2023 River Road Lot Line Modification

Project Address: 2023 River Road Calverton NY 11933

BEVERLY WARNER IRREVOCABLE TRUST, being duly sworn, deposes and says:

I am: (check one)

☐ a part owner in fee

☒ the sole owner in fee

☐ an officer of the corporation which is the owner in fee of the premises described in the foregoing application.

I reside at

1661 Old Country Rd Site 534
Mailing Address

Riverhead, NY 11901
Hamlet/Post Office/Village State Zip Code

I have authorized Stacy Pieczynski to make the foregoing application (described above) to the Riverhead Town Board and/or Planning Board for site plan/subdivision approval as described herein.

I hereby affirm under penalty of perjury that information provided on this application is true to the best of my knowledge and belief. False statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law. As a condition to the issuance of a permit, the applicant accepts full legal responsibility for all damage, direct or indirect, of whatever nature, and by whomever suffered, arising out of the project described herein and agrees to indemnify and save harmless the Town from suites, actions, damages and costs of every name and description resulting from the said project.

Beverly Warner
Signature

(If owner is a corporation, please indicate name of corporation and the title of the corporate officer whose signature appears above)

Sworn before me this

13 day of April, 2022

[Signature]
Notary Public

JOSEPH W. PIGNATARO
Notary Public - State of New York
No. 01PI6052357
Qualified in Nassau County
My Commission Expires Dec. 11, 2022

6/16/2020

617.20
Appendix B
Short Environmental Assessment Form

Instructions for Completing

Part 1 - Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 - Project and Sponsor Information			
Name of Action or Project: <div style="font-family: cursive; font-size: 1.2em;">Lot Line Modification</div>			
Project Location (describe, and attach a location map): <div style="font-family: cursive; font-size: 1.2em;">Section 11B Block 04 Lot 5.7/5.10 2023 River Road, Calverton, NY 11933</div>			
Brief Description of Proposed Action: <div style="font-family: cursive; font-size: 1.2em;">Enlarge current 2023 River Road Residence to obtain additional land for agricultural purposes.</div>			
Name of Applicant or Sponsor: <div style="font-family: cursive; font-size: 1.2em;">Stacy PIPCZYNSKI</div>		Telephone: <div style="font-family: cursive; font-size: 1.2em;">631-678-8459</div> E-Mail: <div style="font-family: cursive; font-size: 1.2em;">stacygrieffing@gmail.com</div>	
Address: <div style="font-family: cursive; font-size: 1.2em;">2023 River Road Calverton NY 11933</div>			
City/PO: <div style="font-family: cursive; font-size: 1.2em;">Calverton</div>		State: <div style="font-family: cursive; font-size: 1.2em;">NY</div>	Zip Code: <div style="font-family: cursive; font-size: 1.2em;">11933</div>
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation? If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.		NO <input checked="" type="checkbox"/>	YES <input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other governmental Agency? If Yes, list agency(s) name and permit or approval:		NO <input type="checkbox"/>	YES <input checked="" type="checkbox"/>
3.a. Total acreage of the site of the proposed action?		<div style="font-family: cursive; font-size: 1.2em;">3.86</div> acres	
b. Total acreage to be physically disturbed?		<div style="font-family: cursive; font-size: 1.2em;">0</div> acres	
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?		<div style="font-family: cursive; font-size: 1.2em;">1.15</div> acres	
4. Check all land uses that occur on, adjoining and near the proposed action. <div style="display: flex; flex-wrap: wrap;"> <div style="width: 50%;"><input type="checkbox"/> Urban</div> <div style="width: 50%;"><input checked="" type="checkbox"/> Rural (non-agriculture)</div> <div style="width: 50%;"><input type="checkbox"/> Industrial</div> <div style="width: 50%;"><input type="checkbox"/> Commercial</div> <div style="width: 50%;"><input type="checkbox"/> Residential (suburban)</div> <div style="width: 50%;"><input type="checkbox"/> Forest</div> <div style="width: 50%;"><input checked="" type="checkbox"/> Agriculture</div> <div style="width: 50%;"><input type="checkbox"/> Aquatic</div> <div style="width: 50%;"><input type="checkbox"/> Other (specify): _____</div> <div style="width: 50%;"><input type="checkbox"/> Parkland</div> </div>			

2022 APR 13 AM 11:05

5. Is the proposed action, a. A permitted use under the zoning regulations?	NO	YES	N/A
		✓	
b. Consistent with the adopted comprehensive plan?			✓
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
			✓
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area? If Yes, identify: _____	NO	YES	
		✓	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
		✓	
b. Are public transportation service(s) available at or near the site of the proposed action?		✓	
c. Are any pedestrian accommodations or bicycle routes available on or near site of the proposed action?		✓	
9. Does the proposed action meet or exceed the state energy code requirements? If the proposed action will exceed requirements, describe design features and technologies: . N/A - vacant lot / lot line modification	NO	YES	
			✓
10. Will the proposed action connect to an existing public/private water supply? [If Yes, does the existing system have capacity to provide service? <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing potable water: (see no. 9 above)	NO	YES	
		✓	
11. Will the proposed action connect to existing wastewater utilities? [If Yes, does the existing system have capacity to provide service? <input type="checkbox"/> NO <input type="checkbox"/> YES] If No, describe method for providing wastewater treatment: (see no. 9 above)	NO	YES	
		✓	
12. a. Does the site contain a structure that is listed on either the State or National Register of Historic Places?	NO	YES	
		✓	
b. Is the proposed action located in an archeological sensitive area?		✓	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
			✓
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody? If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____		✓	
14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional <input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban			
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?	NO	YES	
		✓	
16. Is the project site located in the 100 year flood plain?	NO	YES	
			✓
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, a. Will storm water discharges flow to adjacent properties? <input type="checkbox"/> NO <input type="checkbox"/> YES b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? If Yes, briefly describe: _____ _____	NO	YES	
		✓	

18. Does the proposed action include construction or other activities that result in the impoundment of water or other liquids (e.g. retention pond, waste lagoon, dam)? If Yes, explain purpose and size: _____	NO	YES
_____	✓	
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: _____	NO	YES
_____	✓	
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: _____	NO	YES
_____	✓	
I AFFIRM THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE Applicant/sponsor name: <u>Stacy Przczynski</u> Date: <u>3/21/22</u> Signature: <u>[Signature]</u>		

Part 2 - Impact Assessment. The Lead Agency is responsible for the completion of Part 2. Answer all of the following questions in Part 2 using the information contained in Part 1 and other materials submitted by the project sponsor or otherwise available to the reviewer. When answering the questions the reviewer should be guided by the concept "Have my responses been reasonable considering the scale and context of the proposed action?"

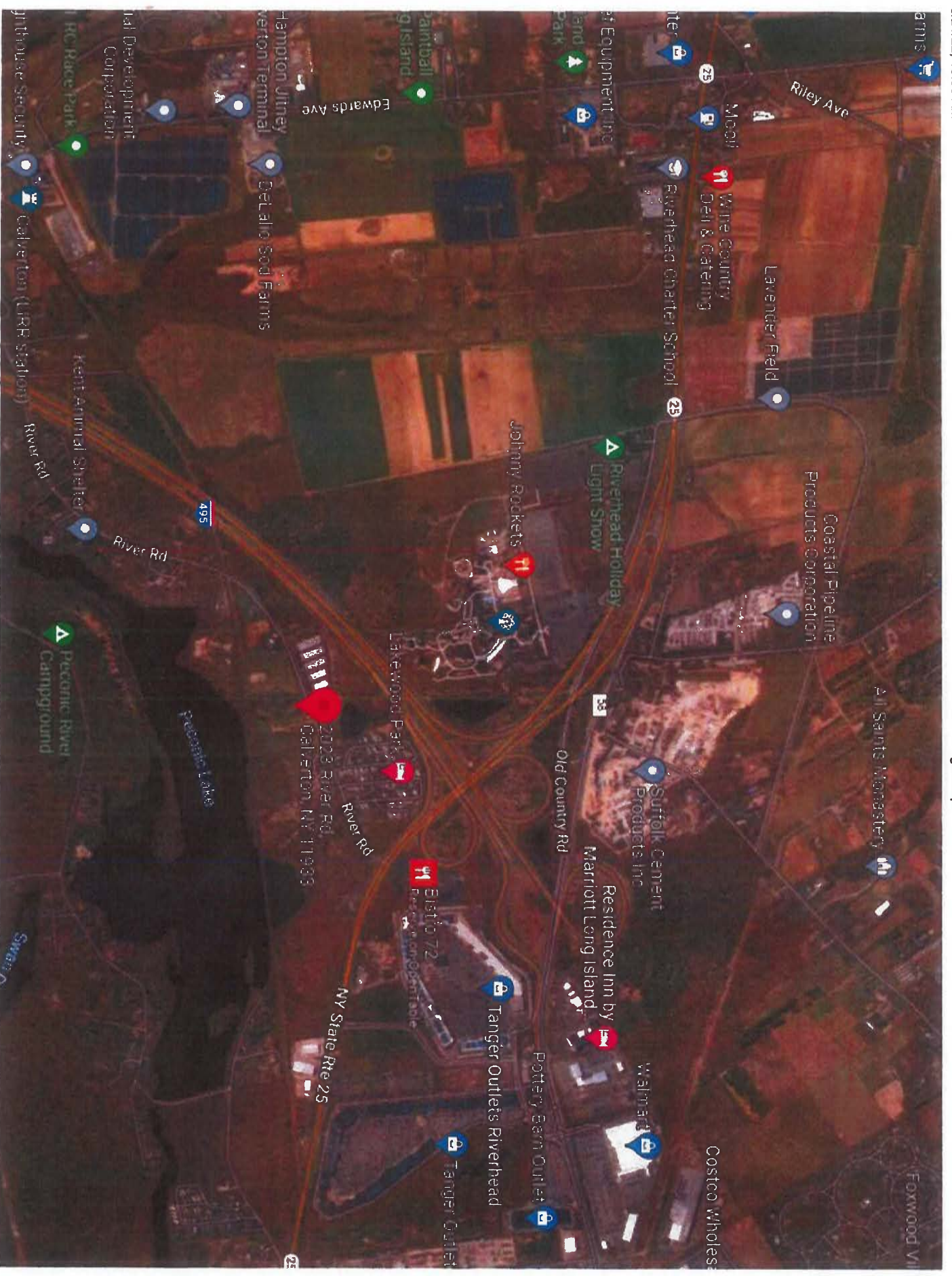
	No, or small impact may occur	Moderate to large impact may occur
1. Will the proposed action create a material conflict with an adopted land use plan or zoning regulations?	✓	
2. Will the proposed action result in a change in the use or intensity of use of land?	✓	
3. Will the proposed action impair the character or quality of the existing community?	✓	
4. Will the proposed action have an impact on the environmental characteristics that caused the establishment of a Critical Environmental Area (CEA)?	✓	
5. Will the proposed action result in an adverse change in the existing level of traffic or affect existing infrastructure for mass transit, biking or walkway?	✓	
6. Will the proposed action cause an increase in the use of energy and it fails to incorporate reasonably available energy conservation or renewable energy opportunities?	✓	
7. Will the proposed action impact existing:	✓	
a. public / private water supplies?	✓	
b. public / private wastewater treatment utilities?	✓	
8. Will the proposed action impair the character or quality of important historic, archaeological, architectural or aesthetic resources?	✓	
9. Will the proposed action result in an adverse change to natural resources (e.g., wetlands, waterbodies, groundwater, air quality, flora and fauna)?	✓	

	No, or small impact may occur	Moderate to large impact may occur
10. Will the proposed action result in an increase in the potential for erosion, flooding or drainage problems?	✓	
11. Will the proposed action create a hazard to environmental resources or human health?	✓	

Part 3 - Determination of significance. The Lead Agency is responsible for the completion of Part 3. For every question in Part 2 that was answered "moderate to large impact may occur", or if there is a need to explain why a particular element of the proposed action may or will not result in a significant adverse environmental impact, please complete Part 3. Part 3 should, in sufficient detail, identify the impact, including any measures or design elements that have been included by the project sponsor to avoid or reduce impacts. Part 3 should also explain how the lead agency determined that the impact may or will not be significant. Each potential impact should be assessed considering its setting, probability of occurring, duration, irreversibility, geographic scope and magnitude. Also consider the potential for short-term, long-term and cumulative impacts.

<input type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action may result in one or more potentially large or significant adverse impacts and an environmental impact statement is required.	
<input checked="" type="checkbox"/> Check this box if you have determined, based on the information and analysis above, and any supporting documentation, that the proposed action will not result in any significant adverse environmental impacts.	
Name of Lead Agency <u>Stacy Pirczynski</u>	Date <u>3/21/22</u>
Print or Type Name of Responsible Officer in Lead Agency <u>[Signature]</u>	Title of Responsible Officer <u>MRS.</u>
Signature of Responsible Officer in Lead Agency	Signature of Preparer (if different from Responsible Officer)





Item 3e:

**Eastport South Manor CSD
draft resolution and proposal materials**



Draft Resolution on the Projects in Eastport South Manor
Central School District
Commission Meeting of May 18, 2022
Riverhead Town Hall
200 Howell Avenue
Riverhead, NY

Members Present: _

Properties located in Manorville in the Town of Brookhaven
Dayton Avenue Elementary School, 151 Dayton Avenue, Manorville
SCTM #s 200-589-3-13.7 and 13.8 and
High School, 543 Moriches Middle Island Road, Manorville,
SCTM #s 200-589-4-1 and 200-676-1-7.7

Yvette Aguiar
Member

Steven Bellone
Member

Edward P. Romaine
Member

Jay H. Schneiderman
Member

Whereas, on May 3, 2022, Tim Laube, Assistant Superintendent for Business and Operations, (the Applicant) on behalf of Eastport South Manor School District (the District) filed a request for a determination of jurisdiction for development activities at the District's Elementary School and High School (the Project Sites), and

Whereas, the Applicant submitted a letter, plans and photosimulations to describe the four main activities in the Project including 1) replacement of natural sports fields to synthetic, 2) construction of a 7,000 square foot addition to the High School, 3) construction of a 120 foot tall cell tower, and 4) construction of solar carports, and on May 10, the applicant submitted photographs of each area, and

Whereas, the first activity is the replacement of existing mowed and maintained grass ballfields to synthetic turf fields including one at the Elementary School and two at the High School, depicted in the plan for athletic fields prepared by RDA Landscape Architecture stamped received on May 3, 2022. The purpose of this activity is to reduce the District's water consumption by nine million gallons of water per year, and

Whereas, the second activity is the construction of a 7,000 square foot addition on the High School in an open area on the north side of the building, depicted in the plan prepared by H2M stamped received on May 3, 2022, and

Whereas, the third activity is the construction of a 120 foot tall cell tower with 50 foot x 50' pad at the High School, depicted in the plan prepared by Azimuth dated March 7, 2022, stamped received on May 3, 2022, and a photosimulation stamped received May 3, 2022, and

Whereas, the fourth activity is the construction of solar carports in the parking lots at the Elementary and High Schools, depicted in the two aerial photographs stamped received on May 3, 2022, and

624 Old Riverhead Road
Westhampton Beach, NY
11978

Phone (631) 288-1079
Fax (631) 288-1367
<https://pb.state.ny.us/>

Whereas, the Applicant's letter states, "no wooded areas will be affected by any of the planned projects," therefore, the proposed activities involve no disturbance or removal of existing natural vegetation, and

Whereas, requests for determination of jurisdiction are made by reviewing the definitions pursuant to New York State Environmental Conservation Law Article 57 (the Long Island Pine Barrens Protection Act of 1993, the Act) and the Central Pine Barrens Comprehensive Land Use Plan (the Plan), and

Whereas, at its May 18, 2022 meeting, the Commission determined whether the proposed activities constitute development or "non-development" pursuant to the definitions in Section 57-0107 of the Act, and

Whereas, the District is expected to assume Lead Agency pursuant to the State Environmental Quality Review Act (SEQRA) and will implement SEQRA as required, and

Whereas, the Commission has considered all relevant materials on file regarding the Project.

Now be it further

Resolved, the two activities involving the addition to the High School and the construction of the cell tower constitute development, and be it further

Resolved, development activities in the Compatible Growth Area, pursuant to Section 57-0123.3(a) of the Act and the Central Pine Barrens Comprehensive Land Use Plan (the Plan) must conform with the Plan specifically the Standards and Guidelines for Land Use outlined in Chapter 5 of the Plan, and be it further

Resolved, the two activities involving the redevelopment of sports fields from mowed and maintained grass to synthetic turf and the construction of solar carports on existing parking lots do not constitute development, and be it further

Resolved, the Project Sites are zoned A Residence 2 where the Plan's Vegetation Clearance Limit Standard permits a maximum of 35% of the site's natural vegetation to be cleared, and the Project Sites are presently over-cleared, therefore no additional clearing of natural vegetation for development activity is permitted and no additional clearing of vegetation in accordance with this Standard, is proposed and none will occur on the Project Sites, and be it further

Resolved, the Project's development activities must conform with the Comprehensive Land Use Plan standards and guidelines for land use, and be it further

Resolved, the Commission reviewed the development activities in the Project in accordance with the Plan and concludes that conformance is demonstrated, and a hardship waiver application is not required, and be it further

Resolved, the Project's "non-development" activities require no further review, and be it further

Resolved, a preliminary review of the SEQRA criteria for determining significance indicate the Project will not have a significant environmental impact, and be it further

Resolved, the Project must conform with other local, Suffolk County and New York State regulations and permits, and be it further

Resolved, this determination shall expire five (5) years from the date of this Resolution, and be it further

Resolved, any changes of the Project, as approved, must be reviewed and approved by the Commission.

Record of Motion

Motion by:

Yes:

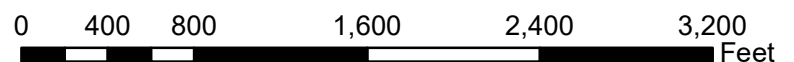
Seconded by:

No:

Abstain:

Absent:

Eastport South Manor Central School District Proposals
Dayton Avenue SCTM #s 200-589-3-13.7 and 13.8
High School SCTM #s 200-589-4-1 and 200-676-1-7.7
Compatible Growth Area

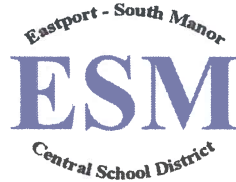


2020 aerial
draft for reference only

Eastport-South Manor Central School District

149 Dayton Avenue • Manorville, New York 11949 • (631) 801-3000 • Fax (631) 874-6750 • www.esmonline.org

JOSEPH A. STEIMEL
Superintendent of Schools



TIM LAUBE
Assistant Superintendent for Business & Operations
(631) 801-3001; Fax: (631) 874-6743

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MAY 3 2022

Central Pine Barrens Joint
Planning & Policy Commission

Ladies and Gentlemen of the Central Pine Barrens Commission,

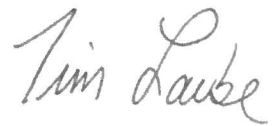
Please accept this letter outlining the scope of the sitework at the Eastport-South Manor capital project, energy performance contract and proposed communications tower at its High School located at 543 Moriches Middle Island Road in Manorville, New York. In addition, the District is planning on sitework to be completed at the Dayton Avenue Elementary School located at 151 Dayton Avenue, Manorville, New York.

Capital Project

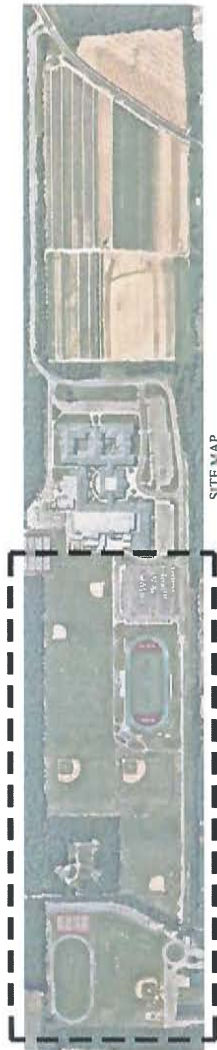
- The District is planning on installing two multipurpose synthetic turf athletic fields at the High School as well as a synthetic turf baseball field and softball field. The two multipurpose fields will also include a small A-frame style bleacher section located between the fields. The turf baseball and softball field will include bleacher seating around the home plate of each field as well. The two synthetic all-purpose turf fields will be constructed to the east the existing all-purpose synthetic turf field and the synthetic turf baseball field and softball field will be constructed to the north of the existing all-purpose synthetic turf field. The construction is planned for Summer and Fall of 2023
- The District is planning on building a 7,000-square foot addition to the Jr-Sr High School. This addition will be constructed on an open area on the north side of the building. Construction is planned for the Summer of 2024
- The District is planning on constructing a multipurpose synthetic turf athletic field at the Dayton Avenue Elementary School. The field will be located to the east of the existing elementary school building. Construction is planned for the Summer of 2024
- The District estimates these turf fields will reduce the District's water consumption by nine million gallons of water a year. Additionally, no existing wooded areas will be affected by any of the above listed planned projects
- The District is planning on constructing solar car ports in its parking lots at the Jr-Sr High School and the Dayton Avenue Elementary School. The car ports at the Jr-Sr will be in the main parking lots to the west of the building. The car ports at the Dayton Avenue Elementary School will be located to the east of the building. Construction is schedule to begin in the Spring of 2023
- The District is planning on constructing a cell phone tower in the fall of 2022. The tower would be located just outside of the centerfield fence on the new varsity turf baseball field and would occupy a 50x50 pad

Together We Build Excellence

Best regards,

A handwritten signature in cursive script that reads "Tim Laube". The ink is dark and the signature is fluid, with a large initial 'T' and a stylized 'L'.

Tim Laube
Assistant Superintendent for Business and Operations
Eastport-South Manor School District
149 Dayton Avenue
Manorville, NY 11949
631-801-3001



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Central Pine Barrens Joint
Planning & Policy Commission



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Planning & Policy Commission



Site: ESM School District
543 Moriches Middle Island Road
Manorville, NY 11949

PHOTO SIMULATION

Date: 12/06/2021

1

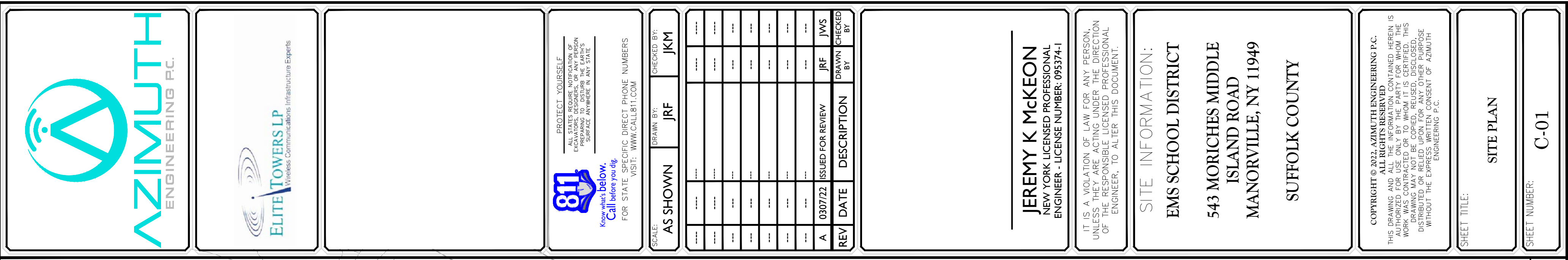


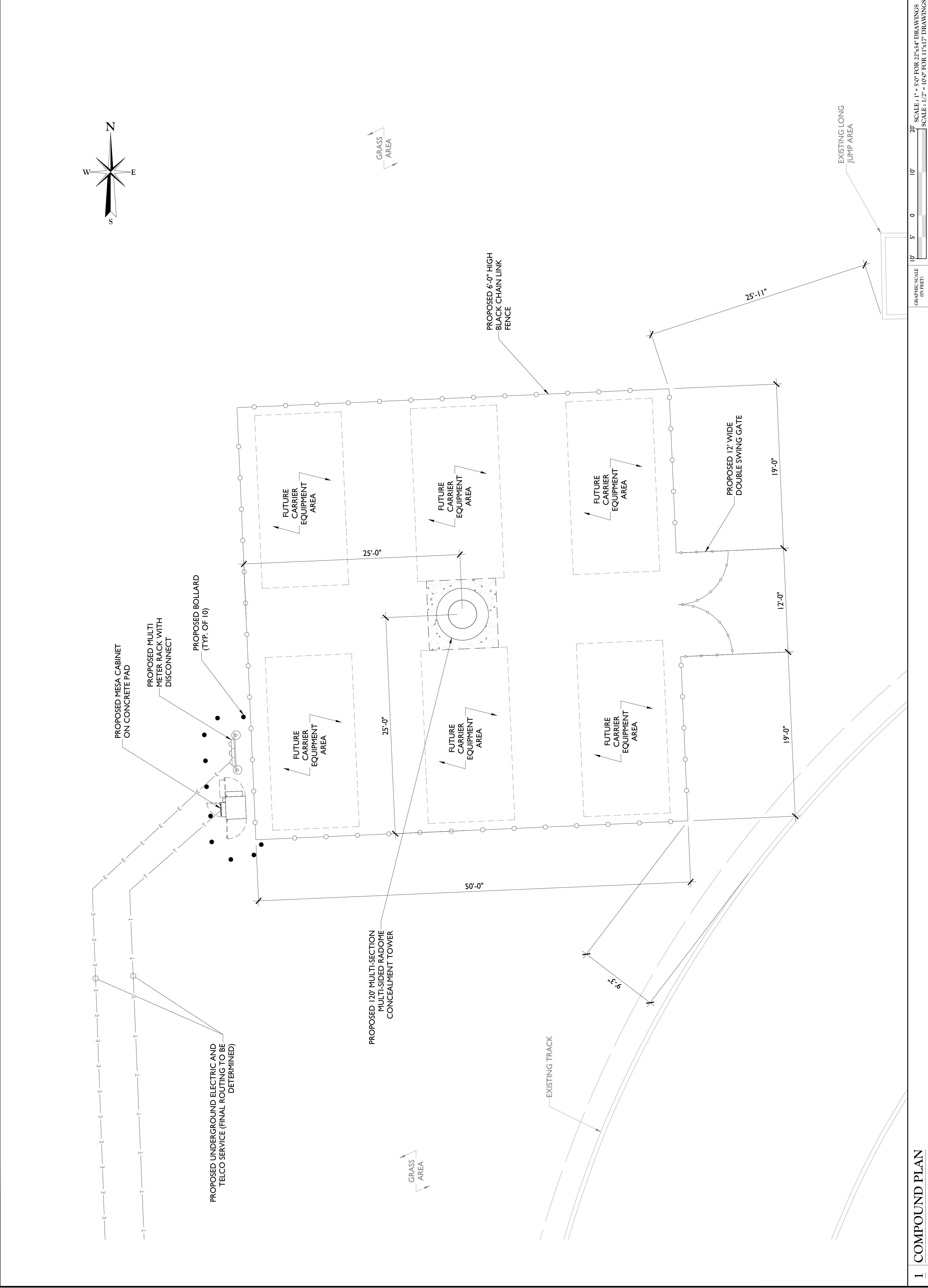
Site: ESM School District
543 Moriches Middle Island Road
Manorville, NY 11949

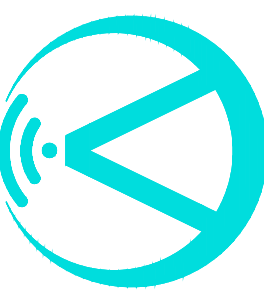
PHOTO SIMULATION

Date: 12/06/2021


2








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CHECKED BY: JKM

REV	DATE	DESCRIPTION	ISSUED FOR REVIEW	DATE	BY	DATE	BY
A	03/07/22	ISSUED FOR REVIEW	JRE	JWS			

JEREMY K McKEON
NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER 093741-1

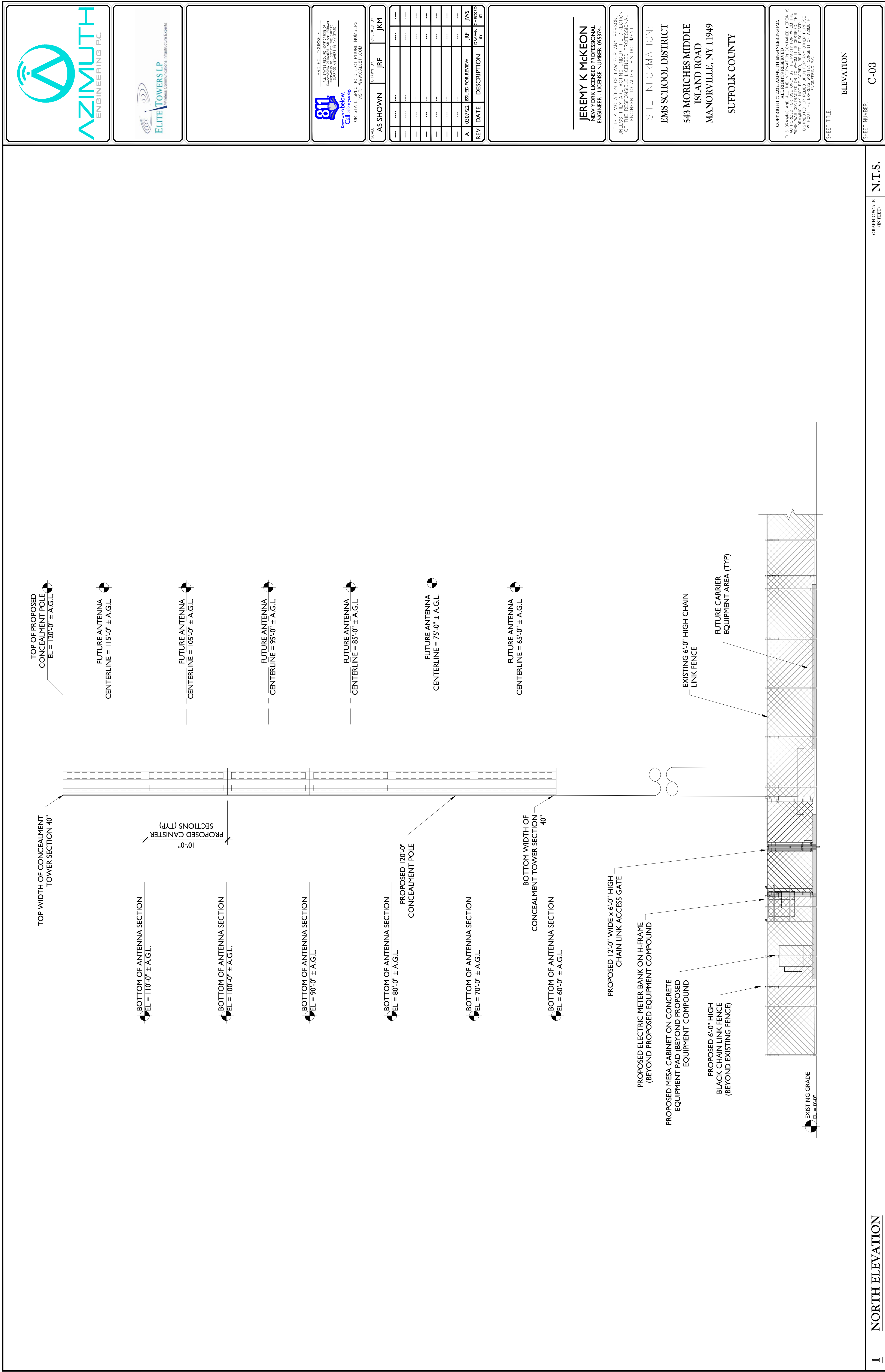
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SITE INFORMATION:
EMS SCHOOL DISTRICT
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SHEET TITLE:
COMPOUND PLAN

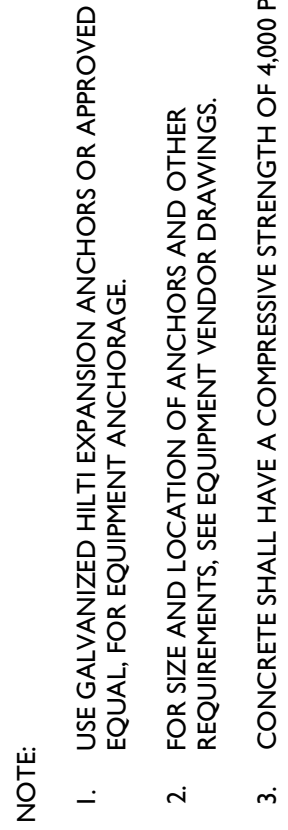
SHEET NUMBER:
C-02





1. GATE POST, CORNER, TERMINAL OR PULL POST 2 1/2"Ø SCHEDULE 40 FOR GATE WIDTHS UP THROUGH 4 FEET PER ASTM-F 1083.
2. LINE POST: 2"Ø SCHEDULE 40 PIPE PER ASTM-F 1083.
3. GATE FRAME: 1 1/2"Ø SCHEDULE 40 PER ASTM-F 1083.
4. TOP RAIL & BRACE RAIL: 1 1/2"Ø SCHEDULE 40 PER ASTM-F 1083
5. FABRIC": 12-GAUGE CORE WIRE SIZE 2-INCH MESH, CONFORMING TO ASTM-A392
6. TIE WIRE: MINIMUM 11-GAUGE GALV. STEEL AT POSTS AND RAILS A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOC WITH FABRIC 14-GAUGE, 4-POINT BARBS SPACED ON APPROXIMATELY 5 INCH CENTERS (BLACK)
7. TENSION WIRE: 7-GAUGE GALV. STEEL.
8. GATE LATCH: DROP DOWN LOCKABLE FORK LATCH AND LOCK, KEYED ALIKE FOR ALL SITES IN A GIVEN MTA
9. HEIGHT = 6FT VERTICAL
10. ALL FENCE COMPONENTS SHALL BE BLACK VINYL COATED INCLUDING CHAIN LINK FENCING.

N.T.S.



CONCRETE PAD			τ (THICKNESS)
	A	B	
MESA CABINET	4'	3'	6"
FIRE DISTRICT CABINET	4'	6'	6"

[illegible]

SCALE: AS SHOWN	DRAWN BY: IRE	CHECKED BY: IKM
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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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A	0307/22	ISSUED FOR REVIEW	JRF	JWS

JEREMY K McKEON
NEW YORK LICENSED PROFESSIONAL
ENGINEER - LICENSE NUMBER: 095374-I

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OF THE RESPONSIBLE LICENSED PROFESSIONAL
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SHEET TITLE:

CONSTRUCTION DETAILS I

GRAPHIC SCALE (IN FEET)	N.T.S.
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CONCRETE EQUIPMENT PAD DETAIL

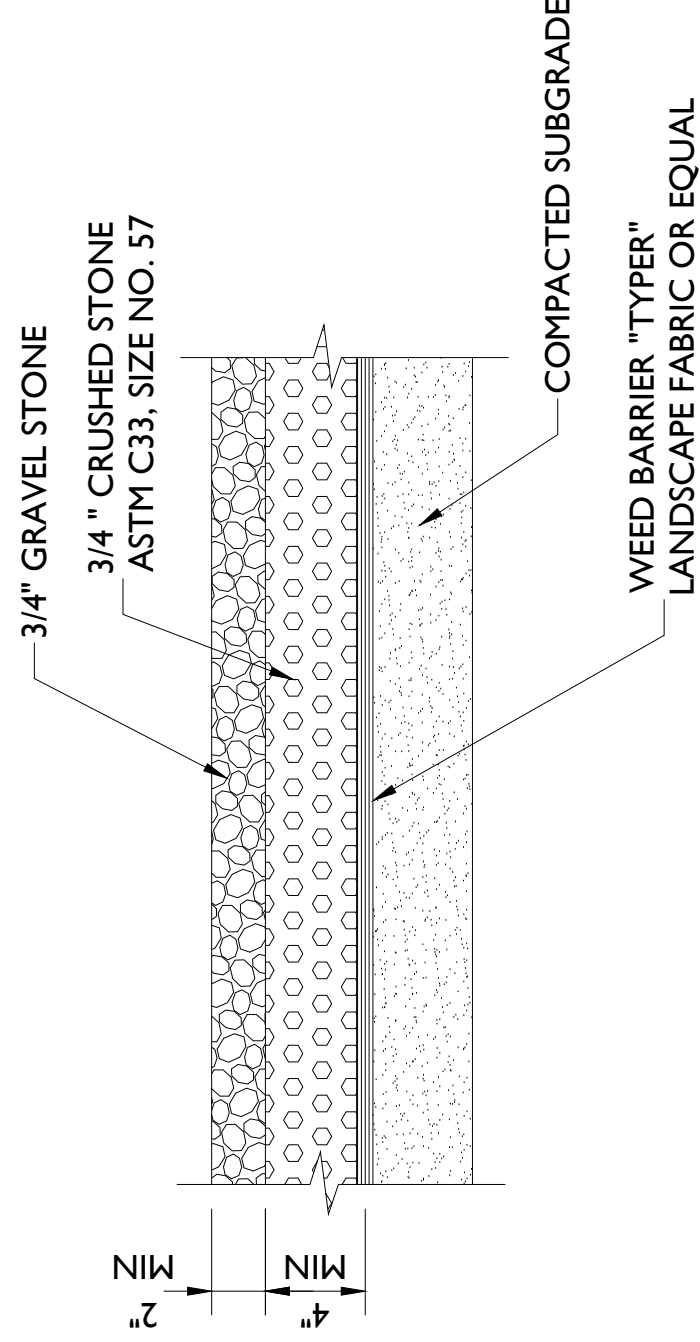
N.T.S.

MESA CABINET DETAIL

N.T.S.

K MOUNTING DETAIL

MULTI POWER METER B

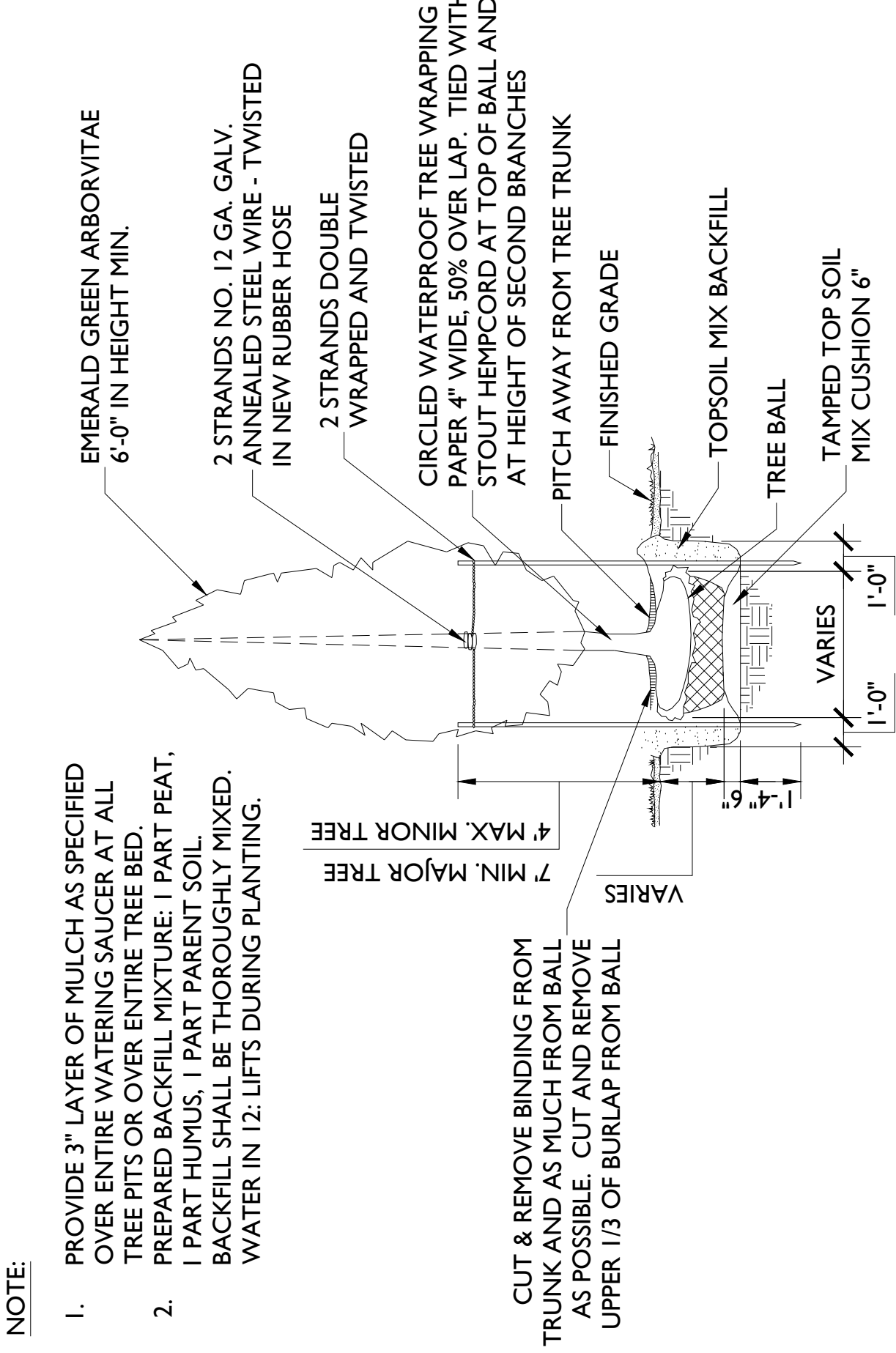
<div><div>1</div><div>GRAVEL COMPOUND DETAIL</div></div>	<div>GRAPHIC SCALE (IN FEET)</div>	<div>N.T.S.</div>	<div><div></div></div>	<div>5</div>	<div>NOT USED</div>

2

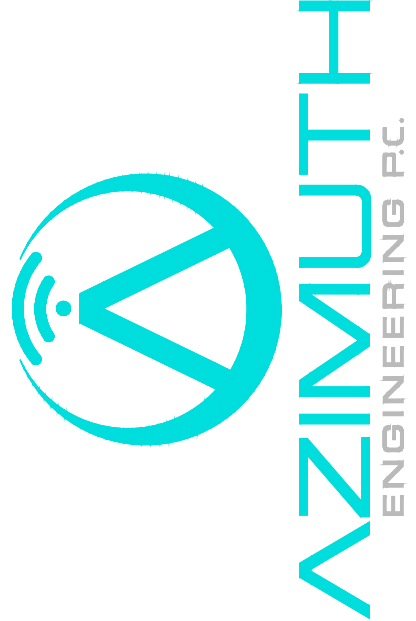


TREE PLANTING DETAILS

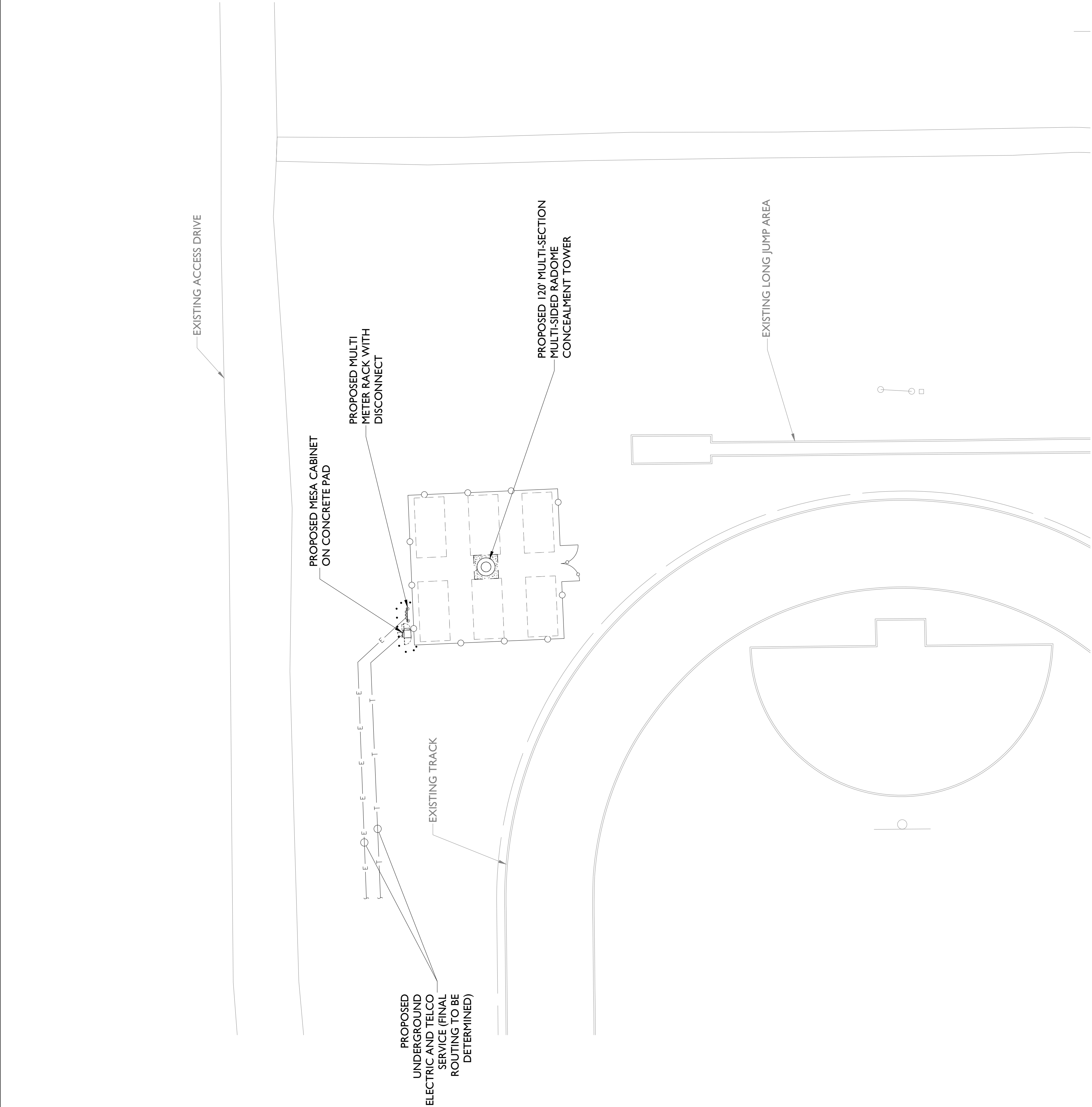
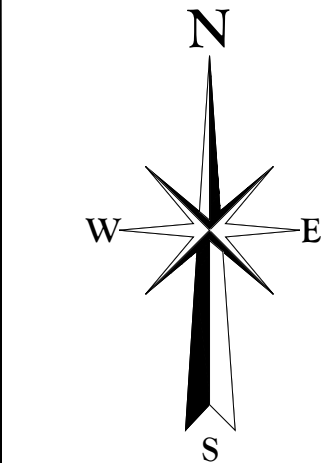
GRAPHIC SCALE
(IN FEET)


N.T.S.




<div><div>3</div><div>BOLLARD DETAIL</div></div>	<div>GRAPHIC SCALE (IN FEET)</div>
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<div></div>	<div></div>	<div></div> <div>PROTECT YOURSELF CALL BEFORE YOU DIG FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM</div>	<div>SCALE: AS SHOWN</div> <div>DRAWN BY: JRF</div> <div>CHECKED BY: JKM</div>	<div>REV</div> <div>DATE</div> <div>DESCRIPTION</div> <div>ISSUED FOR REVIEW</div> <div>DATE</div> <div>DESIGNED BY</div> <div>DATE</div> <div>DESIGNED BY</div>	<div>JEREMY K McKEON</div> <div>NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER 093374-1</div>	<div>THIS DRAWING IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION. THE ENGINEER'S RESPONSIBILITY IS TO PROVIDE A PRELIMINARY DESIGN. THE ENGINEER'S RESPONSIBILITY IS TO PROVIDE A PRELIMINARY DESIGN. THE ENGINEER'S RESPONSIBILITY IS TO PROVIDE A PRELIMINARY DESIGN.</div>	<div>SITE INFORMATION:</div> <div>EMS SCHOOL DISTRICT</div> <div>543 MORICHES MIDDLE ISLAND ROAD</div> <div>MANORVILLE, NY 11949</div> <div>SUFFOLK COUNTY</div>	<div>COPYRIGHT © 2022 AZIMUTH ENGINEERING P.C.</div> <div>THIS DRAWING AND ALL THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF AZIMUTH ENGINEERING P.C. IT IS NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF AZIMUTH ENGINEERING P.C.</div>	<div>SHEET TITLE:</div> <div>CONSTRUCTION DETAILS II</div>	<div>SHEET NUMBER:</div> <div>C-05</div>
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JEREMY K McKEON
NEW YORK LICENSED PROFESSIONAL ENGINEER - LICENSE NUMBER 09374-1

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543 MORICHES MIDDLE ISLAND ROAD

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SHEET TITLE:

ELECTRICAL PLAN

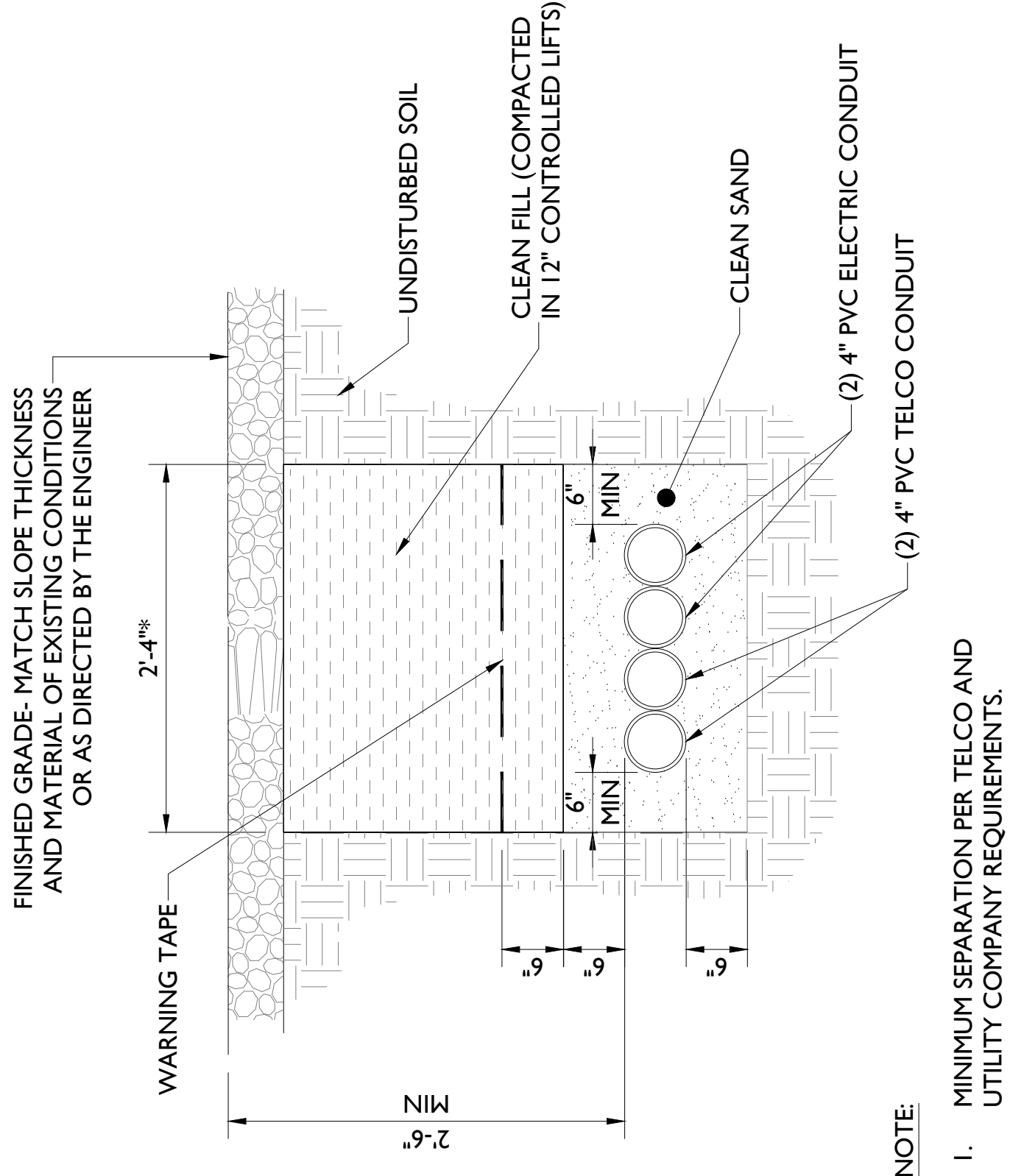
SHEET NUMBER:

E-01

ELECTRICAL SPECIFICATION:

1. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, STORAGE AND ALL SERVICES REQUIRED AND NECESSARY TO PROVIDE A COMPLETE FUNCTIONAL ELECTRICAL SYSTEM. THE CONTRACTOR SHALL FURNISH AND INSTALL ALL OF THE MATERIAL AND WORK SHOWN ON THE DRAWINGS AND IN THE SPECIFICATIONS AND AS NECESSARY AND REQUIRED BY PRACTICED INDUSTRY STANDARD IN ORDER TO PROVIDE A COMPLETE INDUSTRY FUNCTIONAL OPERATING PROJECT.
2. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS (INCLUDING AMENDMENTS) OF ALL LOCAL BUILDING AND ELECTRICAL CODES, NFPA NO. 99 AND 101, AND SHALL MEET ALL PERTINENT REQUIREMENTS OF OSHA, THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE AND THE NATIONAL BOARD OF FIRE UNDERWRITERS AND ANY OTHER LOCAL LAWS AND CODES HAVING JURISDICTION. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS FOR THIS WORK AND ARRANGE FOR INSPECTIONS AND LISTS. HE SHALL PROVIDE A COMPLETED FINAL CERTIFICATE OF APPROVAL. THE CONTRACTOR SHALL PAY FOR ALL PERMITS, INSPECTION AND CHARGES IMPOSED ON THE UTILITY FOR SERVICE CONNECTIONS.
3. ALL ELECTRICAL WORK SHALL BE PERFORMED BY A LICENSED ELECTRICAL CONTRACTOR AND SHALL BE IN ACCORDANCE WITH THE SPECIFICATION AND THE DRAWINGS. THE DRAWINGS ARE TO BE CONSIDERED SCHEMATIC IN NATURE AND ONLY INDICATE THE GENERAL ARRANGEMENT AND APPROXIMATE LOCATIONS OF THE EQUIPMENT AND WORK TO BE INCLUDED. THE CONTRACTOR SHALL CONSULT DRAWINGS FOR EXACT LOCATIONS OF ALL EQUIPMENT, WALLS, OPENING, ETC....
4. ALL MATERIALS AND EQUIPMENT INSTALLED BY THE CONTRACTOR SHALL BE NEW AND OF THE BEST QUALITY AVAILABLE, AND SHALL BEAR UNDERWRITER'S LABORATORY LABEL WHEREVER SUCH LISTING APPLIES.
5. BEFORE SUBMITTING PROPOSAL, CONTRACTOR EXAMINE ALL PLANS RELATING TO THIS WORK, BECOME FULLY INFORMED AS TO THE EXTENT OF WORK AND CHARACTER OF THE WORK REQUIRED AND IT'S RELATION TO WORK ON OTHER TRADES. ALL EXISTING WORK, EQUIPMENT LOCATIONS, ETC INDICATED ON THE PLANS ARE BELIEVED TO BE CORRECT, HOWEVER, THE CONTRACTOR SHALL PERSONALLY VISIT THE SITE TO VERIFY CORRECTNESS OF THE SAME AND MODIFY THE WORK AS REQUIRED TO SUIT ACTUAL CONDITIONS. HE SHALL THOROUGHLY ACQUANT HIMSELF WITH ANY AND ALL CONDITIONS THAT MAY AFFECT THE PROPER EXECUTION OF THE WORK. FAILURE TO VISIT THE SITE WILL NOT RELIEVE HIM OF THE RESPONSIBILITY FOR HAVING DONE SO.
6. ANY WORK WHICH WILL NOT BE PERMITTED DURING NORMAL WORKING HOURS DUE TO SCHEDULING, DISRUPTION OF BUILDING OCCUPANCY AND USE AND INTER-RADIO DESIGNATION(OPTION OF SERVICE SHALL BE PERFORMED ON OVERTIME AT NO ADDITIONAL COST TO THE CLIENT NAME) (OWNER). ALL WORKING SCHEDULES INCLUDING SERVICE DISCONNECTION SHALL BE DISCUSSED AND COORDINATED WITH THE PROJECT REPRESENTATIVE OF THE OWNER.
7. INCLUDE THE COSTS OF ALL SMALL DETAILS AND INCIDENTAL WORK NOT SHOWN OR SPECIFIED, BUT CAN BE REASONABLY INFERRED AS REQUIRED FOR COMPLETE AND SATISFACTORY SYSTEM.

ELECTRICAL NOTES



8. PROVIDE ALL CUTTING, PATCHING, TRENCHING, EXCAVATION AND BACKFILLING REQUIRED FOR INSTALLATION OF THE ELECTRICAL WORK. RESTORE AND MATCH EXISTING FINISH GRADE, ETC. AFFECTED BY ELECTRICAL WORK.
9. THE OWNER RESERVES THE RIGHT TO RELOCATE, PRIOR TO INSTALLATION, ALL EQUIPMENT, LIGHTING FIXTURES AND JUNCTION BOXES TO A MAXIMUM DISTANCE OF 10 FEET IN ANY DIRECTION FROM THE LOCATION INDICATED ON THE DRAWINGS, WITH NO ADDITIONAL COST TO THE OWNER.
10. ALL GROUNDING SHALL CONFORM TO ARTICLE 250 OF THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE , INCLUDING FULL COMPLIANCE WITH ALL UL AND IEEE REQUIREMENTS. GENERALLY, CONNECT TOGETHER ALL EXPOSED NON-CURRENT CARRYING METALS PARTS OF ALL ELECTRICAL EQUIPMENT AND SYSTEM GROUNDING.
11. UPON COMPLETION OF THE CONTRACT WOK, THE CONTRACTOR SHALL INSURE THAT THE INSTALLATION SHALL BE ENTIRELY FREE OF ALL UNWANTED GROUNDS AND SHORT-CIRCUITS. ALL WIRING SHALL BE TESTED BY THE CONTRACTOR, WITNESSED AND APPROVED BY THE OWNER'S CONSTRUCTION REPRESENTATIVE. CONTRACTOR SHALL SUBMIT CERTIFICATION OF COMPLETION STATING THAT THE JOB IS PERFORMED IN COMPLIANCE WITH CODES AND ALSO SUBMIT AS-BUILT DRAWINGS TO THE OWNER. DRAWINGS SHALL BE SCALED AND DIMENSIONED (1/4"=1'-0").
12. ALL EQUIPMENT AND DEVICES SHALL BE INSTALLED SO THAT ADEQUATE SPACE IS PROVIDED FOR INSPECTION, OPERATION AND MAINTENANCE.
13. THE CONTRACTOR SHALL PROVIDE AND LATER REMOVE ALL NECESSARY TEMPORARY LIGHTING AND POWER FOR THE USE BY THE VARIOUS TRADES AT NO ADDITIONAL COST TO THE OWNER.
14. THE CONDUIT RUNS ON THE DRAWING SHOWN DIAGRAMMATICALLY AND ONLY INDICATE THE GENERAL DIRECTION OF THE RUNS. THE UNDERGROUND PORTION OF THE CONDUIT SHALL BE PVC SCHEDULE 80 TYPE, UNLESS OTHERWISE NOTED. CONDUITS ABOVE GROUND SHALL BE RIGID GALVANIZED STEEL, UNLESS OTHERWISE NOTED. SIZED AS SHOWN ON THE DRAWINGS.
15. ACTUAL INSTALLATION OF CONDUITS IN THE FIELD SHALL BE KEPT CLEAR OF ALL PIPING AND EQUIPMENT, BENDS, TURNS AND PULL BOXES SHALL BE PROVIDED AS REQUIRED IN ACCORDANCE WITH FIELD CONDITIONS. CONDUIT SUPPORTS AND MOUNTING HARDWARE SHALL BE NON-RUSTING, CORROSION RESISTANT MATERIALS AND CONSTRUCTION. CONTRACTOR SHALL AVOID USE OF DISSIMILAR METALS FOR CONDUIT RUNS AND BOX CONNECTIONS TO MINIMIZE POSSIBILITY OF ELECTROLYSIS AND CORROSION. WHERE DISSIMILAR METALS MUST COME IN CONTACT, COAT CONTACT SURFACES WITH CORROSION INHIBITING COMPOUND BEFORE ASSEMBLING. CORROSION INHIBITING COMPOUND SHALL BE ELECTRICALLY CONDUCTING. CONTRACTOR SHALL PROVIDE SUITABLE SIZED GROUNDING CONDUCTORS AND CONNECT FOR THE LATEST EDITION OF THE NEC. REQUIREMENTS IN ALL CONDUIT RUNS. ALL CONDUITS SHALL CONTAIN A SEPARATE COPPER, GREEN INSULATED GROUND WIRE OR AS REQUIRED BY THE LATEST EDITION OF THE NEC. THERE SHALL BE NO EXCEPTIONS TO THIS RULE.

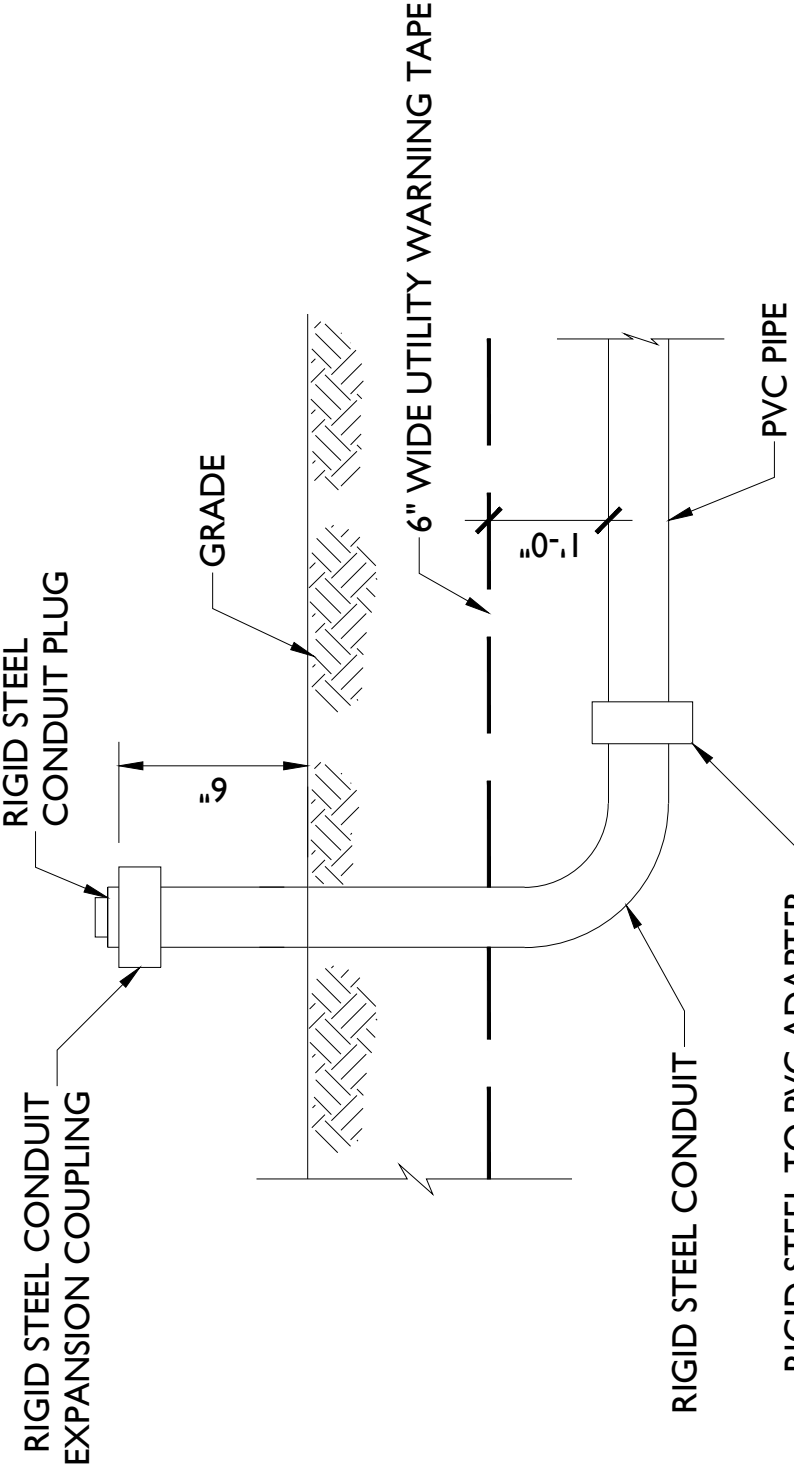
16. PROVIDE UNDERGROUND PLASTIC WARNING TAPE 6-INCH WIDTH WITH PERMANENT PRINTED LABEL "WARNING-BURIED ELECTRIC LINES" 12" ABOVE ALL UNDERGROUND ELECTRIC/TELEPHONE CONDUITS. THIS NOTE SHALL ALSO APPLY TO ALL TELEPHONE UNDERGROUND INSTALLATIONS, "WARNING-BURIED TELEPHONE LINES".
17. ALL ELECTRICAL WIRES AND CABLES SHALL CONTAIN COPPER CONDUCTORS ONLY. CONDUCTORS LARGER THAN NO. 10 AWG SHALL BE STRANDED UNLESS OTHERWISE NOTED. NO. 10 AWG AND NO. 12 AWG CONDUCTORS MAY BE SOLID OR STRANDED. MINIMUM CONDUCTOR SIZE SHALL BE NO. 12 AWG UNLESS OTHERWISE NOTED. INSTALLATION OF ALUMINUM CONDUCTORS IS EXPRESSLY FORBIDDEN.
18. BUILDING WIRE INSTALLATION SHALL BE RATED 600VAC 75°C TYPE THHN/THWN ABOVE GROUND IN DRY AND DAMP LOCATION. IN UNDERGROUND AND WET LOCATION SHALL BE 90°C TYPE XHHW-2 INSULATION.

ALL CONDUITS SHALL BE COLOR CODED AS FOLLOW:

NEUTRAL CONDUCTOR WHITE
GROUND CONDUCTOR GREEN/BARE/UNLESS OTHERWISE NOTED

SYSTEM VOLTAGE PHASE
240 VOLTS AND BELOW CONDUCTORS
 BLACK RED
 BLUE
19. ALL CIRCUIT SHOWN ON THE PLANS ARE FOR INDICATION PURPOSES ONLY. E.C. SHALL ARRANGE ALL THE CIRCUITS OF THE PANEL SO AS TO BALANCE ALL LOADS ON ALL PHASES. A TYPE DIRECTORY CARD SHALL BE PROVIDED IN THE PANEL TO INDICATE THE LOADS ACTUALLY INSTALLED.
20. PROVIDE SCREW MOUNTED NAMEPLATES ON PPC MINI. METER PAN. MAIN DISCONNECT SWITCH AND EQUIPMENT CABINETS. NAMEPLATES SHALL BE 1/2" HIGH ENGRAVED BLOCK WHITE LETTERS ON BLACK BACKGROUND. THREE LAYERS LAMINATED PLASTIC.

TYPICAL UNDERGROUND CONDUIT STUB-UP



SOURCE TO DEMARC TRENCHING DETAIL

N.T.S.

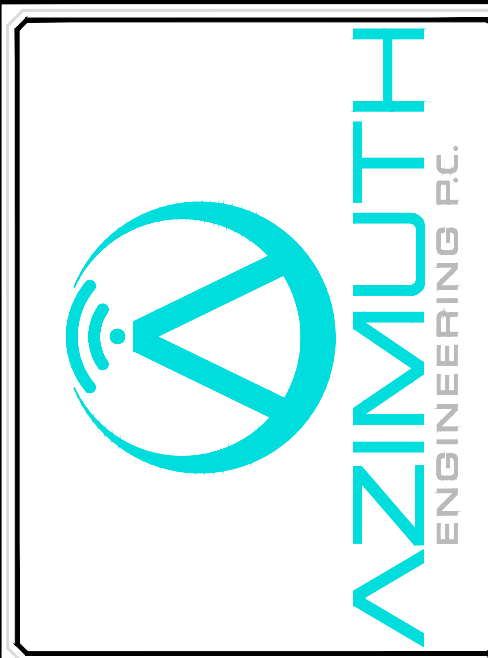
TYPICAL UNDERGROUND CONDUIT STUB-UP

GRAPHIC SCALE
(IN FEET)

N.T.S.

1

N.T.S.



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SCALE	AS SHOWN	DRAWN BY:	CHECKED BY:
1"=10'	1"=10'	JRF	JKM

REV	DATE	DESCRIPTION	ISSUED FOR REVIEW	PREPARED BY	CHECKED BY
A	03/07/22	ISSUED FOR REVIEW	JRF	JWS	

JEREMY K McKEON
NEW YORK LICENSED PROFESSIONAL
ENGINEER - LICENSE NUMBER: 093374-1

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SITE INFORMATION:

EMS SCHOOL DISTRICT

543 MORICHES MIDDLE
ISLAND ROAD
MANORVILLE, NY 11949

SUFFOLK COUNTY

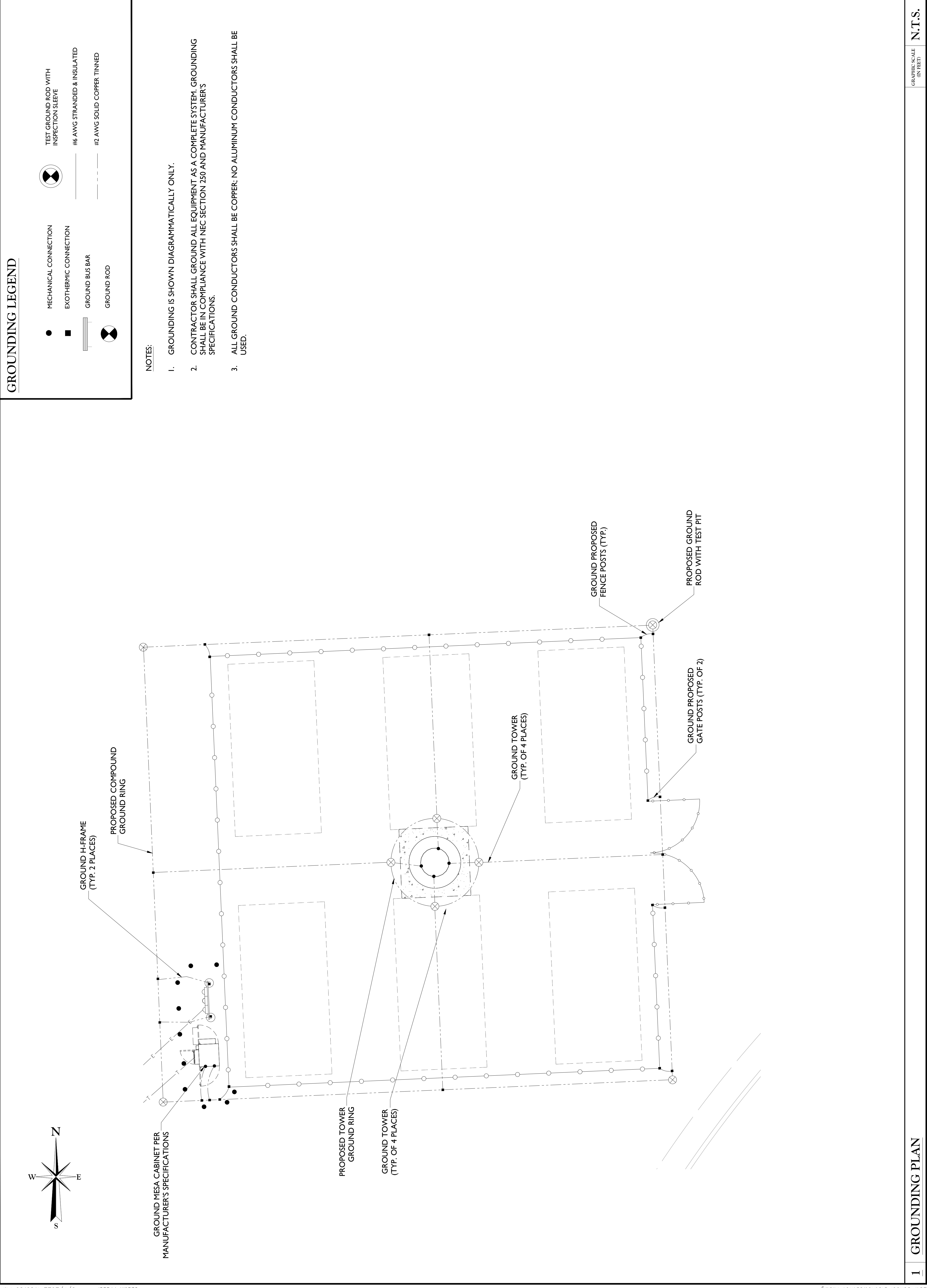
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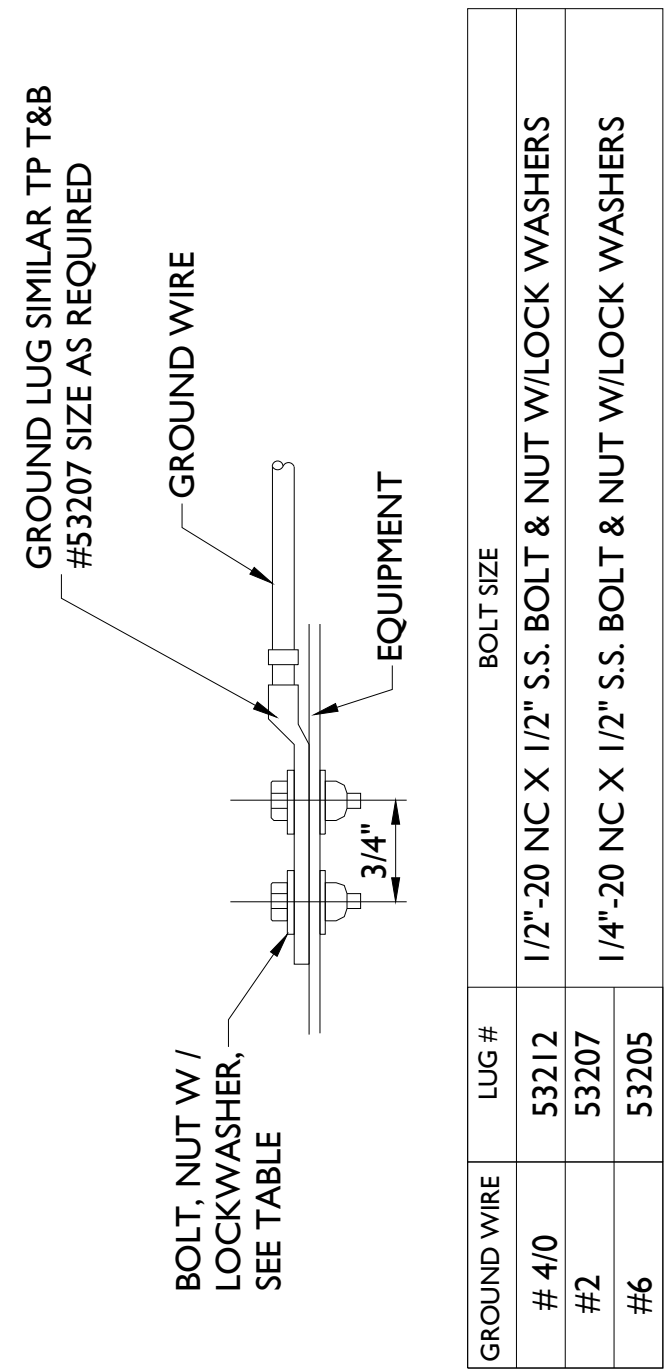
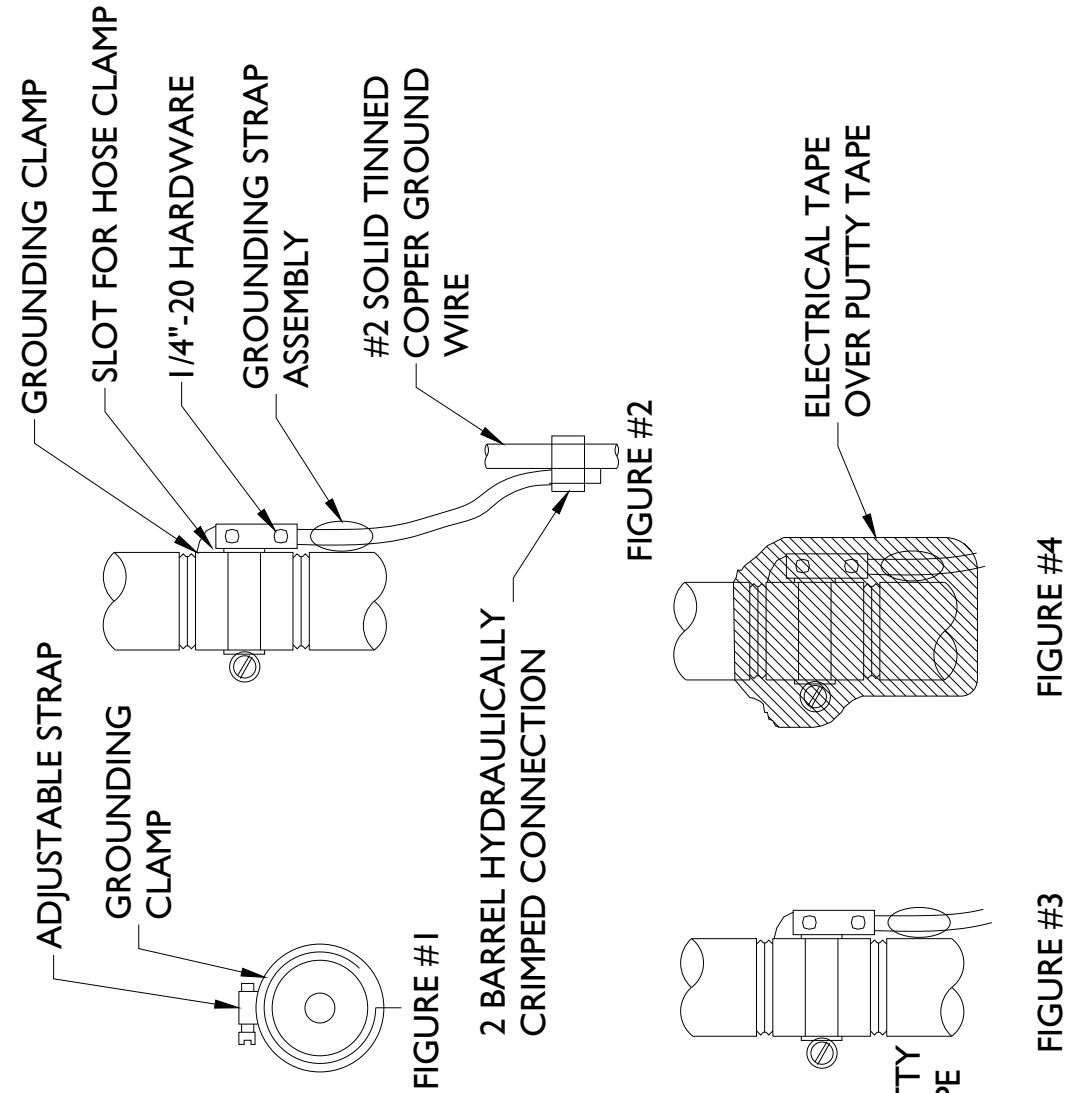
SHEET TITLE:

ELECTRICAL NOTES AND DETAILS

SHEET NUMBER:

E-02





1	GROUNDING INSTALLATION DETAILS	N.T.S.	2	MASTER GROUND BAR TERMINAL DETAIL	N.T.S.	3	TYPICAL GROUND ROD TO CABLE CONNECTION	N.T.S.
4	TYPICAL EXTERNAL EQUIPMENT CONNECTION	N.T.S.	5	GROUND BAR DETAIL	N.T.S.	6	NOT USED	N.T.S.





Item 3f:

**59 Ryerson CGA Hardship
request for adjournment and extension**

Hargrave, Julie

From: Larry Davis <larry@davisandprager.com>
Sent: Thursday, May 05, 2022 11:43 AM
To: Hargrave, Julie
Subject: RE: 59 Ryerson CGA Hardship

CAUTION: This email originated from outside of SCWA. Do not click links or open attachments unless you recognize the sender and know the content is safe.

We are requesting a 60 day adjournment. Thank you!!

From: Hargrave, Julie <Julie.Hargrave@SCWA.com>
Sent: Thursday, May 5, 2022 11:31 AM
To: Larry Davis <larry@davisandprager.com>
Subject: 59 Ryerson CGA Hardship

Dear Mr. Davis,

Please advise if you are prepared for the public hearing on May 18 for this project or if it is adjourned.

The agenda is being completed and the item is presently on for a public hearing.

If you are adjourning, please provide a simple letter to that effect, the adjournment date and the extension of the decision deadline.

Thank you.
Julie Hargrave
631-218-1192

Item 3g:

**Finks Farm CGA Hardship
request for adjournment and extension**

May 10, 2022

Via Email

Central Pine Barrens Joint Planning and Policy Commission
624 Old Riverhead Road
Westhampton Beach, New York 11978
Attn: Ms. Julie Hargrave
Julie.Hargrave@SCWA.com

**Re: Fink's Country Farm, Inc.
CGA Hardship Waiver Application, Dated April 5, 2022**

Dear Ms. Hargrave:

I am counsel to Fink's Country Farm, Inc. with respect to the above-referenced application. The Commission scheduled a public hearing on the application for May 18, 2022. I unfortunately have a conflict that day and respectfully request an adjournment of the public hearing to the Commission's June meeting as well as an extension of the decision deadline.

Very truly yours,

Nicholas C. Rigano
Nicholas C. Rigano

Item 3hi:

**Expressway Drive North Warehouses
draft referral response**

DRAFT

May 18, 2022



Antoinette Rivera
Town of Brookhaven Planning Division
One Independence Hill
Farmingville, NY 11738

RE: Referral: Site Plan Expressway Drive North Warehouse Buildings
f/k/a Brookhaven Logistics Center
SCTM # 200-662-2-5.16; Log #21SP0055 Revisions
Central Pine Barrens Compatible Growth Area

Dear Ms. Rivera:

On April 22, 2022, the Central Pine Barrens Commission office received the subject referral. The project site is in the Compatible Growth Area of the Central Pine Barrens.

Existing Conditions and Project Description

The project site is located on the north side of the Long Island Expressway westbound service road west of Sills Road Exit 65. The 71.45-acre site is currently a naturally vegetated pine barrens woodland habitat.

The site was the subject of a project formerly known as Silver Corporate Park, which was the development of a 12-lot industrial subdivision to build 12 separate buildings for industrial land uses.

The current proposal is a three-lot industrial subdivision to develop three one-story warehouse buildings totaling 549,942 square feet with associated infrastructure including truck docks, vehicle parking and improvements.

On June 17, 2020, the Commission approved the project known as Silver Corporate Park Development of Regional Significance and Extraordinary Hardship Waiver (see enclosed copy of the decision). It appears that project was not developed.

In December 2021, information for the project named "Brookhaven Logistics" was emailed to this office, and on February 16, 2022 the Commission authorized sending a letter to the applicant stating that the new project although it differs from the approved project is also Development of Regional Significance that is required to be reviewed by the Commission (see enclosed copy of letter). Therefore, the applicant must submit an application to the Commission. The application must demonstrate conformance with Standards and Guidelines of the Comprehensive Land Use Plan or seek a hardship waiver(s).

Yvette Aguiar
Member

Steven Bellone
Member

Edward P. Romaine
Member

Jay H. Schneiderman
Member

624 Old Riverhead Road
Westhampton Beach, NY
11978

Phone (631) 288-1079
Fax (631) 288-1367
<https://pb.state.ny.us/>

DRAFT

Please note, the Commission decision required 31.71 acres of the site be protected as natural open space and for covenants to be recorded to this effect within one year of the decision. In the referral material, page 2 of the Key Engineering letter, there are statements to the contrary. No information in the record reflects that this condition was satisfied.

The "Overall Site Plan," Drawing No. C-1, last dated April 21, 2022, lists 30.15 acres to be protected as natural vegetation. This amount differs from the area in the Silver Corporate Park decision. Other elements of the site plan have also changed including the layout of buildings, parking, driveways, roadside buffers and the configuration of open space.

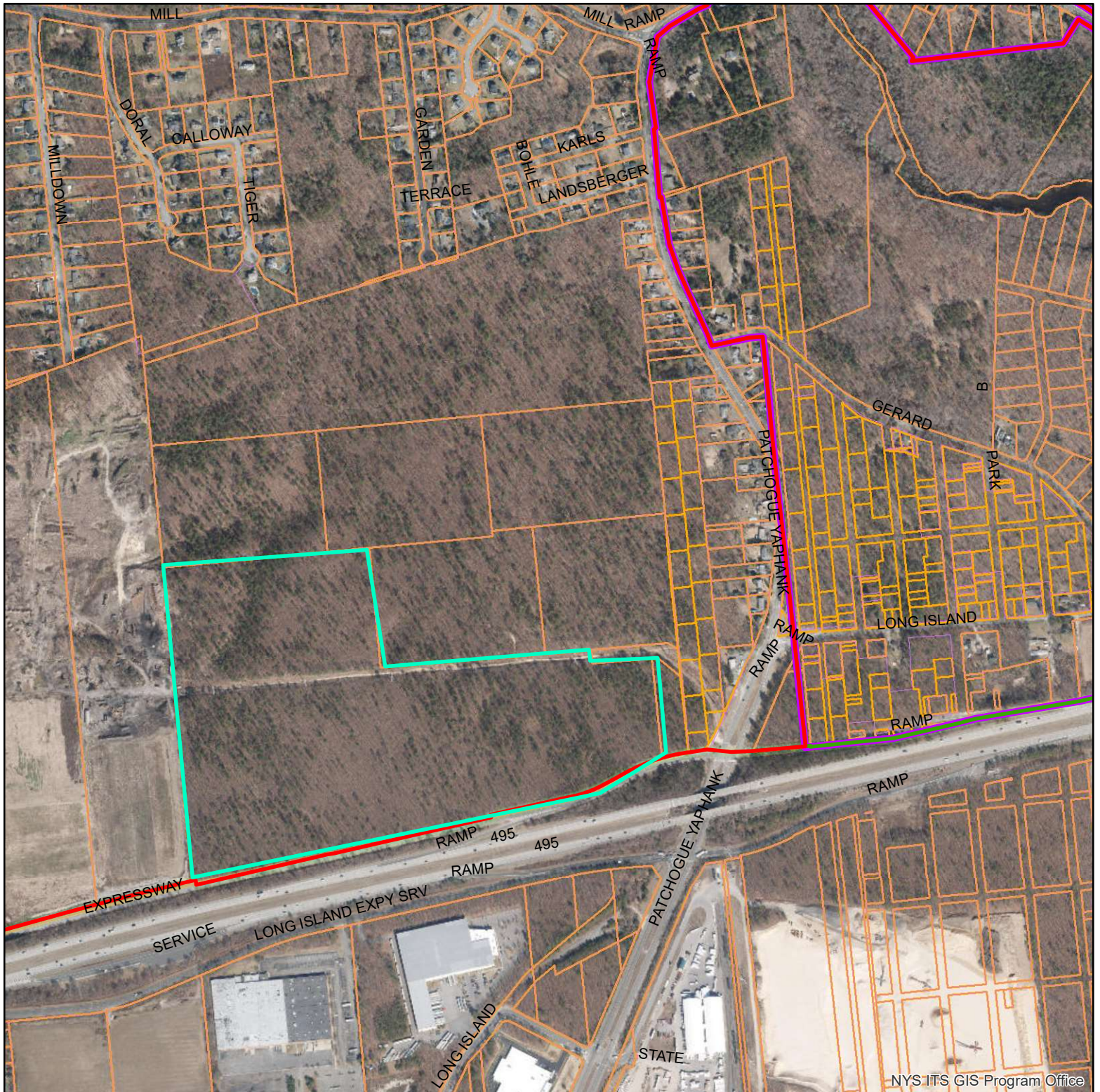
The proposal must conform to all other involved agency jurisdictions and permit requirements in effect on the project site. Thank you for your attention, and if you have any questions, please do not hesitate to contact me at (631) 218-1192.

Sincerely,

Julie Hargrave
Policy and Planning Manager

cc: Judy Jakobsen, Executive Director, Central Pine Barrens Commission
John C. Milazzo, Counsel to the Commission
Michael Albano, Planning Division, Town of Brookhaven

Referral: Expressway Drive North, Yaphank
(formerly Silver Corporate Park DRS)
SCTM # 200-662-2-5.16
Compatible Growth Area



0 250 500 1,000 1,500 2,000
Feet

2020 aerial
draft for reference only



Town of Brookhaven Long Island

Edward P. Romaine, Supervisor

DATE: April 22, 2022

TO: Marian Wypyski, P.E., Lockwood, Kessler & Bartlett, Inc.
Peter E. Fountaine, Town of Brookhaven, Division of Environmental Protection
Christopher Mehrman, Town of Brookhaven, Division of Fire Prevention
Daniel P. Losquadro, Town of Brookhaven, Highway Department
Kerri Berberich Town of Brookhaven, Division of Traffic Safety
Judy Jakobsen, Central Pine Barrens Joint Planning & Policy Commission
Joseph T. Brown, P.E., Suffolk County, Department of Public Works
Melik Tariq, New York State, Department of Transportation
Michael Deering, Long Island Power Authority

FROM: Michael Albano
Planning Division

RE: Site Plan: **Expressway Drive North Warehouse Buildings f/k/a Brookhaven Logistics Center**,
Log # **21SP0055 *REVISIONS***
Proposed construction of 3 1-story warehouse buildings with associated truck docks, vehicle
parking, and associated site improvements.
NYS Route 495, 100' W/o Sills Road, Yaphank
Suffolk County Tax Map #: 0200 66200 0200 005016, 71.45 acres

Please be advised that the Planning Board of the Town of Brookhaven has received a **revised submission** for the above-referenced action. For your review and consideration, please find enclosed a copy of the revised site plan.

The Planning Board would like to encourage your agency to make any comments or suggest mitigation measures, particularly with respect to your areas of expertise and jurisdiction, which would enhance the utilization of this site or provide additional protection to the community.

It is requested that any comment letter be sent directly to the applicant with an email copy to planningstaff@brookhavenny.gov. Your reply is kindly requested within 30 days of the date of this mailing.

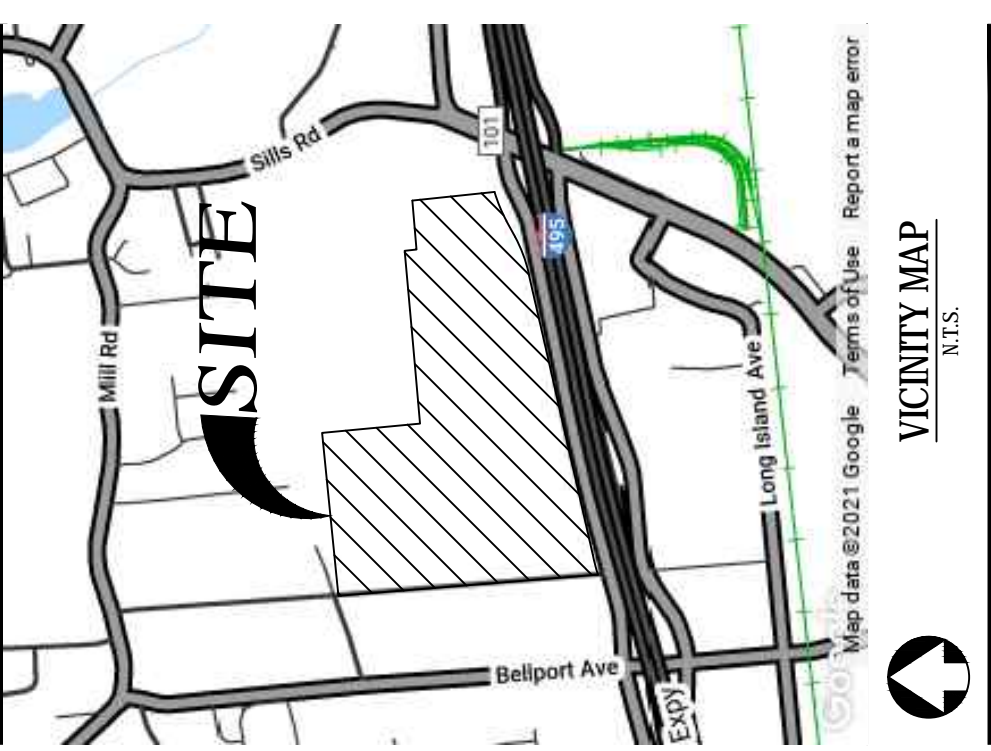
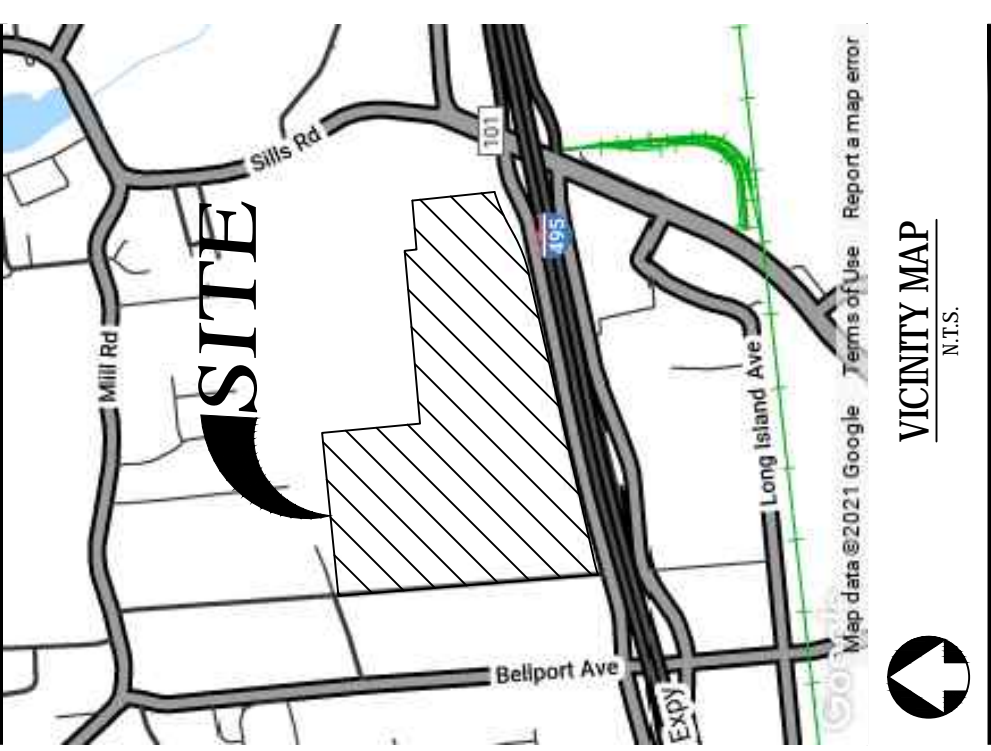
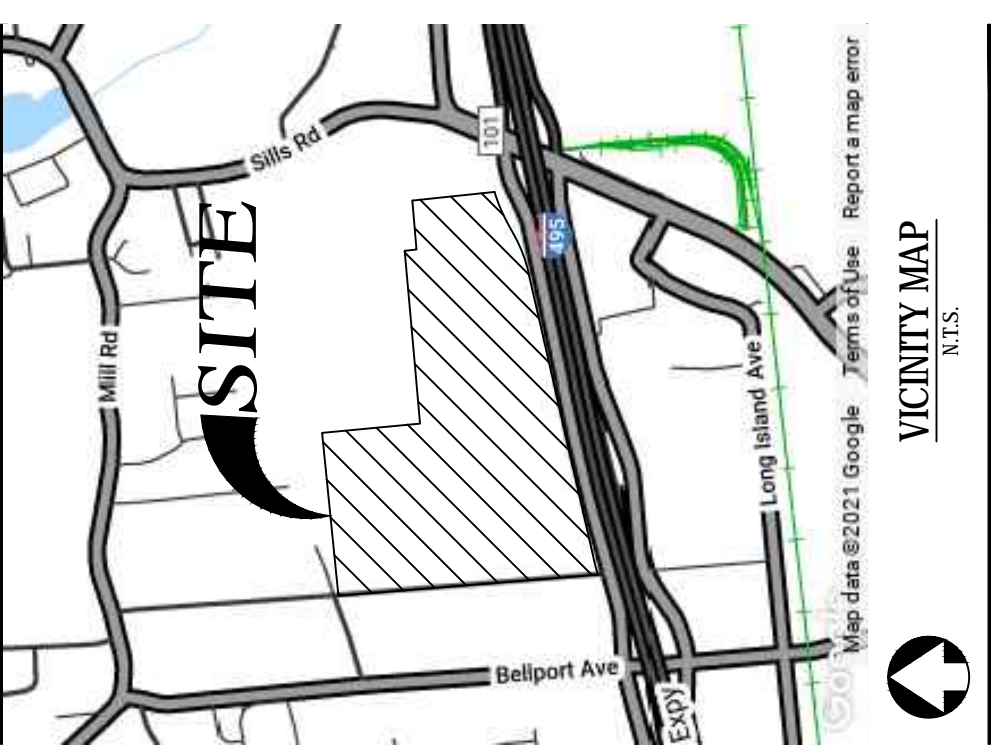
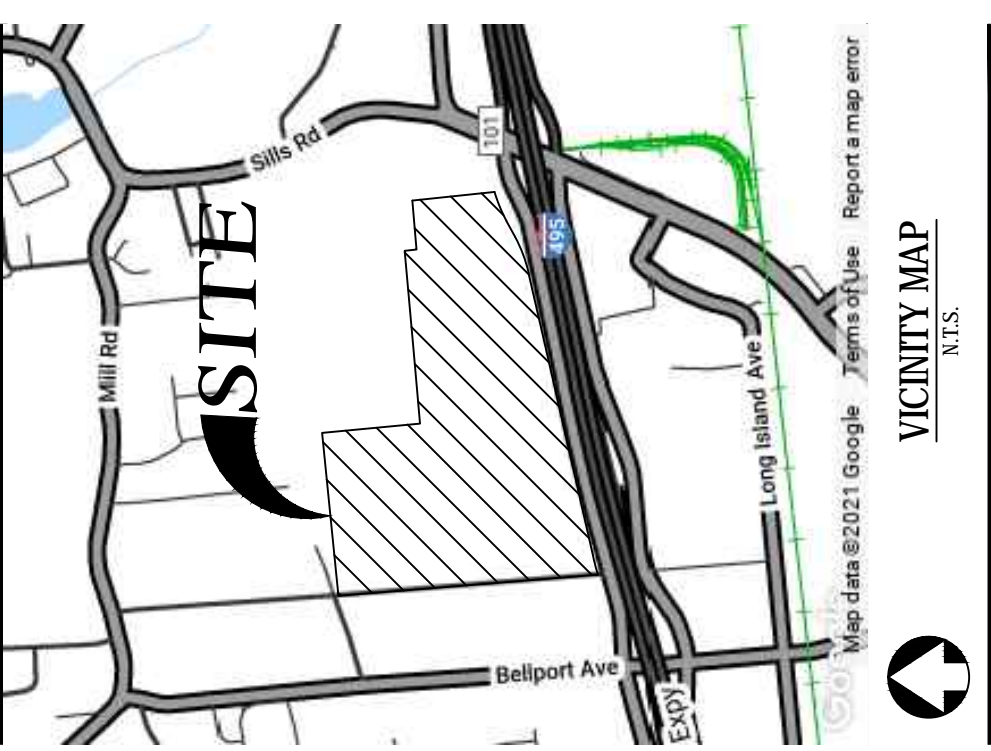
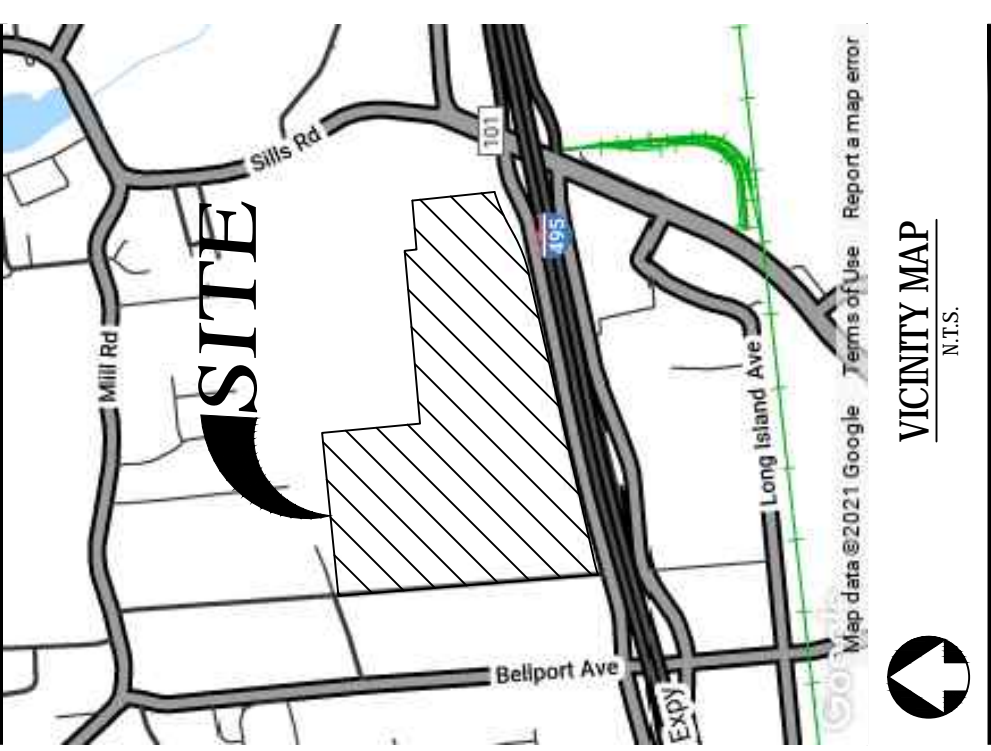
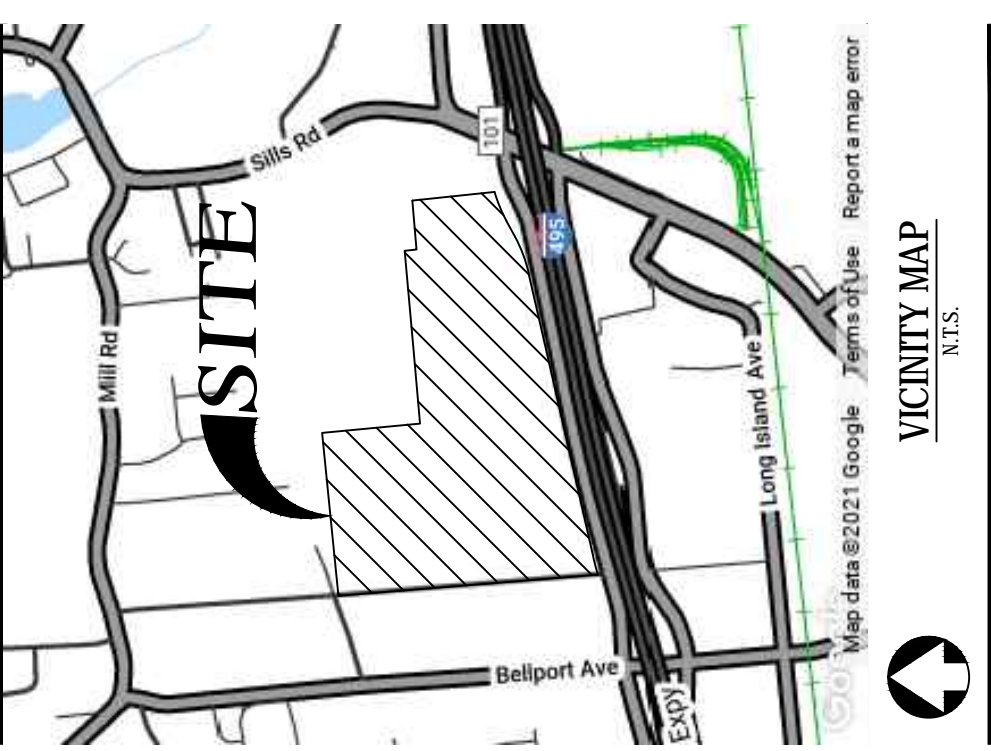
Thank you for your continued cooperation. If you have any questions or need any further information, please contact this Division.

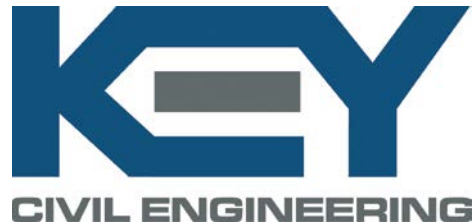
Enc. (site plan, response comments)

MA/ar

Planning, Environment and Land Management
James M. Tullo, Commissioner

One Independence Hill • Farmingville • NY 11738 • Phone (631) 451-6400 • Fax (631) 451-6419
www.brookhavenny.gov





664 Blue Point Road, Unit B Holtsville, NY 11742
P: (631) 961 - 0506 F: (631) 619 - 0367
www.keycivilengineering.com

April 21, 2022

File Number: 21063

Via planningstaff@brookhavenny.gov

TOWN OF BROOKHAVEN
PLANNING, ENVIRONMENT AND LAND MANAGEMENT
One Independence Hill
Farmingville, NY 11738

ATTENTION: Michael J. Albano, Site Plan Reviewer

REGARDING: SITE PLAN REVIEW
Expressway Drive North Warehouse Buildings f/k/a Brookhaven Logistics Center
BTPB Log No. 21SP0055
SCTM: 200-662-02-005.016

Dear Mr. Albano:

We have reviewed your comment letter dated November 8, 2021 (copy enclosed) and addressed your comments as follows:

1) Involved Agencies and Community:

- a) *Be advised that in accordance with Town policy, you are requested to reach out and meet with the local Civic Organizations in your proposed project area. For your convenience, both the Town Clerk and the local Town Council office maintain a current list of civic organizations and their appropriate contact person(s). Please contact both offices and as a courtesy please also contact the local Town Council representative. It is recommended that you provide the local Civic Organizations with a copy of your site plan as well as typical application materials and supporting documentation before the meeting. Lastly, please submit a letter, with copy to the local civic organization, summarizing the conclusions of the meeting, including the issues on which a consensus was reached and those issues that still remain.*

Response: The applicant will submit the site plan package and renderings to the Yaphank Civic Association for review and then schedule a meeting with this civic organization. Upon receipt of a letter of support or letter of no objection from the Yaphank Civic Association, the applicant will provide a copy of same to the Town of Brookhaven.

- b) *I am still awaiting comments from the following agencies:*
- *Division of Environmental Protection*
 - *Division of Traffic Safety*
 - *Division of Fire Prevention*
 - *Department of Highway*
 - *New York State Department of Transportation*

- *Suffolk County Department of Public Works*
- *Central Pine Barrens Joint Planning & Policy Commission*
- *Long Island Power Authority*

Response: Duly noted.

- c) *Once your application is determined to be complete and contains a “full statement of facts”, your application will be referred pursuant to New York State Town Law and the Suffolk County Charter to the Suffolk County Planning Commission for recommendation and comments.*

Response: Duly noted.

- d) *Please provide me with information on who the end user will be. If built on speculation, then your client should submit a site plan that meets the industrial standards and safety for each building.*

Response: Duly noted. Currently, there is not a specific tenant for the warehouse space.

- e) *Please indicate if any of these buildings will be “last mile” warehouses. If so, the site plan will have to incorporate additional van and employee parking.*

Response: The proposed development is not a “last mile” facility. The proposed development will be utilized for standard warehouse use purposes such as storage of goods and materials. The development is not intended to be a trucking terminal/fulfillment/distribution center for e-commerce; therefore, the need for additional van parking is not required. To prevent any confusion regarding the proposed use, the applicant has decided to change the name of the site plan application/project to Expressway Drive North Warehouse Buildings f/k/a Brookhaven Logistics Center from Brookhaven Logistics Center. The applicant acknowledges that in the event the proposed use of the site changes to a trucking terminal, as defined by Brookhaven Town Code, the applicant would need to make an application for Special Permit to the Planning Board.

2) *Land Use Application and Documentation:*

a) *Land Use Application*

- i. *Page 6 Section III. Project Data Question 8. Town Code requires the applicant to submit a copy of any restrictive covenant(s) or if there are no restrictive covenant(s), an affidavit stating that there are none.*

Response: Duly noted. There are no restrictive covenants. Enclosed herein please find the affidavit stating same.

- ii. *Please update the Special Permit section and apply for a special permit to the Planning Board for a Trucking Terminal*

Response: Please see response above. The proposed development is not a trucking terminal at this time. The applicant acknowledges that in the event the proposed use of the site changes to a trucking terminal, as defined by Brookhaven Town Code, the

applicant would need to make an application for Special Permit to the Planning Board.

- iii. *Be advised that pursuant to Town Code Chapter 86, disturbance of one acre or more may require submission of a Stormwater Pollution Prevention Plan (SWPP), prepared in accordance with Chapter 86 specifications, for review and approval by the Stormwater Management Officer. The SWPP, with requisite fees, is required to be submitted concurrently with a site plan application.*

Response: The SWPPP binder will be submitted to Veronica King, Stormwater Manager under a separate cover.

- b) *Long Environmental Form:*

- i) *This is be thoroughly reviewed by the Division of Environmental Protection.*

Response: Duly noted.

- c) *Traffic Impact Study*

- i) *This will be thoroughly reviewed by the Division of Traffic Safety*

Response: Duly noted.

3) Plans:

- a) *Site Plan*

- i) *The Site Plan parking situation does not incorporate the landbanked parking into the general site. If the landbanked parking was to be constructed it would require the customer to cross past truck traffic and over a retaining wall.*

Response: The Site Plan has been revised such that all truck traffic is directed onto a trucks-only area of the site. The trucking activity has been separated from the standard vehicle traffic to the extent possible, with standard vehicle parking located closer to the building than the truck roadways.

- ii) *The landbanked parking is located within the LIPA easement and under high tension wires, I have forwarded this application to LIPA for their input.*

Response: The Applicant has been in contact with LIPA regarding this condition and has received authorization for the location of the proposed landbanked parking area from William Faulk and Dorothy Ince-Small on behalf of PSEG. Any confirmation of same in writing can be provided upon request.

- iii) *Include in the Parking Chart the width and length of the 60 degree parking stalls*

Response: Angled parking stalls are no longer proposed.

- iv) *Please submit documentation that supports not constructing 44% of the sites parking.*

Response: Please see the enclosed Traffic Impact Study prepared by Stonefield Engineering that indicates that the built parking is sufficient for the proposed buildings.

- v) *Overnight parking stalls are not to be calculated as parking stalls*

Response: Noted. The overnight parking stalls shown on the Plan represent the loading dock spaces intended for truck use. These spaces are not included in the overall parking stall count.

CIVIL & CONSULTING ENGINEERS

- vi) *Please provide information for security. If the warehouses are constructed for three separate entities it is believed that all three may require separate fencing, guard booths and overnight security parking.*

Response: The site will be secured via the use of a security booth and gate shown on the truck roadway on the Site Plan. Should any individual tenant require additional security features that require changes to the Site Plan (e.g. additional fencing, guard booths, gates), the tenant and/or Applicant will make an application to the Town for those changes, as appropriate.

- vii) *Please provide on the plans additional tractor trailer stall, at least one per loading dock, as per the industrial standard.*

Response: The Site Plan includes an adequate number of loading spaces for the proposed building size. Due to the number of loading spaces, additional truck parking spaces will not be required. The industry standard for truck loading spaces is 1 trailer loading stall per 10,000 sf. The proposed Plans depict 100 trailer stalls for 549,942, equating to 1 trailer parking stall per 5,500sf – 1.8 times the amount typically provided per industry standards.

- viii) *Please separate employee parking, customer parking and tractor trailer parking for all three buildings.*

Response: Please see the response above. The Site Plan has been revised to separate employee/customer parking and truck traffic.

- ix) *The turning radius of 24 feet is too narrow for tractor trailers. Please improve traffic circulation through the site.*

Response: The Site Plan has been revised to include larger truck turning radii, with a minimum inside radius of 40'. Please refer to Sheet C-20 (Truck Run Plan) that depicts the truck turning movements showing that the provided turning radii are adequate.

- x) *Interior circulation aisle that contains the employee parking is 30 feet wide. The adjacent exterior main aisle is only 24 feet wide. This will promote truck usage of the interior parking aisle and will create pedestrian vehicle conflicts.*

Response: Please see the responses above. The Site Plan has been revised to separate employee/customer parking and truck traffic. All truck traffic must utilize the truck lane in order to access the proposed truck docks.

b) *Grading and Drainage Plans*

- i) *The Division of Engineering will thorough review the Grading and Drainage Plans*
ii) *If possible, please remove the drainage basin and replace it with a bioswale, using wildflower mix surrounded by a post and rail fence.*
iii) *Please include a chart that lists the amount of cubic yards of soils removed for drainage purposes and the amount removed for site preparation.*

Response: In order to maximize the preservation of existing wooded areas of the site, the proposed Grading & Drainage Plan utilize a recharge basin and underground stormwater drywells. The addition of bioswale would unnecessarily increase the development footprint, which would reduce the preservation of wooded areas. The Soil Management Plan has been revised to more clearly delineate the amount of material being removed for drainage purposes.

c) *Sanitary and Utilities Plan*

i) *The Division of Engineering will thorough review the Sanitary and Utilities Plans*

Response: Duly noted.

d) *Landscaping*

i) *The Division of Environmental Protection will thoroughly review your landscaping plans*

Response: Duly noted.

ii) *Please include a chart depicting the clearing percentage (including areas of proposed landbanked parking). natural areas, landscaped areas, and fertilizer dependent vegetation percentage*

Response: The Overall Site Plan has been revised to include a chart indicating the requested areas.

iii) *Do not include with the natural area calculations the LIPA Easement. This area should be calculated as cleared*

Response: The LIPA Easement is not counted as natural area on the computations depicted on the Plans.

iv) *All landbanked parking should be calculated as cleared*

Response: All landbanked parking has been counted as cleared area.

e) *Lighting*

i) *The Division of Planning has no comments for your lighting plans*

ii) *Please include a picture or drawing of the type of light, including the lights on the building and ground lighting*

Response: The Lighting Plan has been revised to include a picture of the proposed lighting fixtures.

f) *Soil Erosion and Sediment Control Plans*

i) *Will be reviewed by the Division of Engineering and the Stormwater Manager*

Response: Duly noted.

g) *Site Details*

i) *The Division of Engineering will thorough review the details page*

ii) *Handicapped signage should be 84" above grade*

iii) *Increase the height of the dumpster enclosure to 8 feet.*

iv) *Include details for parking stalls that are 60 degrees.*

Response: The details for the ADA signage and trash enclosure have been revised as noted. Angled parking is no longer proposed; as such, no details for same are provided.

CIVIL & CONSULTING ENGINEERS

- h) *Color Renderings Plan*
- i) *Please submit color renderings*
 - ii) *Please include all lights and signage*
 - iii) *Any other pertinent information deemed necessary*

Response: Enclosed please find the renderings of the proposed building.

- i) *Survey*
- i) *Please provide information on the abandonment of Old Town Road*

Response: See enclosure Vesting Deed 3, Liber 12155 of Deeds, page 242.

- j) *Storm Water Pollution Prevention Plan (SWPPP)*
- i) *Be advised that pursuant to Town Code Chapter 86, disturbance of one acre or more may require submission of a Stormwater Pollution Prevention Plan (SWPP), prepared in accordance with Chapter 86 specifications, for review and approval by the Stormwater Management Officer.*

Response: A copy of the Binder will be sent directly to Veronica King under separate cover.

- k) *Signage*
- i) *No signage plans were submitted, therefore there has been no review.*

Response: Duly noted.

4) *Zoning Compliance, Special Permits and Variances:*

Board of Zoning Appeals:

Based upon the submitted plans, there are no variances required from the Board of Zoning Appeals

Planning Board Special Permit:

§ 85-565 D. Outdoor or overnight parking of registered vehicles as an accessory use to a permitted principal use.

The site plans submitted meet the special permit criteria.

§ 85-564 N. Truck Terminal

There are no Special Permit Criteria for Trucking Terminal

Planning Board Variances required:

§85-843 A. (2) Minimum natural area/landscaping in front yard. A minimum of 50% of all required landscaped or natural area shall be located within the front yard.

466,866 square feet required: 271,116 square feet proposed, 42% relaxation required

Response: Noted. However, the subject application is not for a Truck Terminal and, as such, a Special Permit for a Truck Terminal is not being sought by the applicant. The proposed development will be utilized for standard warehouse use purposes such as storage of goods

and materials. The development is not intended to be a trucking terminal /fulfillment/distribution center for e-commerce. To prevent any confusion regarding the proposed use, the applicant has decided to change the name of the site plan application/project to Expressway Drive North Warehouse Buildings from Brookhaven Logistics Center. The applicant acknowledges that in the event the proposed use of the site changes to a trucking terminal, as defined by Brookhaven Town Code, the applicant would need to make an application for Special Permit to the Planning Board. In accordance with the revised plans, the applicant is seeking the following:

- A) Planning Board variance (pursuant to Town Code section 85-843(A)(2) - a minimum of 50% (466,866 sf) of all required landscaped or natural area shall be located within the front yard; 33.1% (309,188 sf) is proposed;
and
- B) Special Permit for Outdoor or Overnight Parking of Registered Vehicles as accessory use to a permitted principal use under Town Code Sections 85-565(D) and 85-569(J).

5) Conclusion:

Additional technical comments and analysis can be expected from other review agencies, and from this Division, upon review of your resubmission addressing the code requirements and comments expressed herein.

Upon submission of the above information, this Division will continue to process this application and make a determination of the need for any Planning Board or Board of Zoning Appeals variances or Special Permits. In the event that all revisions and amendments are in order, a public hearing may be scheduled before the Planning Board.

Response: Duly noted.

If you have any questions or require additional information regarding this application, please do not hesitate to contact our office.

Sincerely,
KEY CIVIL ENGINEERING, P.C.



Daniel J. Peveraro, PE
Director of Engineering

DP/km

Enclosures

CC: Zachary Campbell - Wildflower (w/ enclosures via email)

April 8, 2022

Town of Brookhaven
Highway Department
1 Independence Hill
Farmingville, NY 11738

**RE: Proposed Expressway Drive North Warehouse Buildings
NWC Express Drive North & Sills Road
District 200, Section 662, Block 2, Lot 5.016
Hamlet of Yaphank, Town of Brookhaven, Suffolk County, New York
SE&D Job No. NYC-210089
Log #: 21SP0055**

Department Members:

Stonefield Engineering & Design, LLC is pleased to address the comments contained in the Review Letter prepared by L.K. McLean Associates, PC dated November 1, 2021. The following is an itemized response to the comments contained within the aforementioned review letter:

1. The consistency analysis included in the submission assumes trip making characteristics based on information regarding Warehouses in the report Trip Generation 10th edition, published by the Institute of Transportation Engineers (ITE) to estimate future traffic generated by the proposed project. Recent economic trends have resulted in significant changes to the nature of traffic and parking associated with warehousing. There have been a number of applications for the use of warehouse space as fulfillment centers or distributions centers for e-commerce which would generate significantly more traffic and parking demand for small delivery vehicles. For example, based on recently reviewed submissions, Amazon fulfillment centers are projected to generate between two and a half and nine times as many total daily vehicles as conventional warehouses, including significant numbers of smaller delivery vehicles which are stored on site. Additional information should be provided regarding the nature of activity expected at the proposed facility.

Response #1: Please note that the proposed development is intended to operate as a standard warehouse development and not a fulfillment/distribution center for e-commerce. As such, the trip generation utilized in the Traffic Impact Study provides an accurate projection for vehicular traffic anticipated to be generated to and from the site. It is important to note that if any future building tenant intends to use a fulfillment/distribution center, a new application would be submitted at that time utilizing tenant specific data. To avoid any future confusion regarding the proposed use of the subject property, the name of this application has been changed from Brookhaven Logistics Center to Expressway Drive North Warehouse Buildings. The previously submitted site plan application will be amended to reflect such name change.

2. The proposed site plan and application depict a three building warehouse complex with access to the I-495 North Service Road only. Vehicles leaving the site destined to the west on I-495 would need to travel nearly two miles on the North Service Road and traverse the service road intersection with CR16 to access the nearest westbound entrance ramp to I-495. This intersection experiences significant congestion, as well as a high rate of crashes.

Response #2: Please note that the Traffic Impact Study took into consideration two (2) build conditions. Build Scenario 1 represents the proposed development being developed without any modifications to the LIE entrance ramp and Build Scenario 2 represents the proposed development being developed with the LIE entrance ramp relocated to the west in order to be utilized by vehicles exiting the site. Please note that the applicant is currently in the process of pursuing the relocation of the LIE entrance ramp with NYSDOT and FHWA. However, it is important to note that under

both Build Scenarios 1 and 2, with minor signal timing mitigations implemented under Build Scenario 1, the intersection of CR 16 and the I-495 North Service Road is calculated to operate consistent with the No-Build Condition during all study peak hours. Therefore, the proposed development is not anticipated to create a significant impact on the traffic operations of the signalized intersection of CR 16 and the I-495 North Service Road under Build Scenarios 1 or 2.

3. All vehicles entering the site must do so via the intersection of CR101 Sills Road at the I-495 North Service Road. Use of the site as a fulfillment center has the potential to severely impact this intersection.

Response #3: As mentioned in response #1, the proposed development is intended to operate as a standard warehouse use. Therefore, the findings of the Traffic Impact Study, which indicate that the proposed development would not create a significant impact on the traffic operations of the signalized intersection of CR 101 and the I-495 North Service Road, remain accurate.

4. Code requires 1375 parking spaces for the proposed development, based on warehouse use. The site plan proposed 769 built spaces and 606 landbanked spaces. This number of spaces is likely to be sufficient for warehouse use based on information provided in the ITE Parking Generation report.

Response #4: This comment is noted. No response necessary.

5. Provide ADA compliant sidewalk and curb ramps along the entire site frontage on the Service Road.

Response #5: Please note that the I-495 North Service Road is a major roadway which carries heavy traffic volumes at high speeds. As sidewalk is not presently provided along the service road or at the adjacent signalized intersection with Sills Road, it would not be appropriate to provide pedestrian access along the site frontage.

6. Access and improvements to the I-495 North Service Road are subject to approval by NYSDOT.

Response #6: Please note that the subject application has been submitted to NYSDOT and the applicant will comply with any jurisdictional requirements.

Should you have any questions, please do not hesitate to contact our office.

Best regards,



Andrew J. Villari, PE
Stonefield Engineering and Design, LLC



Demi Prassas
Stonefield Engineering and Design, LLC

Item 3hii:

**Oak Run at Middle Island
draft referral response**



May 18, 2022

Amy Moody
Planning Division
Town of Brookhaven
One Independence Hill
Farmingville, NY 11738

RE: SEQRA Lead Agency Coordination
Oak Run @ Middle Island, Log # 2022-007-CZ
Compatible Growth Area of the Central Pine Barrens
SCTM #s 200-401-2-38.5

Dear Ms. Moody:

Yvette Aguiar
Member

Steven Bellone
Member

Edward P. Romaine
Member

Jay H. Schneiderman
Member

On May 5, 2022, the Central Pine Barrens Commission office received a referral of the referenced application. The project site is in the Compatible Growth Area of the Central Pine Barrens.

Existing Conditions and Project Description

The 23.56-acre project site is presently vacant and wooded with natural pine barrens habitat. The site is on Route 25, south of the development known as Birchwood at Spring Lake in Middle Island.

The Conceptual Site Plan is depicted in Sheet CSP-1, prepared by R&M Engineering last dated March 28, 2022. The proposal is for a change of zone from B1 Residence to Planned Retirement Community (PRC) to develop 74 senior apartments with recreational and other amenities. Amenities include a 6 foot wide asphalt walking path on the perimeter of the development, four pickleball courts, a bocce ball court, horseshoe court, landscaped areas, a garage and office. A new road, Oak Run, will be developed on the east side of the site. Eight (8) affordable units are proposed. The project will retire 4.35 Pine Barrens Credits.

According to the plan titled "Lot Coverage Exhibit," Sheet EXH-1, dated March 28, 2022, prepared by R&M Engineering, the proposed lot coverage including 10.42 acres of building/disturbed area (44%) and 13.14 acres of area to remain as natural open space (56%), including:

- building area: 2.18 acres
- impervious surface area: 3.25 acres
- natural area to remain: 13.14 acres
- revegetated area: 1.47 acres
- landscape area: 3.5 acres

624 Old Riverhead Road
Westhampton Beach, NY
11978

Phone (631) 288-1079
Fax (631) 288-1367
www.pb.state.ny.us

Central Pine Barrens

The proposal constitutes development pursuant to the Long Island Pine Barrens Protection Act, Article 57 of the New York State Environmental Conservation Law. Therefore, it must conform with the standards for land use outlined in Chapter 5 of the Central Pine Barrens Comprehensive Land Use Plan (the Plan) and implemented by the Town Code. If the project does not conform, it may be revised to conform or the applicant must apply for a CGA Hardship Waiver from the Commission, subject to review and action.

The applicant should submit to the Town for review a demonstrate of the project's conformance with the Plan standards. A few of standards noted in the review include:

Standard 5.3.3.1.1 Article 6 of the Suffolk County Sanitary Code

The project will connect to the Birchwood at Spring Lake sewage treatment plant. The proposed flow is 11,145 gallons per day, and the as of right flow, @ 300 gallons per day, is 6,900 gpd.

Standard 5.3.3.6.1 Vegetation Clearance Limits and Standard 5.3.3.6.2 Unfragmented Open Space

- The Lot Coverage Plan identifies a total of 10.4 acres to be disturbed (building, impervious, revegetated area and landscaped area), leaving 13.14 acres to be protected as area to remain natural or open space. Please ensure the proposal conforms with this Standard.
- The site plan identifies "selective tree clearing" in an area between the asphalt path and building area. Revegetation of 1.47 acres in area is proposed with native non fertilizer-dependent planting. Revegetation does not count toward compliance with this Standard. Areas proposed to be revegetated must be counted as cleared and applied to the clearing limit.
- The development is clustered in the northerly half of the site. The bulk of area to remain natural, the open space, is in the southerly portion of the site. The site's roadside on Middle Country Road appears to remain natural.
- All efforts should be made to achieve a tight cluster to reduce habitat fragmentation.

Standard 5.3.3.6.3 Fertilizer-dependent Vegetation Limit

- The site plan notes the requirement for not more than 15% of the site may be established with fertilizer dependent vegetation.
- The Lot Coverage Plan lists 3.5 acres or 14.9% of the site to be placed in fertilizer-dependent vegetation. This amount is the limit and without careful oversight the project could exceed this limit. Consider reducing the amount of fertilizer-

dependent vegetation by using more native plants such as butterfly milkweed, bayberry, inkberry and other native trees, shrubs, groundcovers and flowering plants that are desirable and avoid the impact of introducing non-native plants and require less maintenance, fertilizer and irrigation. Native species will support and protect indigenous species including insects, birds and other wildlife and plant populations in the pine barrens ecosystem.

- The covenants should reflect the maximum 15% limit on the entire project site.

Standard 5.3.3.6.4 Native Plantings

Native plantings shall be used in the landscaped area in the central and areas of the project site. No landscape plan was provided to this office for review.

Standard 5.3.3.7.1 Special species and ecological communities

- As a naturally vegetated site in the pine barrens it is likely habitat for the Northern Long-eared Bat, a Federal and New York State-listed Threatened species.
- Please ensure the project adheres to the clearing window limitations required by New York State and Federal regulations. For most sites in Suffolk County, the clearing window is limited to three months, November through February; no clearing is permitted from March 1 to October 31. Please check with NYSDEC on the latest guidance and input to protect this species and its habitat.

Standard 5.3.3.9.1 Receiving entity for open space dedications

The site plan shows the open space as “wooded area to remain natural.” The open space should be dedicated to the Town or other public agency to ensure it is protected forever. A covenant should be recorded in the Office of the Suffolk County Clerk prior to any disturbance including clearing of natural vegetation, tree removal and grading. This project exceeds the as of right density, and therefore, the record for the project site should reflect that no additional land use density or intensity can be generated from the property; the development of this project extinguishes the site’s development rights.

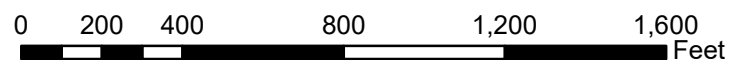
The project must conform to all other involved agency jurisdictions and permit requirements in effect on the project site. If you have any questions, please do not hesitate to contact me at (631) 218-1192.

Sincerely,

Julie Hargrave
Policy and Planning Manager

cc: Judy Jakobsen, Executive Director
John C. Milazzo, Counsel

Referral: Oak Run at Middle Island, Middle Island
SCTM # 200-401-2-38.5
Compatible Growth Area



2020 aerial
draft for reference only



Town of Brookhaven Long Island

Edward P. Romaine, Supervisor

DATE: May 5, 2022

TO: Peter E. Fountaine, Town of Brookhaven, Division of Environmental Protection
Christopher Mehrman, Town of Brookhaven, Division of Fire Prevention
Daniel P. Losquadro, Town of Brookhaven, Highway Department
Claire Werner, New York State, Department of Environmental Conservation
Nick Conrad, NYS Dept. of Environmental Conservation, NY Natural Heritage Program
Michelle Gibbons, New York State, Department of Wildlife, Region 1
Steve Young, New York Natural Heritage Program
Judy Jakobsen, Central Pine Barrens Joint Planning & Policy Commission
Gregson H. Pigott, Suffolk County, Department of Health Services
Boris Rukovets, P.E., Suffolk County Department of Public Works, Sanitation/Engineering Division
Melik Tariq, New York State, Department of Transportation

FROM: Amy Moody
Planning Division

RE: Town Board Application: **Oak Run @ Middle Island, Log # 2022-007-CZ**
Proposed change of zone from B1 Residence to PRC (Planned Retirement Community) for
proposed construction of 74 senior apartments with associated site improvements
N/E/C Middle Country Road (NYS Route 25) and Birchwood Park Drive, N/S Middle Country Road,
approx. 2300' W/O Middle Island Road, Middle Island
SCTM: 0200 40100 0200 038005, 23.56 acres

Attached is a copy of a new application this office has received. A copy of the proposed site plan, a Town Board Land Use Application, and Part 1 of an Environmental Assessment Form supplied by the applicant are enclosed for your consideration.

Please reply within 30 days of the date of this mailing. Also, kindly forward any information or concerns you may have regarding this proposal, particularly with respect to your agency's areas of expertise and jurisdiction, which would enhance the utilization of this site or provide additional protection to the community.

***** All correspondence should be forwarded to:**

**Town of Brookhaven
OFFICE OF THE TOWN CLERK
Donna Lent
One Independence Hill
Farmingville, NY 11738**

Thank you for your continued cooperation. If you have any questions or need any further information, please contact this Division.

Cc: Donna Lent, Brookhaven Town Clerk
Leigh Rate, Town of Brookhaven Law Department

**Planning, Environment and Land Management
James M. Tullo, Commissioner**

One Independence Hill • Farmingville • NY 11738 • Phone (631) 451-6400 • Fax (631) 451-6419
www.brookhavenny.gov

LEGEND

MIDDLE ISLAND ROAD

BIRCHWOOD PARK DRIVE

ROBIN DRIVE

ERIC DRIVE

SITE

KEY MAP

1" = 600'

SITE DATA

LOT AREA	1,026,156 S.F. (23.56 AC.)
PROPOSED GFA	94,888 S.F.
FLOOR AREA RATIO	94,888 / 1,026,156 = 9.24%
EXISTING ZONE	B1 RESIDENCE
PROPOSED ZONE	APARTMENT DISTRICT
EXISTING USE	VACANT
PROPOSED USE	APARTMENT BUILDING
CENTRAL PINE BARRENS AREA	COMPATIBLE GROWTH AREA

PRG. RESIDENCE DISTRICT (PLANNED RETIREMENT COMMUNITY)		
85-290 A. (1) PRIMARY ZONE		
PRINCIPAL BUILDINGS		
CODE	REQUIRED	PROVIDED
85-297 A.	N/A	1,025,155 S.F. (23,566 AC.)
85-297 B.	100'	823.75'
85-297 C.	25'	372.4'
85-297 D.	50'	547,792.8'
85-297 E.	50% (3.5 STY.)	9.24%
85-297 F.	50%	9.24%
85-297 G.	188 UNITS	74 UNITS
85-298 A.	37 UNITS	74 UNITS (3)
85-298 D. (B)	14,400 SF	59,803.65 SF
85-300		
85-298 A.		
PRIMARY ZONE. THE MAXIMUM PERMITTED DENSITY SHALL BE EIGHT UNITS PER ACRE.		

RECREATIONAL FACILITIES

RECREATIONAL AREA SHALL BE EQUAL TO THE NUMBER OF UNITS MULTIPLIED BY 200 SQUARE FEET.

37 UNITS X 200 SF = 7,400 SF REQUIRED

GAME COURTS = 13,511 SF PROVIDED

PARKING CALCULATIONS

895,482

RECREATIONAL PLANNED RETIREMENT COMMUNITY

1.5 STALLS PER DWELLING = 74 UNITS X 1.5 STALL = 111 STALLS

37 UNITS X 200 SF = 7,400 SF REQUIRED

GAME COURTS = 13,511 SF PROVIDED

LOT COVERAGE

BUILDING/ROOF AREA = 94,888 SF (9.2%)

IMPERVIOUS AREA (EXCL. BLDGS):

ROAD PAVT. = 98,533 SF (9.61%)

LANDSCAPE WALKS = 4,275 SF (0.42%)

INTERIOR WALKS = 4,275 SF (0.42%)

EXTERIOR WALKS = 12,491 SF (1.22%)

PATIOS (10'X10') = 7,400 SF (0.72%)

TOTAL IMPERVIOUS AREA = 141,570 SF (13.8%)

VEGETATION BREAK DOWN

NATURAL AREA TO REMAIN = 572,545 SF (55.8%)

REVEGETATED (NON-FERTILIZED) = 64,028 SF (6.3%)

WOODED AREA TO REMAIN NATURAL (TYP) = 133,145 SF (12.9%)

FERTILIZER-DEPENDENT = 1,026,156 SF (100.0%)

TOTAL AREA = 1,026,156 SF (100.0%)

RECEIVED

MAR 8 1 2022

Town of Brookhaven
Town Clerk's Office

CONCEPTUAL SITE PLAN

OAK RUN AT MIDDLE ISLAND

SITUATED IN

MIDDLE ISLAND

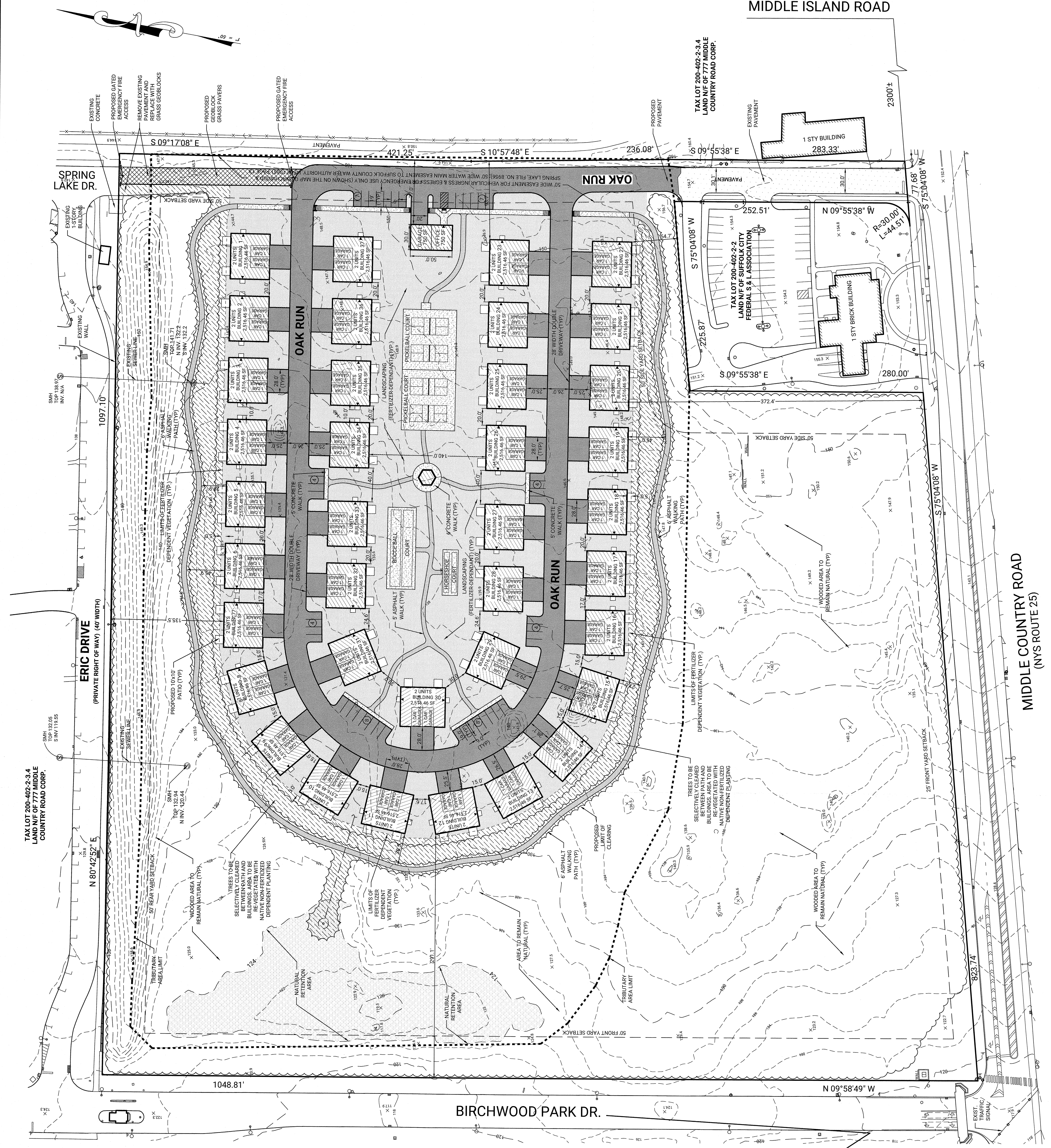
TOWN OF BROOKHAVEN, SUFFOLK COUNTY, NEW YORK

SCIM DISTRICT 200, SECTION 401, BLOCK 02, LOTS 38.5

Robinson & Muller
Engineers, P.C.
Huntington, NY 11743
Office: (631) 271-5592
Fax: (631) 271-5592
www.rmeengineering.com

Christopher W. Robinson, P.E.
NY State License No. 057319

DATE: 05-19-21
SC: 05-19-21
CWR: 05-19-21
JOB No.: 2021-064
SHEET: CSP-1



KEY MAP

1" = 600'

ERIC DRIVE
(PRIVATE RIGHT OF WAY) (40' WIDTH)






SPRING
LAKE DR.


BIRCHWOOD PARK DR.



MIDDLE COUNTRY ROAD
(NYS ROUTE 25)

PROPOSED LOT COVERAGE

	BUILDING/ROOF AREA	94,858 SF (9.2%)
	IMPERVIOUS AREA	141,570 SF (13.8%)
	NATURAL AREA TO REMAIN	572,545 SF (55.8%)
	RE-VEGETATED AREA (NON-FERTILIZER DEPENDENT) *	64,038 SF (6.3%)
	LANDSCAPE AREA (FERTILIZER DEPENDENT)	153,145 SF (14.9%)
TOTAL SITE AREA		1,026,156 SF (100.0%)

 * RE-VEGETATED AREA WITH NATIVE
PLANTING (NON-FERTILIZED DEPENDENT)

SITE DATA

LOT AREA:	1,026,156 S.F. (23.56 Ac.)
EXISTING ZONE:	B-1 RESIDENCE
PROPOSED ZONE:	PRC RESIDENCE DISTRICT
EXISTING USE:	VACANT LAND
PROPOSED USE:	APARTMENT BUILDING
CENTRAL PINE BARRENS AREA: COMPATIBLE GROWTH AREA	

RECEIVED
MAR 31 2022

Town of Brookhaven
Town Clerk's Office

LOT COVERAGE EXHIBIT OAK RUN AT MIDDLE ISLAND

MIDDLE ISLAND, TOWN OF BROOKHAVEN, NY



Robinson & Muller
Engineers, P.C.
50 Elm Street
Huntington, NY 11743
Office: (631) 271-0576
Fax: (631) 271-0592
www.rmengineering.com

DATE:
03/28/2022
SCALE:
1" = 120'
JOB No.
2021-064
SHEET:
EXH-1

SCTM: DISTRICT 0200, SECTION 401.00, BLOCK 02.00, LOT 038.005

SCALE
1"=1000'

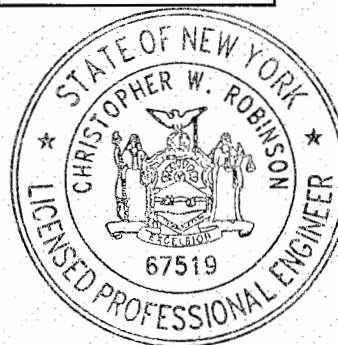
APPLICATION NAME: OAK RUN AT MIDDLE ISLAND
LOT AREA: 1,026,156 S.F. (23.56 Ac.)
APPLICATION FOR: CHANGE OF ZONE FROM B-1
RESIDENCE TO PRC RES
DISTRICT 200, SECTION 401, BLOCK 02, LOTS 38.5

SCHOOL DISTRICT: LONGWOOD
APPLICANT: MARBAI PROFIT SHARING PLAN
475 ROUTE 25A
ROCKY POINT NY 11778

R&M
ENGINEERING

Robinson & Muller
Engineers, P.C.
50 Elm Street
Huntington, NY 11743
Office: (631) 271-0576
Fax: (631) 271-0592
www.rmengineering.com

JOB No: 2021-064
SCALE: 1" = 1,000'
DATE: 03-28-2022



RECEIVED

MAR 31 2022

Town of Brookhaven
Town Clerk's Office



Town of

Brookhaven

Long Island, New York

Land Use Application

One Independence Hill, Farmingville, NY 11738

RECEIVED Form PL-01 rev E 1/1/2019

MAR 31 2022

Page 1 of 11

Town of Brookhaven
Town Clerk's Office

Please check the appropriate application request:

1. TOWN BOARD:

- ☐ 1a. AMENDMENT OF RESTRICTIVE COVENANT (TBR)
- ☒ 1b. CHANGE OF ZONE (CZ)
- ☐ 1c. PLANNED DEVELOPMENT DISTRICT (PDD)(CZ)
- ☐ 1d. SPECIAL PERMIT (CZ)

Case Number: Application Date:

Town Use Only

2. PLANNING BOARD:

- ☐ 2a. AMEND RESTRICTIVE COVENANT (Relief of Covenant) PBR
- ☐ 2b. FINAL SUBDIVISION - FS
- ☐ 2c. LAND DIVISION - LD
- ☐ 2d. PLANNING BOARD VARIANCE
- ☐ 2e. PRELIMINARY FINAL SUBDIVISION - FS
- ☐ 2f. PRELIMINARY SUBDIVISION - PS
- ☐ 2g. ROAD IMPROVEMENT/RESUBDIVISION - RI
- ☐ 2h. SINGLE FAMILY RESIDENCE - SF
- ☐ 2i. SITE PLAN- SP
- ☐ 2j. SPECIAL PERMIT - SP
- ☐ 2k. 278 CLUSTER TREATMENT (Submitted w/PS, FS, PF, LD or RI)
- ☐ 2l. OTHER:

Application is hereby made to
the Town of Brookhaven for
the application type
requested.

By application submittal, the
applicant does hereby
authorize employees or
agents of the Town of
Brookhaven to enter and
inspect the project site as
necessary in conjunction with
this application.

3. PLANNING DIVISION:

- ☐ 3a. CHANGE OF USE - CU
(including facade and minor additions up to 500 sf)
- ☐ 3b. FIRE/AMBULANCE, ETC. - OM
- ☐ 3c. TEST HOLE - TH
- ☐ 3d. TREE CLEARING - TC
- ☐ 3e. REVEGETATION PLAN- RV



Town of
Brookhaven
Long Island, New York

Land Use Application

Form **PL-01** rev E 1/1/2019

Page 2 of 11

I. GENERAL APPLICATION:
A. PROPERTY LOCATION:

Suffolk County Tax Map (SCTM) Property Number: (Use "Scope of Work" section below to list any additional SCTM #'s)

DISTRICT	SECTION	BLOCK	LOT
0200	- 401	- 02	- 038.5

Name of Application: OAK RUN AT MIDDLE ISLAND

Located at #: , on the ☒ N ☐ E ☐ S ☐ W side of: MIDDLE COUNTRY ROAD

Distance: 2300 , ☐ N ☐ E ☐ S ☒ W of: MIDDLE ISLAND ROAD

Hamlet: Middle Island

Post Office: Middle Island

Ambulance District:

School District: Longwood CSD

Fire District: Middle Island

*Total Proposed S.F. of Building(s): 94,858

Property Size (Acres): 23.56

OR Square Feet:

Disturbed Property Size (Acres):

OR Square Feet: 448,466

Present Zoning/Use of Site: B1 Residence

Proposed Zoning/Use of Site: PRC Residential District

Name of Subdivision: OAK RUN AT MIDDLE ISLAND

Subdivision Lot Number: N/A

☒ Yes ☐ No Does the property in question conform to the lot area requirement?

Scope of Proposed Work: (Please list all SCTM #'s associated with application)

0200-401-02-038.5

CONSTRUCTION OF 37 DUPLEX, 2 BEDROOM, 2 BATH SENIOR APARTMENTS WITH ONE CAR GARAGE (74 APARTMENTS TOTAL) SITE TO INCLUDE RECREATIONAL FACILITIES TO INCLUDE (4) PICKLEBALL COURTS; 2 BOCCE COURTS; HORSESHOE COURT AND A 14' GAZEBO AS WELL AS A HALF MILE WALKING TRAIL, A 750SF GARAGE AND ATTACHED 750SF OFFICE WILL ALSO BE CONSTRUCTED AS WELL AS ALL ROADWAYS (OAK RUN) TO ACCESS ALL APARTMENT UNITS.



Town of

Brookhaven

Long Island, New York

Land Use ApplicationForm **PL-01** rev E 6/2/15

Page 3 of 11

B. PROPERTY OWNER/ENTITY CONSENT: (separate sheets may be used for multiple owners)

Be advised that I am the owner of record of the property referenced herein and hereby consent to this application. By this application, the owner does hereby authorize employees or agents of the Town of Brookhaven, in conjunction with this application, to enter and inspect the project site as necessary.

Owner/Entity Name: **MARBAI PROFIT SHARING PLAN**Firm Name: **MARBAI PROFIT SHARING PLAN**Address: **475 ROUTE 25A**Hamlet: **ROCKY POINT**State: **NY**Zip: **11778**

Tel#:

6317445900E-mail: **DEB12LANDMARK@GMAIL.COM**

Fax#:

6317446909If corporation, name of responsible officer: **MARK BAISCH**

Title

MANAGING MEMBER**IN WITNESS WHEREOF** I have hereto set my hand onto this**30th**

day of

March**2022**

 Sign By Owner/Officer

STATE OF NEW YORK)

COUNTY OF SUFFOLK

On the **30th** day of **March** in the year **2022** before me, the undersigned, personally appeared **Mark Baisch** personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.


 Notary Public

JENNA KOCKENMEISTER
 Notary Public, State of New York
 Reg. No. 01KO6402096
 Qualified in Suffolk County
 Commission Expires December 23, 2023



Town of

Brookhaven

Long Island, New York

Land Use Application

Form PL-01 rev E 6/2/15

Page 4 of 11

C. APPLICANT/CONTRACT VENDEE/LESSEE

(If same as owner, state in name field below)

Name: MARBAI PROFIT SHARING PLAN

Firm Name: MARBAI PROFIT SHARING PLAN

Street Address: 475 ROUTE 25A

City: ROCKY POINT

State: NY



Zip: 11778

Tel#: 6317445900

E-mail: DEB12LANDMARK@GMAIL.COM

Fax#: 6317446909

D. PLAN PREPARER

Name: CHRISTOPHER W. ROBINSON, PE

Firm Name: R & M ENGINEERING

Street Address: 50 ELM STREET

City: HUNTINGTON

State: NY



Zip: 11743

Tel#: 6312710576

E-mail: CROBINSON@RMENGINEERING.COM

Fax#: 6312710592

E. ATTORNEY/AGENT (If applicable):

Name:

Firm Name:

Street Address:

City:

State:



Zip:

Tel#:

E-Mail:

Fax#:

F. Removal of Excess Materials**Engineers Certification:**The site plan or subdivision submitted to the Board depicts an excess of cubic yards, proposed to be removed from the premises.

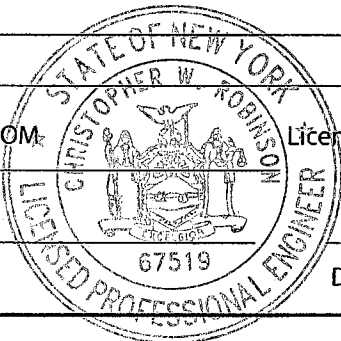
Name: CHRISTOPHER W. ROBINSON, PE

Phone Number 6312710576

E-mail: CROBINSON@RMENGINEERING.COM

License Number: 67519

Signature:



Date: 3/25/2022



Town of

Brookhaven

Long Island, New York

Land Use Application

Form PL-01 rev E 6/2/15

Page 5 of 11

II. BOARD OF ETHICS TRANSACTIONAL DISCLOSURE:Case Number: **A. APPLICANT**Application Date: 3/31/22Name: MARBAI PROFIT SHARING PLANAddress: 475 ROUTE 25ACity: ROCKY POINTState: NYZip: 11778Tel#: 6317445900E-Mail: DEB12LANDMARK@GMAIL.COMFax#: 6317446909☐ Yes ☒ No

Does any officer of the State of New York, officer or employee of the Town of Brookhaven, officer or employee of Suffolk County, officer of a political party in Suffolk County or his or her spouse, brother, sister, parent, child, grandchild, or the spouse of any of them have an interest in this application by virtue of being the actual applicant, or, by virtue of having an interest in the corporation, partnership, or association making such application?

B. If you checked "Yes" above, please complete the following section below:**Interested Party and Nature of Interest:**Name: Address: City: State: Zip: Title: Department: Relationship to Public Officer/Employee and Title if other than Self:

- ☐ Yes ☐ No 1. Is the owner of greater than five percent (5%) of the corporate stock of the application when the applicant is a corporation whose stock is listed on the New York or American Stock Exchanges,
- ☐ Yes ☐ No 2. The actual applicant,
- ☐ Yes ☐ No 3. An Officer, Director, Partner, or Employee of the applicant, or,
- ☐ Yes ☐ No 4. Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant.

Mark Baisch

Print Name:

Signature: [Signature]

On the 30th day of March, in the year 2022, before me, the undersigned, a Notary Public in and for said State, appeared Mark Baisch, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their/ capacity(ies), and they by his/her/their signature(s), on the instrument, the individual(s), or the person(s) upon behalf of which the individual(s) acted, executed the instrument.

Notary Public: [Signature]

JENNA KOCKENMEISTER
 Notary Public, State of New York
 Reg. No. 01KO6402096
 Qualified in Suffolk County
 Commission Expires December 23, 2023



Town of

Brookhaven

Long Island, New York

Land Use Application

Form PL-01 rev E 6/2/15

Page 6 of 11

III. A. PROJECT DATA

- ☐ Yes ☒ No 1. Is the property within 500' of the boundary of any village or town? Village/Town
- ☒ Yes ☐ No 2. Within 500' of any existing or proposed County or State Parkway, Thruway, Expressway or highway?
- ☒ Yes ☐ No 3. Within 500' of any existing or proposed boundary of any County, State or Federal owned land?
- ☐ Yes ☒ No 4. Within 500' of any existing or proposed place of public assembly?
- ☐ Yes ☒ No 5. Within 100' of any freshwater or tidal wetland system?
- ☐ Yes ☒ No 6. Within Carmans River Watershed area?
- ☐ Yes ☒ No 7. Within a designated Historic District or Historic District Transition Zone?
- ☐ Yes ☒ No 8. Are there any existing covenants or restrictions affecting the premises for which the approval is sought?
If **Yes**, please attach a copy certified by the Suffolk County Clerk.
- ☐ Yes ☒ No 9. Are there covenants or conditions being offered which would affect the use or development of this property?
- ☐ Yes ☒ No 10. Is the property improved with any structures or signs? If **Yes**, attach a copy of any Certificate of Occupancy(s), Certificates of Existing Use(s), and/or Certificate of Zoning Compliance(s) for all of the existing structures and/or signs.
- ☒ Yes ☐ No 11. Is the property located within the New York State Hydrogeologic Sensitive Zone?
- ☐ Yes ☒ No 12. Is the property located within the New York State designated Central Pine Barrens area?
- ☒ Yes ☐ No 13. Is there any Pine Barrens Credits being purchased?
- ☐ Yes ☒ NO 14. Does the owner/applicant own or have any interest in any contiguous property?
If **Yes**, list the SCTM numbers below:

- ☐ Yes ☒ No 15. Have you applied for Health Department approval for sanitary waste for the proposed use?
- ☒ Yes ☐ No 16. Do any Special Districts or utilities service the site?
If **Yes**, please explain below:

SITE IS SERVICED BY BIRCHWOOD SEWAGE TREATMENT PLANT ID#P-BR-04 (PRIVATE STP)

- ☐ Yes ☒ No 17. Will there be any use, manufacture, or disposal of any hazardous materials, and/or ground water resources be utilized in any other way other than for normal potable consumption, and/or any air, noise or light emissions occur. If **Yes**, please explain below:

- ☒ Yes ☐ No 18. Is the property located on an improved road?
- ☐ Yes ☒ No 19. Is the road Town maintained?
- ☒ Yes ☐ No 20. Does the proposed property disturb more than one acre of land? If **Yes**, please prepare a Stormwater Pollution Prevention Plan.
- ☐ Yes ☒ No 21. Is the property located within a designated Zoning Overlay District?
- ☐ Yes ☒ No 22. Was the property subject to a public hearing on a change of zone application within the last 12 months?



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III. B. PROJECT DATA: ECONOMIC IMPACTS

Completed for all commercial/industrial projects and residential projects greater than 10 Units
(If not applicable, check here and go to Section IV) ☐ N/A

1. Does project involved Local, State or Federal funding?

☐ Yes ☒ No2. **If single phase project:**

Anticipated period of construction months. (including demolition).

24 MONTHS

3. **If multi-phased:**

a. Total number of phases anticipated.

1

b. Expected date of commencement Phase 1. (including demolition)

4/1/23

c. Approximate completion date of final phase. (month/year)

4/1/25

d. Is Phase 1 functionally dependent on subsequent phases?

☐ Yes ☒ No

4. Number of jobs generated during construction. (full time equivalent)

110

5. Number of jobs generated after completion. (full time equivalent)

5

6. Number of jobs eliminated by this project.

0

7. What are the current tax revenues generated by the project site?

23,118.01

8. What tax revenues will project generate after completion?

300,000

9. What is the estimated cost of construction?

15,000,000

10. How many schoolchildren is the project expected to generate? ☐ N/A

0

11. What is the estimated cost of educating the school-age children generated by the completion of this project?

☐ N/A

0



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IV. SPECIAL USE PERMITS & VARIANCES:

A1. If the proposed project requires a **Special Permit**, please **check** the appropriate **Board** and describe the Special Permit request in the space below:

☐ Town Board☐ Planning Board☐ Zoning Board of Appeals

N/A

B1. If the proposed project requires **Variances, or Waivers**, please **check** the appropriate **Board**, state the nature of the request and the reason in the space below:

☐ Town Board☐ Planning Board☐ Zoning Board of Appeals

N/A

2. VARIANCES/WAIVERS REQUESTED: Please check the type of variance/waiver request and specify the size proposed:

[Note: Upon application review, additional variance/waiver request(s) may be added by Town Application Examiners.]

<input type="checkbox"/> Lot Area	<input type="text"/>	<input type="checkbox"/> 1st Story Sq. Ft.	<input type="text"/>
<input type="checkbox"/> Lot Width	<input type="text"/>	<input type="checkbox"/> 2nd Story Sq. Ft.	<input type="text"/>
<input type="checkbox"/> Front Yard Setback	<input type="text"/>	<input type="checkbox"/> Special Permit Criteria	<input type="text"/>
<input type="checkbox"/> Rear Yard Setback	<input type="text"/>	<input type="checkbox"/> Other	<input type="text"/>
<input type="checkbox"/> Side Yard Setback	Minimum <input type="text"/>	Total	<input type="text"/>

3. List the structure(s) requiring variance/waiver(s): Specify whether each structure is PROPOSED or EXISTING:

<input type="text"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="text"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="text"/>	<input type="checkbox"/>	<input type="checkbox"/>



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- C1.** If the proposed project requires an **Amendment to a Restrictive Covenant**, please **check** the appropriate **Board** and describe: A) Existing covenant for which relief is sought; B) Description of requested relief; and, C) Reason for requested relief, in the space below:

☐ Town Board☐ Planning Board☐ Zoning Board of Appeals

N/A

2. Percentage of current covenant area affected: %. Proposed percentage of covenant area affected: %.3. Percentage of current buffer area affected: %. Proposed percentage of buffer area affected: %.**V. SUBDIVISION/LAND DIVISION:****A1.** Complete for all subdivision/land division/road improvements

N/A

Deed(s) recorded in the Suffolk County Clerk's Office:

Number of Lots:

Date:

Liber:

Page:

<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>	<input type="text"/>

- ☐ Yes ☒ No 2. Are there encumbrances or liens against this land other than mortgages?
- ☐ Yes ☒ No 3. Will the final plat be filed in sections, or will it cover the entire preliminary layout?
- ☐ Yes ☒ No 4. Are all the public open spaces shown on the layout to be dedicated for public purposes?
5. How many acres are to be dedicated for public park or playground purposes?

Reset Form

**TOWN OF BROOKHAVEN
TRANSACTIONAL DISCLOSURE FORM
(Conflict of Interest Form)**

A Transactional Disclosure form is required when someone submits certain applications to Brookhaven Town. The purpose of the disclosure is to alert the Town if a party of influence has an interest in this application or if someone within the Town who will participate in the decision has an interest.

***Note:** It is required that a copy of this form be sent to the Director of the Board of Ethics.

Name Mark Baisch Address 475 Route 25A
City Rocky Point State NY Zip 11778
Telephone (631-744-5900) Email FebizLandmark@gmail.com Fax (631-744-6909)

This form is for:

- ☒ An individual ☐ A partnership
☐ A corporation ☐ An association

Nature of Application:

- ☐ Property Assessment Grievance for non-residential parcel
☐ Amendment
☐ Approval of Plat
☐ License or Permit affecting real property
- ☐ Variance
☒ Change of Zone
☐ Exemption from Plat or Official Map
☐ Bidding on contract(s)

Affected parcel (address) Middle Country Rd (NYS Route 25)
SC TM# 0200-401-02-38.5

Does any officer or employee of the Town of Brookhaven, member of an executive committee of a political party, or his/her spouse, brother, sister, parent, child, grandchild or spouse of any of them, have an interest in this application by virtue of being the actual applicant, being the owner of the actual property or having an interest in the corporation, partnership or association making such application? Yes _____ No _____

If Yes, complete the appropriate section below.

If No, sign and date at end of form.

Please complete the following relevant section below:

For individual:

Interested Party:

Name _____ Address _____

City _____ State _____ Zip _____

Effective 5/15/2018

For corporation:

Interested Party:

Name _____ Address _____

City _____ State _____ Zip _____

Title _____ Department _____

Relationship to Public Officer/Employee and Title, if other than Self: _____

Yes ___ No ___ Is the owner of greater than five percent (5%) of the corporate stock of the application when the applicant is a corporation whose stock is publicly traded.

Yes ___ No ___ The actual applicant,

Yes ___ No ___ An Officer, Director, Partner, or Employee of the applicant, or

Yes ___ No ___ Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant.

For partnership or association:

Interested Party:

Name _____ Address _____

City _____ State _____ Zip _____

Title _____ Department _____

Relationship to Public Officer/Employee and Title, if other than Self: _____

Yes ___ No ___ Does the owner hold greater than five percent (5%) interest of publicly traded shares?

Yes ___ No ___ The actual applicant,

Yes ___ No ___ An Officer, Director, Partner, or Employee of the applicant, or

Yes ___ No ___ Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant.

ALL APPLICANTS PLEASE FILL OUT BELOW:

Print Name Mark Baish Date 3/31/22

Signature [Signature]

Effective 05/15/2018

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Oak Run at Middle island (R&M #2021-064)		
Project Location (describe, and attach a general location map): n/e/c of middle County Road (NYS 25) and Birchwood park Drive, Middle Island NY - SCTM 0200-401-02- 38.005		
<div style="display: flex; justify-content: space-between;"><div>Brief Description of Proposed Action (include purpose or need): Development of 74 residential apartment units in a cluster formation. Improvements will require new roadway, with drainage provisions and general utility layout and landscaping Application requires rezoning from the Town Board from B-1 Residential to PRC residential</div><div style="text-align: center;">RECEIVED MAR 31 2022 Town of Brookhaven Town Clerk's Office</div></div>		
Name of Applicant/Sponsor: R&M Engineering c/o Christopher W. Robinson, PE	Telephone: (631) 271-0576 E-Mail: crobenson@rmengineering.com	
Address: 50 Elm Street		
City/PO: Huntington	State: NY	Zip Code: 11743
Project Contact (if not same as sponsor; give name and title/role): Same as above	Telephone: E-Mail:	
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor): Marbai Profit Sharing Plan (Att. Mark Baisch)	Telephone: (631) - 744 - 5926 E-Mail: H2omark60@aol.com	
Address: 475 Route 25A		
City/PO: Rocky Point	State: NY	Zip Code: 11778

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town Board - Zone Change	March 2022
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning - Site plan	Pending Zone Change
c. City, Town or Village Zoning Board of Appeals <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Zoning Board of Appeals - variances	Pending Zone Change
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Pine Barren Credit Redemption	Pending Zone Change
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Suffolk County Dept of Health & SCDPW	Pending Zone Change
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. ii. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iv. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☒ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐ Yes ☒ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐ Yes ☒ No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No
If Yes, what is the zoning classification(s) including any applicable overlay district?

Zoned B-1 Residential

b. Is the use permitted or allowed by a special or conditional use permit? ☐ Yes ☒ No

c. Is a zoning change requested as part of the proposed action? ☒ Yes ☐ No

If Yes,

i. What is the proposed new zoning for the site? PRC Residential

C.4. Existing community services.

a. In what school district is the project site located? Longwood

b. What police or other public protection forces serve the project site?

Sugffolk County Police (6th precinct)

c. Which fire protection and emergency medical services serve the project site?

Middle Island Fire Department

d. What parks serve the project site?

Cathedral Pines County Park within 1/2 mile

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Primarily Residential with some commercial

b. a. Total acreage of the site of the proposed action? 23.56 acres

b. Total acreage to be physically disturbed? 11.5 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 23.56 acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☒ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☒ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? ☐ Yes ☐ No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? ☐ Yes ☒ No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____

- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year

- Anticipated completion date of final phase _____ month _____ year

- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				
If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	74			
At completion of all phases	74			

g. Does the proposed action include new non-residential construction (including expansions)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes,	
i. Total number of structures _____	
ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length	
iii. Approximate extent of building space to be heated or cooled: _____ square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes,	
i. Purpose of the impoundment: _____	
ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____	
iii. If other than water, identify the type of impounded/contained liquids and their source. _____	
iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres	
v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. What is the purpose of the excavation or dredging? _____	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
<ul style="list-style-type: none"> • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ 	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____	
iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, describe. _____	
v. What is the total area to be dredged or excavated? _____ acres	
vi. What is the maximum area to be worked at any one time? _____ acres	
vii. What would be the maximum depth of excavation or dredging? _____ feet	
viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No	
ix. Summarize site reclamation goals and plan: _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☐ No
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No
If Yes:

i. Total anticipated water usage/demand per day: _____ 11,145 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No
If Yes:

- Name of district or service area: Suffolk County Water Authority
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☒ No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No
If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No
If Yes:

i. Total anticipated liquid waste generation per day: _____ 11,145 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary waste water from 74 units and office building

iii. Will the proposed action use any existing public wastewater treatment facilities? ☒ Yes ☐ No
If Yes:

- Name of wastewater treatment plant to be used: Birchwood Sewage Treatment Plant ID# P-BR-04 (SPDES Permit NY0196762)
- Name of district: Birchwood Sewage Treatment Plant (Private STP)
- Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? _____ • Will a line extension within an existing district be necessary to serve the project? _____ 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes: <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ 	
<u>The development will be connected to the Birchwood STP located at 500 Birchwood Park Drive, Middle Island. Currently there are sewer and manholes located on subject property for future connection and extension will be needed to serve all units & office bldg.</u>	
iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	
v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): _____ _____	
vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____ _____ _____	
e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes: <ul style="list-style-type: none"> i. How much impervious surface will the project create in relation to total size of project parcel? _____ Square feet or <u>5.5</u> acres (impervious surface) _____ Square feet or _____ acres (parcel size) ii. Describe types of new point sources. <u>roof runoff and impervious surface</u> iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? <u>Runoff from impervious surfaces and lawn areas will be directed to open inlets which will be piped to a proposed recharge basin</u> 	
<ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ n/ 	
Answer to below: Runoff from Undisturbed natural areas will not be collected	
<ul style="list-style-type: none"> • Will stormwater runoff flow to adjacent properties? _____ 	
iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, identify: <ul style="list-style-type: none"> i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____ ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____ iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____ 	
g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes: <ul style="list-style-type: none"> i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____ ii. In addition to emissions as calculated in the application, the project will generate: <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 	

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend <input type="checkbox"/> Randomly between hours of _____ to _____</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____</p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7 am - 5 pm • Saturday: _____ Upon Town approval only • Sunday: _____ n/a • Holidays: _____ n/a </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: 24 hours- residential development • Saturday: 24 hours- residential development • Sunday: 24 hours- residential development • Holidays: 24 hours- residential development </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7 am - 5 pm • Saturday: _____ Upon Town approval only • Sunday: _____ n/a • Holidays: _____ n/a 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: 24 hours- residential development • Saturday: 24 hours- residential development • Sunday: 24 hours- residential development • Holidays: 24 hours- residential development
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<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p>	
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>Street lighting to meet Town of Brookhaven lighting Code Section 85-863</p> <p>Pole height to be max. 20' height, dark sky friendly, full cut-off light with minimal light trespass</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: <u>Substantial buffer will be preserved and supplemented as needed to shield adjacent properties</u></p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ tons per _____ (unit of time) • Operation : _____ tons per _____ (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: _____ • Operation: _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☒ Commercial ☒ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.22	5.42	+ 5.20
• Forested	19.07	11.77	-7.30
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	1.39	1.39	0
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	2.85	0	-2.85
• Other Describe: Lawn/grass & landscaping (Fertilizer & non-fertilizer dependent)	0.03	4.98	+ 4.95

c. Is the project site presently used by members of the community for public recreation? ☐ Yes ☒ No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? ☐ Yes ☒ No
If Yes,
i. Identify Facilities: _____

e. Does the project site contain an existing dam? ☐ Yes ☒ No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? ☐ Yes ☒ No
If Yes:
i. Has the facility been formally closed? ☐ Yes ☐ No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? ☐ Yes ☒ No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? ☐ Yes ☒ No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: ☐ Yes ☐ No
☐ Yes – Spills Incidents database Provide DEC ID number(s): _____
☐ Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
☐ Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? ☐ Yes ☐ No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input type="checkbox"/> No	
<ul style="list-style-type: none"> • If yes, DEC site ID number: _____ • Describe the type of institutional control (e.g., deed restriction or easement): _____ • Describe any use limitations: _____ • Describe any engineering controls: _____ • Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No • Explain: _____ 	
E.2. Natural Resources On or Near Project Site	
a. What is the average depth to bedrock on the project site? _____ feet	
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %	
c. Predominant soil type(s) present on project site:	
PIB Plymouth Loamy coarse sand	3-8% slopes 86.0 %
PIA Plymouth loamy coarse sand	0-3% slopes 9.6 %
RdB Riverhead sandy loam 3-8% slopes - 1.4%	RdA Riverhead Loamy coarse sand 0-3% slopes 3.0 %
d. What is the average depth to the water table on the project site? Average: _____ feet	
e. Drainage status of project site soils: <input checked="" type="checkbox"/> Well Drained: _____ 100 % of site	
<input type="checkbox"/> Moderately Well Drained: _____ % of site	
<input type="checkbox"/> Poorly Drained _____ % of site	
f. Approximate proportion of proposed action site with slopes: <input checked="" type="checkbox"/> 0-10%: _____ 100 % of site	
<input type="checkbox"/> 10-15%: _____ % of site	
<input type="checkbox"/> 15% or greater: _____ % of site	
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, describe: _____	
h. Surface water features.	
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
ii. Do any wetlands or other waterbodies adjoin the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes to either i or ii, continue. If No, skip to E.2.i.	
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input type="checkbox"/> Yes <input type="checkbox"/> No	
iv. For each identified regulated wetland and waterbody on the project site, provide the following information:	
• Streams: Name _____	Classification _____
• Lakes or Ponds: Name _____	Classification _____
• Wetlands: Name _____	Approximate Size _____
• Wetland No. (if regulated by DEC) _____	
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If yes, name of impaired water body/bodies and basis for listing as impaired: _____	
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
j. Is the project site in the 100-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
k. Is the project site in the 500-year Floodplain? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
FEMA Zone X Map 36103C0415H	
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes:	
i. Name of aquifer: Sole Source Aquifer names: Nassau & Suffolk SSA	

<p>m. Identify the predominant wildlife species that occupy or use the project site: _____ Squirrels, rodents, rabbits and birds _____ _____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat: _____</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>_____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p> <p>_____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: <u>SGPA Central Suffolk Pine barrens</u></p> <p style="margin-left: 20px;">ii. Basis for designation: <u>Potect ground water, benefit to human heaalth & protect drinking water</u></p> <p style="margin-left: 20px;">iii. Designating agency and date: <u>Long island Regional Planning 3/19/1993 & sugfoolk County 2/14/1988</u></p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes: i. Identify resource: <u>East Bartlett Pine barrens State Forrest, Cathedral Pines County Park</u> ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>State & County owned</u> iii. Distance between project and resource: <u>70 feet & 0.5 miles miles. (South side of Route 25A)</u>	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Christopher W. Robinson, PE Date 3/25/2022

Signature  Title President R&M Engineering

Schedule A

SUGGESTED DESCRIPTION OF
PROPERTY SITUATED AT MIDDLE
ISLAND, TOWN OF BROOKHAVEN
COUNTY OF SUFFOLK, STATE OF
NEW YORK.

S.C.T.M. DISTRICT 0200; SECTION 401; BLOCK 02; LOT 38.5

BEGINNING at a point on the northerly side of Middle Country Road (N.Y.S. Rte 25) distant approximately 2,300 feet (per S.C.T.M.) westerly along the northerly side of Middle Country Road (N.Y.S. Rte. 25) from the intersection of said Middle Country Road (N.Y.S. Rte. 25) with the westerly side of Middle Island -- Rocky Point Road;

RUNNING THENCE along the northerly side of Middle Country Road (N.Y.S. Rte. 25) S 75° 04' 08" W, 77.68 feet to land now or formerly of Suffolk County Federal Savings and Loan Association c/o Astoria Federal;

THENCE along said land the following four (4) courses:

- 1) Northerly along the arc of a curve bearing to the north, having a radius of 30.00 feet and a length of 44.51 feet;
- 2) N 09° 55' 38" W, 252.51 feet;
- 3) S 75° 04' 08" W, 225.87 feet;
- 4) S 09° 55' 38" E, 280.00 feet to the northerly side of Middle Country Road (N.Y.S. Rte. 25);

THENCE along said road line S 75° 04' 08" W, 823.74 feet to land now or formerly of Birchwood at Spring Lake Homeowners Association

THENCE along said land the following two (2) courses:

- 1) N 09° 58' 49" W, 1,048.81 feet
- 2) N 80° 42' 52" E, 1,097.10 feet to land now or formerly of HSN Broadcasting of N.J.;

THENCE along said land and land now or formerly of 777 Middle Country Road Corp. the following three (3) courses:

- 1) S 09° 17' 08" E, 421.25 feet;
- 2) S 10° 57' 48" E, 236.08 feet;
- 3) S 09° 55' 38" E, 283.33 feet to the POINT or PLACE of BEGINNING.

Containing within said bounds: 23.56 acres

June 13, 2012

Job No. 73023a

RECEIVED

MAR 31 2022

Town of Brookhaven
Town Clerk's Office

Item 3hiii:

**Peconic Restaurant/Peconic Paddler
draft referral response**

DRAFT

Via U.S. Mail and email to kimberly.lamiroult@dec.ny.gov



May 18, 2022

Kimberly L. Lamiroult
NYSDEC Region 1 Headquarters
SUNY @ Stony Brook, 50 Circle Road
Stony Brook, NY 11790

RE: Peconic Restaurant / Peconic Paddler, SCTM # 900-118-2-2
89 Peconic Avenue, Riverside, Town of Southampton
Central Pine Barrens Compatible Growth Area
NYSDEC Application ID: # 1-4736-09070/00001

Yvette Aguiar
Member

Steven Bellone
Member

Edward P. Romaine
Member

Jay H. Schneiderman
Member

Dear Ms. Lamiroult:

On March 2, 2022, the Central Pine Barrens Commission office received an email referral of the referenced application. The project site is in the Central Pine Barrens Compatible Growth Area.

Existing Conditions and the Proposed Project

The 42,001 square foot (0.96 acre) property is located on the west side of Peconic Avenue and south side of Peconic River in the hamlet of Riverside, in the Town of Southampton. The property is in the Town's Highway Business Zoning District.

According to the survey prepared by Nathan Taft Corwin, last dated January 2, 2018, the property is partially developed with a 1,000 square foot building and 180 square foot storage structure occupied by the business known as Peconic Paddler, a kayak/canoe storage, rental and sales company. Kayaks and canoes are kept in the rear of the property. Large trees and other existing natural vegetation are present on the project site.

The Site Plan prepared by JM2 Architecture last dated June 27, 2019, depicts a two-phased development plan including:

- Phase 1 Restaurant and store development including a 4,212 square foot building for a 25-seat restaurant (2,618 square feet) and a boat rental store (1,212 square feet). An additional area of exterior patio, 2,383 square feet, for the restaurant is proposed on the north side. A parking lot is proposed with 18 spaces on the south side and four in the front.
- Phase 2 Hotel development.

No data are provided on existing and proposed conditions of the natural vegetation present on the project site. The site plan appears to remove existing natural vegetation including existing large trees on the project site. The landscape plan, Sheet C-3, last dated June 27, 2019, lists two plants,

624 Old Riverhead Road
Westhampton Beach, NY
11978

Phone (631) 288-1079
Fax (631) 288-1367
<https://pb.state.ny.us/>

DRAFT

arborvitae and little leaf linden. An area in the rear of the property is identified as “area to be preserved as natural and protected during construction,” but it is not quantified.

Central Pine Barrens status

The proposal constitutes development pursuant to New York State Environmental Conservation Law Article 57. Therefore, it must conform with the standards for land use development outlined in Chapter 5 of the Comprehensive Land Use Plan (the Plan). If the project does not conform with one or more standards, it may be revised to conform or an application for a hardship waiver must be submitted to this office for Commission review.

The applicant must submit to the reviewing agency a demonstration of project’s conformance with the Plan standards. This was not provided in the referral. Conformance must be demonstrated prior to disturbance or activity related to this project on the project site. Section 57-0123.3(a) of New York State Environmental Conservation Law Article 57 states:

...no application for development within the Central Pine Barrens area shall be approved by any municipality or county or agency thereof or the commission, and no state approval, certificate, license, consent, permit, or financial assistance for the construction of any structure or the disturbance of any land within such area shall be granted, unless such approval or grant conforms to the provisions of such land use plan;...

State Environmental Quality Review Act (SEQRA)

- The phased development plan for the project site should be comprehensively evaluated in the SEQRA process to avoid segmentation.
- Public information on the Town’s website indicates the Planning Board issued a Negative Declaration on October 10, 2019 and adopted a resolution for conditional approval on August 27, 2020.
- No prior referral of this proposal was sent to this office.

The project must conform to all other involved agency jurisdictions and permit requirements in effect on the project site. If you have any questions, please do not hesitate to contact me at (631) 218-1192.

Sincerely,
Julie Hargrave
Policy and Planning Manager

cc: Judy Jakobsen, Executive Director
John C. Milazzo, Counsel
Janice Scherer, Southampton Town Planning and Development Administrator

Peconic Restaurant/ PeconicPaddler
89 Peconic Avenue, Riverside
Compatible Growth Area
SCTM # 900-118-2-2



0 40 80 160 240 320
Feet

2020 aerial



NELSON POPE VOORHIS

environmental • land use • planning

August 20, 2021

Sue Ackerman, Regional Permit Administrator
New York State Department of Environmental Conservation
Region 1 Bureau of Habitat
SUNY at Stony Brook; 50 Circle Road
Stony Brook, NY 11790

Re: Article 24 Permit; Peconic Restaurant/Peconic Paddler
89 Peconic Avenue, Riverhead, NY 11901
NP&V #17063

Dear Ms. Ackerman:

Nelson, Pope & Voorhis (NPV) has been retained by Fredette Svendsen, LLC, the owner of 89 Peconic Avenue, Riverhead, NY to obtain the necessary permits for redevelopment of the subject property with a one-story, 4,212 square foot (SF) building for a restaurant use and boat rental/sale use, on a 42,001 SF property. The subject site is currently improved with one-story building used for boat rental/sales, and is situated within the Highway Business (HB) Zoning District and Riverside Overlay District (RO-1), located at 89 Peconic Avenue in the Hamlet of Riverside, Town of Southampton, NY.

The property has been extensively used for kayak/canoe storage, rental and river access. Aerial photographs dating back to 1978 and 1984 depict boat storage and disturbance on the property. The more current 2016 aerial photograph depicts similar boat storage, disturbance and use of the property (Source: Suffolk GIS).



2016



1984

During project planning, Chic Voorhis reached out to Rob Marsh to discuss the site, its prior disturbance, permitting and jurisdiction. It was determined that the site is not subject to Article 25,

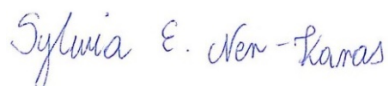
Tidal Wetlands permitting due to prior bulkheading in Grangabel Park and that an Article 24 freshwater wetlands permit is required. Given the historic disturbance on the site, it was determined that a 50-foot vegetated buffer should be provided that would include restoration of disturbed areas and establishment of natural vegetation. The subject site is also within the Riverside Revitalization area and the NYSDEC was an involved agency during review of the Generic Environmental Impact Statement (GEIS) in 2015 that included the subject site and Riverside area. The subject site was identified as an important site for redevelopment due to its proximity to Grangabel Park, its relation to other uses fronting Peconic Avenue, the transitional nature of the site between the Town's of Riverhead and Southampton, and its juxtaposition near the roundabout central to Riverside. Discussions between Mr. Voorhis and Mr. Marsh took place at the time of preparation of the Riverside Revitalization plan and GEIS to ensure that modest redevelopment that is important to the revitalization of Riverside could occur and would be feasible subject to applicable NYSDEC permits. The proposed project is consistent with the intent for modest use of the site, revitalization of Riverside, continuation of the historic water dependent use of the site with an added water enhanced component, removal of disturbance and boat storage proximate to the wetlands, and restoration of a 50-foot natural revegetation buffer. This application is for the necessary NYSDEC freshwater wetlands permit to facilitate this redevelopment as envisioned.

Enclosed please find the following supporting documents:

1. Joint Application Form and Short EAF
2. \$200 Permit Application Fee
3. Letter of Authorization
4. Permission to Inspect Form
5. Four copies of Figure 1 – Project Site Location Map
6. Four copies of Figure 2 – Aerial Imagery showing property boundary
7. Four copies of Figure 3 – NYSDEC Wetlands Map
8. Four copies of Figure 4 – National Wetlands Inventory Map
9. Four copies of Figure 5 – FEMA Flood Map
10. Four copies of Figure 6 – Aerial Imagery and Photo Key Map
11. Four copies of photographs of existing conditions
12. Four copies of Wetland Buffer Plan
13. Four copies of the Survey
14. Four copies of the Design Plan

Please let me know if you need any additional information, and do not hesitate to call should you have any questions. Thank you.

Nelson, Pope & Voorhis, LLC



Sylwia E. Ner-Karas
Senior Environmental Scientist

Enclosures

cc: Thomas Fredette (digital)
File





JOINT APPLICATION FORM

For Permits for activities affecting streams, waterways, waterbodies, wetlands, coastal areas, sources of water, and endangered and threatened species.

You must separately apply for and obtain Permits from each involved agency before starting work. Please read all instructions.

1. Applications To:

>NYS Department of Environmental Conservation

☒ Check here to confirm you sent this form to NYSDEC.

Check all permits that apply:

☐ Stream Disturbance

☐ Dams and Impoundment Structures

☐ Tidal Wetlands

☐ Water Withdrawal

☐ Excavation and Fill in Navigable Waters

☐ 401 Water Quality Certification

☒ Wild, Scenic and Recreational Rivers

☐ Long Island Well

☐ Docks, Moorings or Platforms

☒ Freshwater Wetlands

☐ Coastal Erosion Management

☐ Incidental Take of Endangered / Threatened Species

>US Army Corps of Engineers

☐ Check here to confirm you sent this form to USACE.

Check all permits that apply: ☐ Section 404 Clean Water Act

☐ Section 10 Rivers and Harbors Act

Is the project Federally funded? ☐ Yes ☐ No

If yes, name of Federal Agency:

General Permit Type(s), if known:

Preconstruction Notification: ☐ Yes ☐ No

>NYS Office of General Services

☐ Check here to confirm you sent this form to NYSOGS.

Check all permits that apply:

☐ State Owned Lands Under Water

☐ Utility Easement (pipelines, conduits, cables, etc.)

☐ Docks, Moorings or Platforms

>NYS Department of State

☐ Check here to confirm you sent this form to NYSDOS.

Check if this applies: ☐ Coastal Consistency Concurrence

2. Name of Applicant

Fredette Svendsen LLC c/o Thomas Fredette

Taxpayer ID (if applicant is NOT an individual)

Mailing Address

89 Peconic Avenue

Post Office / City

Riverhead

State

NY

Zip

11901

Telephone (631) 384-1224

Email tomfredett@yahoo.com

Applicant Must be (check all that apply): ☐ Owner ☒ Operator ☐ Lessee

3. Name of Property Owner (if different than Applicant)

Mailing Address

Post Office / City

State

Zip

Telephone

Email

For Agency Use Only

Agency Application Number:

4. Name of Contact / Agent

Nelson, Pope & Voorhis, LLC c/o Sylwia Ner-Karas

Mailing Address

70 Maxess Road

Post Office / City

Melville

State

NY

Zip

11747

Telephone (631) 427-5665 x241

Email sner-karas@nelsonpope.com

5. Project / Facility Name

89 Peconic Avenue, Riverside (aka Peconic Paddler)

Property Tax Map Section / Block / Lot Number:

0900-118.00-02.00-002.000

Project Street Address, if applicable

89 Peconic Avenue

Post Office / City

Riverhead

State

NY

Zip

11901

Provide directions and distances to roads, intersections, bridges and bodies of water

☒ Town ☐ Village ☐ City

County

Suffolk

Stream/Waterbody Name

Peconic River (R-5)

Southampton

Project Location Coordinates: Enter Latitude and Longitude in degrees, minutes, seconds:

Latitude: 40° 54' 55" Longitude: 72° 39' 40"

6. Project Description: Provide the following information about your project. Continue each response and provide any additional information on other pages. **Attach plans on separate pages.**

a. Purpose of the proposed project:

The application of Peconic Restaurant/Paddler proposes the redevelopment of the subject property with a one-story, 4,212 sq.ft. building for a restaurant use and boat rental/sales use, on a 42,001 sq.ft. property currently improved with a one-story building used for boat rental/sales, situated within the Highway Business (HB) Zoning District, APOD and Riverside Overlay District (RO-1), located at 89 Peconic Avenue in the Hamlet of Riverside.

b. Description of current site conditions:

Currently and historically, the subject property has been used for boat rental.

c. Proposed site changes:

Redevelopment of the subject property with a one-story, 4,212 sq.ft. building for a restaurant use and boat rental/sales use, on a 42,001 sq.ft. property

d. Type of structures and fill materials to be installed, and quantity of materials to be used (e.g., square feet of coverage, cubic yards of fill material, structures below ordinary/mean high water, etc.):

n/a

e. Area of excavation or dredging, volume of material to be removed, location of dredged material placement:

n/a

f. Is tree cutting or clearing proposed? ☒ Yes If Yes, explain below. ☐ No

Timing of the proposed cutting or clearing (month/year): Invasive tree removal/replanting per plan; dead trees to be

Number of trees to be cut: 14 Acreage of trees to be cleared: n/a removed 21/1-2/28

g. Work methods and type of equipment to be used:

Typical construction equipment

h. Describe the planned sequence of activities:

Single Phase

i. Pollution control methods and other actions proposed to mitigate environmental impacts:

Silt fencing to be installed to contain project site

j. Erosion and silt control methods that will be used to prevent water quality impacts:

Silt fence and/or hay bales

k. Alternatives considered to avoid regulated areas. If no feasible alternatives exist, explain how the project will minimize impacts:

Subject site has been historically disturbed and used for boat storage. The subject site is a key location as part of the Riverside revitalization initiative. There are no feasible alternatives as the existing use is there and this is only land owned by the project sponsor who is also the operator of the proposed use. Based on initial contact with NYSDEC, a 50-foot restored natural buffer will be created where boat storage and disturbance currently exist.

l. Proposed use: ☒ Private ☐ Public ☒ Commercial

m. Proposed Start Date: TBD Estimated Completion Date: TBD

n. Has work begun on project? ☐ Yes If Yes, explain below. ☒ No

o. Will project occupy Federal, State, or Municipal Land? ☐ Yes If Yes, explain below. ☒ No

p. List any previous DEC, USACE, OGS or DOS Permit / Application numbers for activities at this location:

q. Will this project require additional Federal, State, or Local authorizations, including zoning changes?

☐ Yes If Yes, list below. ☐ No

Article 24, WSRR determination & Town Wetlands Permit

7. Signatures.

Applicant and Owner (If different) must sign the application.

Append additional pages of this Signature section if there are multiple Applicants, Owners or Contact/Agents.

I hereby affirm that information provided on this form and all attachments submitted herewith is true to the best of my knowledge and belief.

Permission to Inspect - I hereby consent to Agency inspection of the project site and adjacent property areas. Agency staff may enter the property without notice between 7:00 am and 7:00 pm, Monday - Friday. Inspection may occur without the owner, applicant or agent present. If the property is posted with "keep out" signs or fenced with an unlocked gate, Agency staff may still enter the property. Agency staff may take measurements, analyze site physical characteristics, take soil and vegetation samples, sketch and photograph the site. I understand that failure to give this consent may result in denial of the permit(s) sought by this application.

False statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the NYS Penal Law. Further, the applicant accepts full responsibility for all damage, direct or indirect, of whatever nature, and by whomever suffered, arising out of the project described herein and agrees to indemnify and save harmless the State from suits, actions, damages and costs of every name and description resulting from said project. In addition, Federal Law, 18 U.S.C., Section 1001 provides for a fine of not more than \$10,000 or imprisonment for not more than 5 years, or both where an applicant knowingly and willingly falsifies, conceals, or covers up a material fact; or knowingly makes or uses a false, fictitious or fraudulent statement.

Signature of Applicant


Date

8/20/20

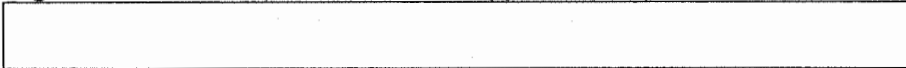
Applicant Must be (check all that apply): ☒ Owner ☐ Operator ☐ Lessee

Printed Name


Thomas Fredette

Title

Managing Member

Signature of Owner (if different than Applicant)


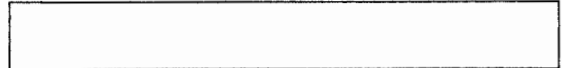
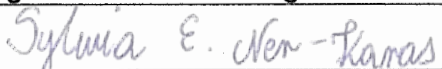
Date



Printed Name



Title


Signature of Contact / Agent


Date

9/4/2020

Printed Name

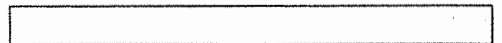
Sylwia E. Ner-Karas

Title

Senior Environmental Scientist

For Agency Use Only**DETERMINATION OF NO PERMIT REQUIRED**

Agency Application Number



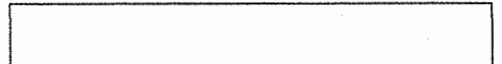
(Agency Name) has determined that No Permit is required from this Agency for the project described in this application.

Agency Representative:

Printed Name



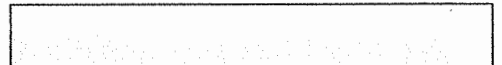
Title



Signature



Date



Short Environmental Assessment Form

Part 1 - Project Information

Instructions for Completing

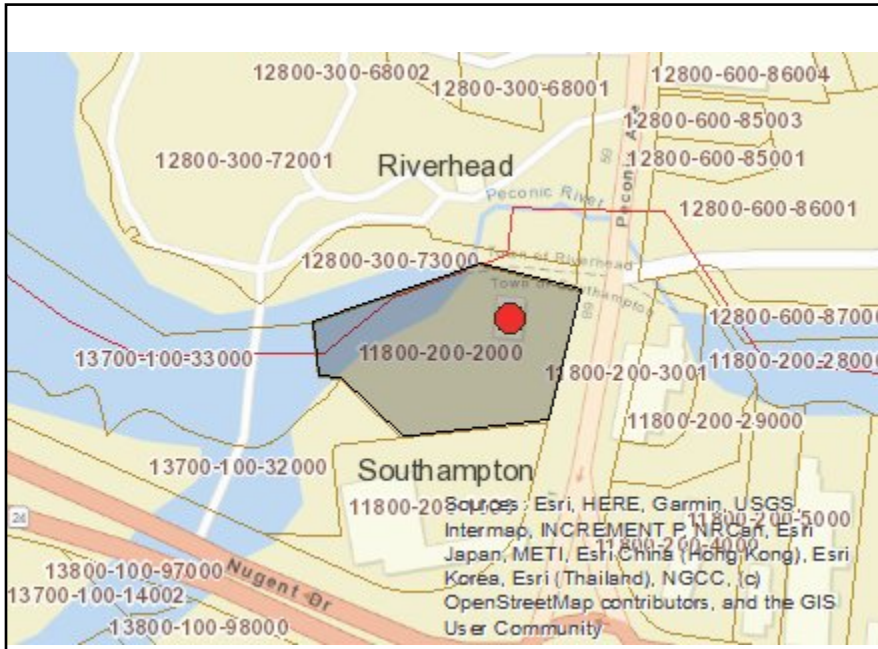
Part 1 – Project Information. The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

Part 1 – Project and Sponsor Information				
Name of Action or Project:				
Project Location (describe, and attach a location map):				
Brief Description of Proposed Action:				
Name of Applicant or Sponsor:			Telephone:	
			E-Mail:	
Address:				
City/PO:		State:		Zip Code:
1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?			NO	YES
If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2.			<input type="checkbox"/>	<input type="checkbox"/>
2. Does the proposed action require a permit, approval or funding from any other government Agency?			NO	YES
If Yes, list agency(s) name and permit or approval:			<input type="checkbox"/>	<input type="checkbox"/>
3. a. Total acreage of the site of the proposed action? _____ acres b. Total acreage to be physically disturbed? _____ acres c. Total acreage (project site and any contiguous properties) owned _____ acres or controlled by the applicant or project sponsor?				
4. Check all land uses that occur on, are adjoining or near the proposed action: 5. Urban Rural (non-agriculture) Industrial Commercial Residential (suburban) <input type="checkbox"/> Forest Agriculture Aquatic Other(Specify): <input type="checkbox"/> Parkland				

5. Is the proposed action,	NO	YES	N/A
a. A permitted use under the zoning regulations?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
b. Consistent with the adopted comprehensive plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?	NO	YES	
If Yes, identify: _____	<input type="checkbox"/>	<input type="checkbox"/>	
8. a. Will the proposed action result in a substantial increase in traffic above present levels?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Are public transportation services available at or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?	<input type="checkbox"/>	<input type="checkbox"/>	
9. Does the proposed action meet or exceed the state energy code requirements?	NO	YES	
If the proposed action will exceed requirements, describe design features and technologies: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
10. Will the proposed action connect to an existing public/private water supply?	NO	YES	
If No, describe method for providing potable water: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
11. Will the proposed action connect to existing wastewater utilities?	NO	YES	
If No, describe method for providing wastewater treatment: _____ _____	<input type="checkbox"/>	<input type="checkbox"/>	
12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/>	<input type="checkbox"/>	
13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?	NO	YES	
	<input type="checkbox"/>	<input type="checkbox"/>	
b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?	<input type="checkbox"/>	<input type="checkbox"/>	
If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____ _____ _____			

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply: <div style="display: flex; justify-content: space-between; margin-top: 5px;"> <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest Agricultural/grasslands Early mid-successional </div> <div style="display: flex; justify-content: space-between; margin-top: 5px;"> Wetland <input type="checkbox"/> Urban Suburban </div>		
15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered? _____ng Eared Bat	NO	YES
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
16. Is the project site located in the 100-year flood plan?	NO	YES
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
17. Will the proposed action create storm water discharge, either from point or non-point sources? If Yes, <div style="margin-left: 20px; margin-top: 10px;"> a. Will storm water discharges flow to adjacent properties? </div> <div style="margin-left: 20px; margin-top: 10px;"> b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)? </div> If Yes, briefly describe: <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div> <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div>	NO	YES
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)? If Yes, explain the purpose and size of the impoundment: <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div> <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div>	NO	YES
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility? If Yes, describe: <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div> <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div>	NO	YES
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste? If Yes, describe: <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div> <div style="border-bottom: 1px solid black; margin-top: 5px; height: 1.2em;"></div>	NO	YES
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<div style="border: 1px solid black; padding: 5px;"> <p>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</p> <p>Applicant/sponsor/name: _____ Date: _____</p> <p>Signature: <u>Sylvia E. Nor-Case</u> Title: _____</p> </div>		



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



Part 1 / Question 7 [Critical Environmental Area]	Yes
Part 1 / Question 7 [Critical Environmental Area - Identify]	Name:SGPA, Name:Central Suffolk Pine Barrens, Name:Aquifer Overlay District, Name:Peconic Bay and Environs, Reason:Protect groundwater, Reason:Benefit to human health & protect drinking water, Reason:Preserve pure water quality, Reason:Protect public health, water, vegetation, & scenic beauty, Agency:Long Island Regional Planning, Agency:Suffolk County, Agency:Southampton, Town of, Date:3-19-93, Date:2-10-88, Date:6-20-84, Date:7-12-88
Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites]	No
Part 1 / Question 12b [Archeological Sites]	Yes
Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
Part 1 / Question 15 [Threatened or Endangered Animal]	Yes
Part 1 / Question 15 [Threatened or Endangered Animal - Name]	Banded Sunfish, Northern Long-eared Bat
Part 1 / Question 16 [100 Year Flood Plain]	Yes
Part 1 / Question 20 [Remediation Site]	No

LETTER OF AUTHORIZATION

July 21, 2020

Ms. Susan Ackerman
Regional Permit Administrator
New York State Department of Environmental Conservation
State University of New York at Stony Brook
50 Circle Road
Stony Brook, NY 11790-2356

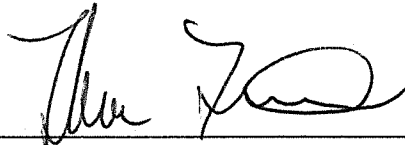
Re: WSRR Permit
89 Peconic Avenue, Riverside
SCTM#0900118000200002000
NPV #17063

Dear Ms. Ackerman:

Please be advised that as the **owner** of the above referenced property I hereby consent to Nelson, Pope & Voorhis, LLC, making an application for a wetland permit to the NYS Department of Environmental Conservation (NYSDEC). I further consent to the NYSDEC to inspect the property for purposes of making a determination on the referenced wetland application.

Please also be advised that I wish do not wish (circle one) to receive copies of correspondence between the Department and the agent in this matter.

Sincerely,



Tom Fredette
Fredette Svendsen LLC
10 Lincoln Blvd.
East Moriches, NY 11940
Cell: 631-384-1224
Email:
TOMFREDETT@YAHOO.COM



Department of
Environmental
Conservation

PERMISSION TO INSPECT PROPERTY

By signing this permission form for submission with an application for a permit(s) to the Department of Environmental Conservation ("DEC"), the signer consents to inspection by DEC staff of the project site or facility for which a permit is sought and, to the extent necessary, areas adjacent to the project site or facility. This consent allows DEC staff to enter upon and pass through such property in order to inspect the project site or facility, without prior notice, between the hours of 7:00 a.m. and 7:00 p.m., Monday through Friday. If DEC staff should wish to conduct an inspection at any other times, DEC staff will so notify the applicant and will obtain a separate consent for such an inspection.

Inspections may take place as part of the application review prior to a decision to grant or deny the permit(s) sought. By signing this consent form, the signer agrees that this consent remains in effect as long as the application is pending, and is effective regardless of whether the signer, applicant or an agent is present at the time of the inspection. In the event that the project site or facility is posted with any form of "posted" or "keep out" notices, or fenced in with an unlocked gate, this permission authorizes DEC staff to disregard such notices or unlocked gates at the time of inspection.

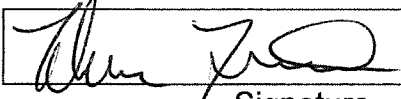
The signer further agrees that during an inspection, DEC staff may, among other things, take measurements, may analyze physical characteristics of the site including, but not limited to, soils and vegetation (taking samples for analysis), and may make drawings and take photographs.

Failure to grant consent for an inspection is grounds for, and may result in, denial of the permit(s) sought by the application.

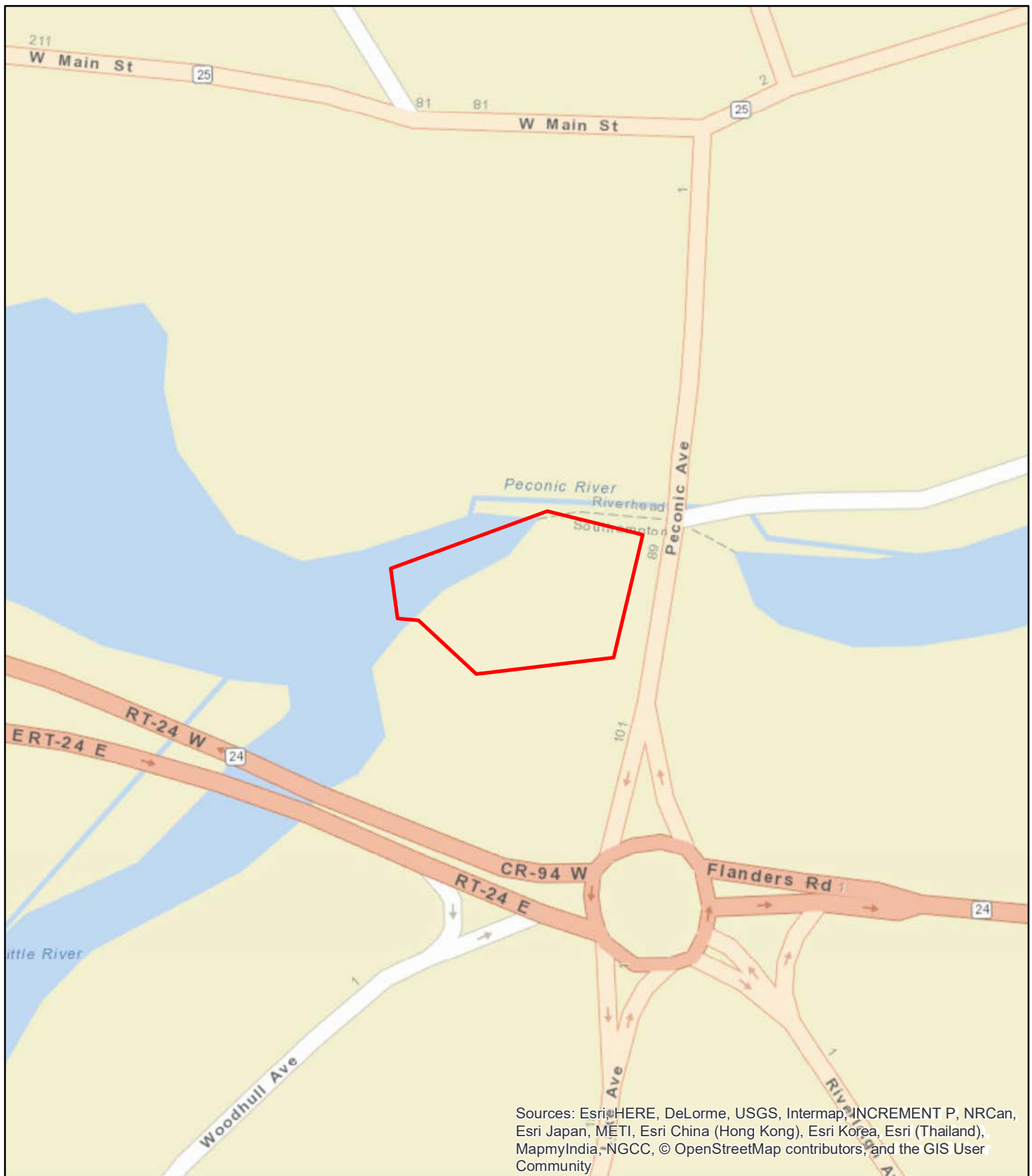
Permission is granted for inspection of property located at the following address(es):

89 Peconic Avenue
Riverside, NY 11901

*By signing this form, I affirm under penalty of perjury that I am authorized to give consent to entry by DEC staff as described above. I understand that false statements made herein are punishable as a Class A misdemeanor pursuant to Section 210.45 of the Penal Law.**

Thomas Fredette		8/20/20
Print Name and Title	Signature	Date

- *The signer of this form must be an individual or authorized representative of a legal entity that:
- owns fee title and is in possession of the property identified above;
 - maintains possessory interest in the property through a lease, rental agreement or other legally binding agreement; or
 - is provided permission to act on behalf of an individual or legal entity possessing fee title or other possessory interest in the property for the purpose of consenting to inspection of such property.



Sources: Esri, HERE, DeLorme, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), MapmyIndia, NGCC, © OpenStreetMap contributors, and the GIS User Community



NPV

FIGURE 1
LOCATION

Source: ESRI Web Mapping Service

Scale: 1 inch = 150 feet



89 Peconic Ave
Riverside

Article 24



NPV

FIGURE 2 AERIAL PHOTOGRAPH

Source: NYS Orthophotos, 2016

Scale: 1 inch = 100 feet



89 Peconic Ave
Riverside

Article 24



FIGURE 3
NYSDEC
WETLANDS MAP

Source: ESRI Web Mapping Service, NYSDEC
Freshwater & Tidal Wetlands Maps
Scale: 1 inch = 1,000 feet



89 Peconic Ave
Riverside

Article 24

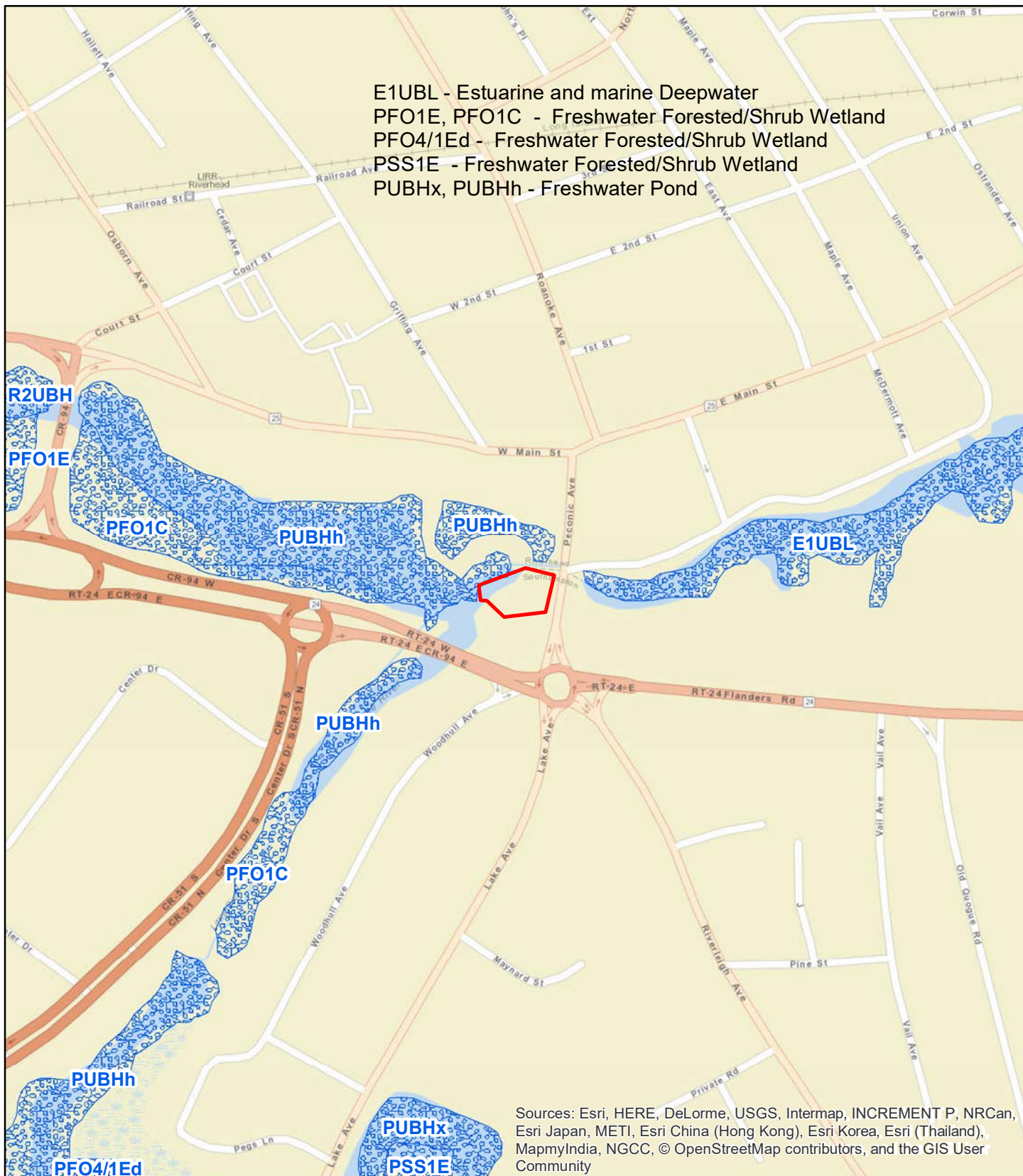


FIGURE 4 NATIONAL WETLANDS INVENTORY MAP

Source: ESRI Web Mapping Service, National Wetlands Inventory Map (NWI, USF&WService)
Scale: 1 inch = 500 feet



89 Peconic Ave
Riverside

Article 24



FIGURE 6
AERIAL IMAGERY AND PHOTO KEY
MAP

Source: NYS Orthophotos, 2016
 Scale: 1 inch = 100 feet



NPV

89 Peconic Ave
 Riverside

Article 24

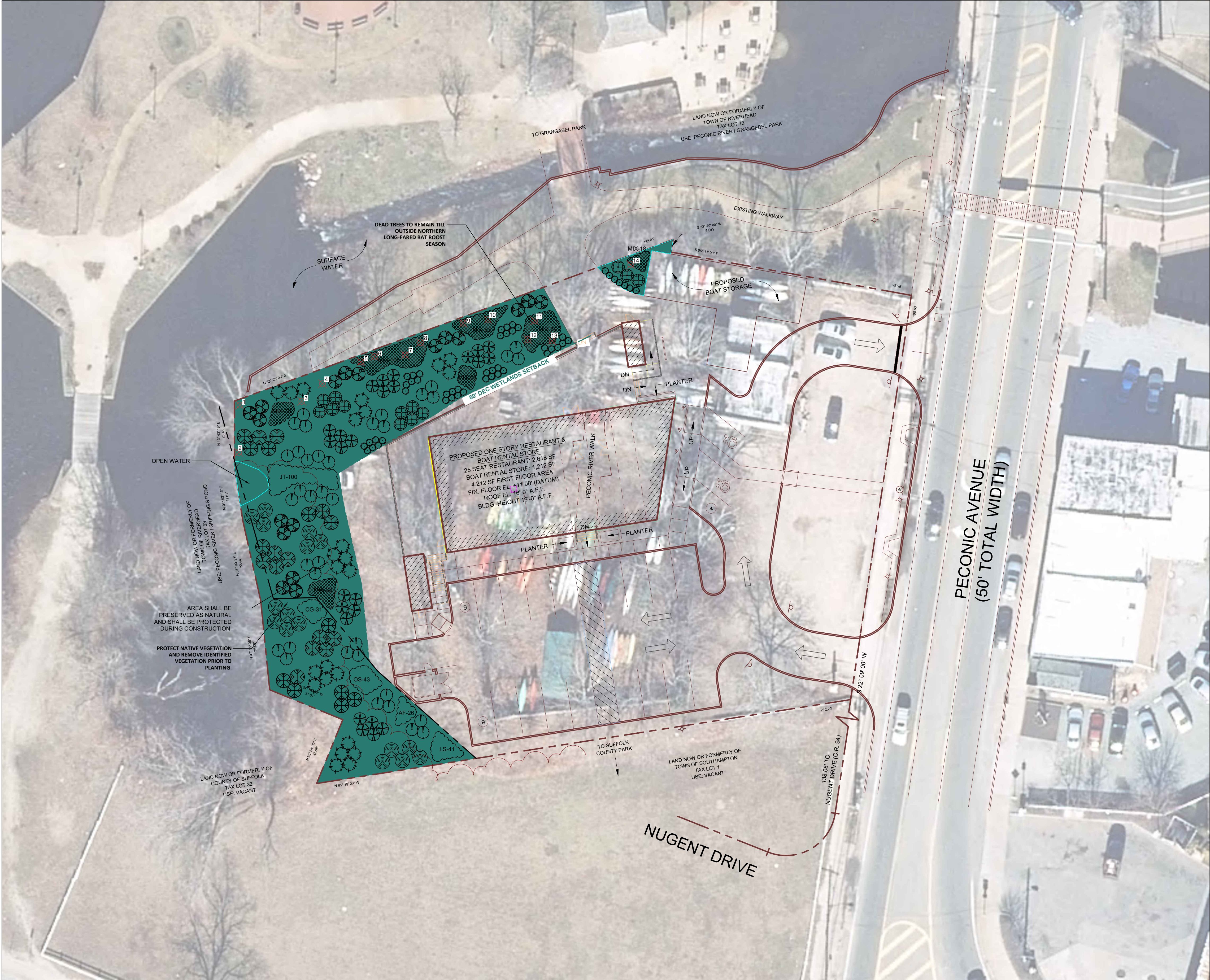

















NPV



PLANTING PLAN						
TYPE	ID	NUM BER	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
PERENNIALS		59	Actaea racemosa	Black Cohosh	1 QT	18" O.C.
		59	Aquilegia canadensis	Wild columbine	1 QT	18" O.C.
		59	Eurybia divaricata	White wood aster	1 QT	18" O.C.
		59	Helianthus divaricatus	Woodland sunflower	1 QT	18" O.C.
		59	Monarda didyma	Bee Balm	1 QT	18" O.C.
		59	Solidago caesia	Blue-stemmed goldenrod	1 QT	18" O.C.
PERENNIALS	CG	31	Chelone glabra	Turtlehead	1 QT	18" O.C.
	LS	41	Lobelia siphilitica	Great Blue Lobelia	1 QT	18" O.C.
	AF	26	Athyrium filix-femina	Lady Fern	1 QT	18" O.C.
	OS	43	Onoclea sensibilis	Sensitive Fern	1 QT	18" O.C.
RUSHES	JT	100	Juncus tenuis	Path Rush	1 QT	18" O.C.
SHRUBS		25	Aronia melanocarpa	Black Chokeberry	2 GAL	48" O.C.
		37	Clethra alnifolia	Sweetpepper Bush	2 GAL	48" O.C.
		16	Cephalanthus occidentalis	Buttonbush	2 GAL	48" O.C.
		24	Cornus sericea	Red-osier Dogwood	2 GAL	48" O.C.
		18	Ilex verticillata	Winterberry Holly	2 GAL	60" O.C.
		24	Salix discolor	Pussy Willow	2 GAL	60" O.C.
		49	Vaccinium angustifolium	Low Bush Blueberry	2 GAL	72" O.C.
		13	Viburnum acerifolium	Maple-leaf viburnum	2 GAL	60" O.C.

PLANTING PLAN - TREE REPLACEMENTS				
ID	EXISTING TREE	PROPOSED TREE	SIZE	SPACING
1	Robinia pseudoacacia (Black Locust)	Nyssa sylvatica (Black Gum)	7 GAL	AS SHOWN
2	Robinia pseudoacacia (Black Locust)	Acer rubrum (Red Maple)	7 GAL	AS SHOWN
3	Acer platanoides (Norway Maple)	Acer negundo (Boxelder)	7 GAL	AS SHOWN
4	Acer platanoides (Norway Maple)	Quercus bicolor (Swamp White Oak)	7 GAL	AS SHOWN
5	Acer platanoides (Norway Maple)	Acer rubrum (Red Maple)	7 GAL	AS SHOWN
6	Acer platanoides (Norway Maple)	Acer negundo (Boxelder)	7 GAL	AS SHOWN
7	Acer platanoides (Norway Maple)	Quercus bicolor (Swamp White Oak)	7 GAL	AS SHOWN
8	Acer platanoides (Norway Maple)	Acer negundo (Boxelder)	7 GAL	AS SHOWN
9	Acer platanoides (Norway Maple)	Acer rubrum (Red Maple)	7 GAL	AS SHOWN
10	Acer platanoides (Norway Maple)	Nyssa sylvatica (Black Gum)	7 GAL	AS SHOWN
11	Dead Tree	Quercus bicolor (Swamp White Oak)	7 GAL	AS SHOWN
12	Dead Tree	Acer rubrum (Red Maple)	7 GAL	AS SHOWN
13	Dead Tree	Nyssa sylvatica (Black Gum)	7 GAL	AS SHOWN
14	Acer platanoides (Norway Maple)	Acer rubrum (Red Maple)	7 GAL	AS SHOWN

- NOTES:
- All precautions shall be taken in carting, storing, and planting of materials to protect adjacent pavement and landscape areas.
 - Plants shall be true to species and variety specified and nursery-grown in accordance with good horticultural practices, unless specifically noted. All plants shall be of specimen quality. Exceptional heavy, symmetrical, free of disease and insects, eggs, or larvae, and shall have healthy well developed root systems. The owner or his representative reserves the right to tag, inspect and approve all plant materials and reject any plants found to be unacceptable at the nursery, at the site upon delivery, or upon installation.
 - All plants shall be labeled by plant name, labels shall be attached securely to all plants, bundles and containers when delivered.
 - Substitutions of plant materials will not be permitted unless authorized in writing by the Landscape Ecologist/Architect.
 - If there is a discrepancy between the plant list and the planting plan, the plan governs.
 - No fertilizer is to be used for planting.
 - Remove all twine, rope, wire, containers, labels and flagging on plants before completion. Dispose of all debris appropriately and sweep all surrounding pavements.
 - Planting shall have a 80% survival rate over the first two years.
 - Tree replacement are invasive species or dead trees. Dead trees shall be cut flush to the ground and stumps left after Northern Long-Eared Bat roost season. Invasive tree shall be cut to the ground and the stumps ground out after silt fence is placed and prior to all other landscape work.
 - New trees shall be planted near the stump of the removed tree with attention that the new tree is planted in soil and not a wood/soil mix from the removal of the invasive tree.
 - Remove and treat invasive species marked by Landscape Ecologist, protect remaining vegetation and supplement planting from planting plan.
 - During future inspections, careful review of the areas where the trees were located to identify and remove new saplings of Norway Maple and Black Locust.

No.	DATE	REVISION		
			WETLAND BUFFER PLAN	
			PECONIC RESTAURANT/PECONIC PADDLER	
			SITUATED AT	
			89 PECONIC AVE, RIVERHEAD	
			RIVERHEAD, SUFFOLK COUNTY, NEW YORK	
			DWN BY: CC	
			DATE: 08/20/2021	
			CHK'D BY: RS	
			JOB No: 17063	
			FILE No:	
			CADD: BASE	
			SCALE: 1" = 20'	
			SHEET: 1 OF 1	

MARCH 14, 2006
JANUARY 16, 2017 UPDATE SURVEY
JANUARY 23, 2018 ADD PUBLIC SPACE AREA

AREA = 42,001 sq. ft.
0.964 ac.

PREPARED IN ACCORDANCE WITH THE MINIMUM
STANDARDS FOR TITLE SURVEYS AS ESTABLISHED
BY THE L.I.A.L.S. AND APPROVED AND ADOPTED
FOR SUCH USE BY THE NEW YORK STATE LAND
TITLE ASSOCIATION.

UNAUTHORIZED ALTERATION OR ADDITION
TO THIS SURVEY IS A VIOLATION OF
SECTION 7209 OF THE NEW YORK STATE
EDUCATION LAW.

COPIES OF THIS SURVEY MAP NOT BEARING
THE LAND SURVEYOR'S INKED SEAL OR
EMBOSSSED SEAL SHALL NOT BE CONSIDERED
TO BE A VALID TRUE COPY.

CERTIFICATIONS INDICATED HEREON SHALL RUN ONLY TO THE PERSON FOR WHOM THE SURVEY IS PREPARED, AND ON HIS BEHALF TO THE TITLE COMPANY, GOVERNMENTAL AGENCY AND LENDING INSTITUTION LISTED HEREON, AND TO THE ASSIGNEES OF THE LENDING INSTITUTION. CERTIFICATIONS ARE NOT TRANSFERABLE.

THE EXISTENCE OF RIGHT OF WAYS
AND/OR EASEMENTS OF RECORD, IF
ANY, NOT SHOWN ARE NOT GUARANTEED

Successor To: Stanley J. Isaksen, Jr. L.S.
Joseph A. Ingegno L.S.

Title Surveys — Subdivisions — Site Plans — Construction Layout

PHONE (631)727-2090 Fax (631)727-1727

OFFICES LOCATED AT *MAILING ADDRESS*

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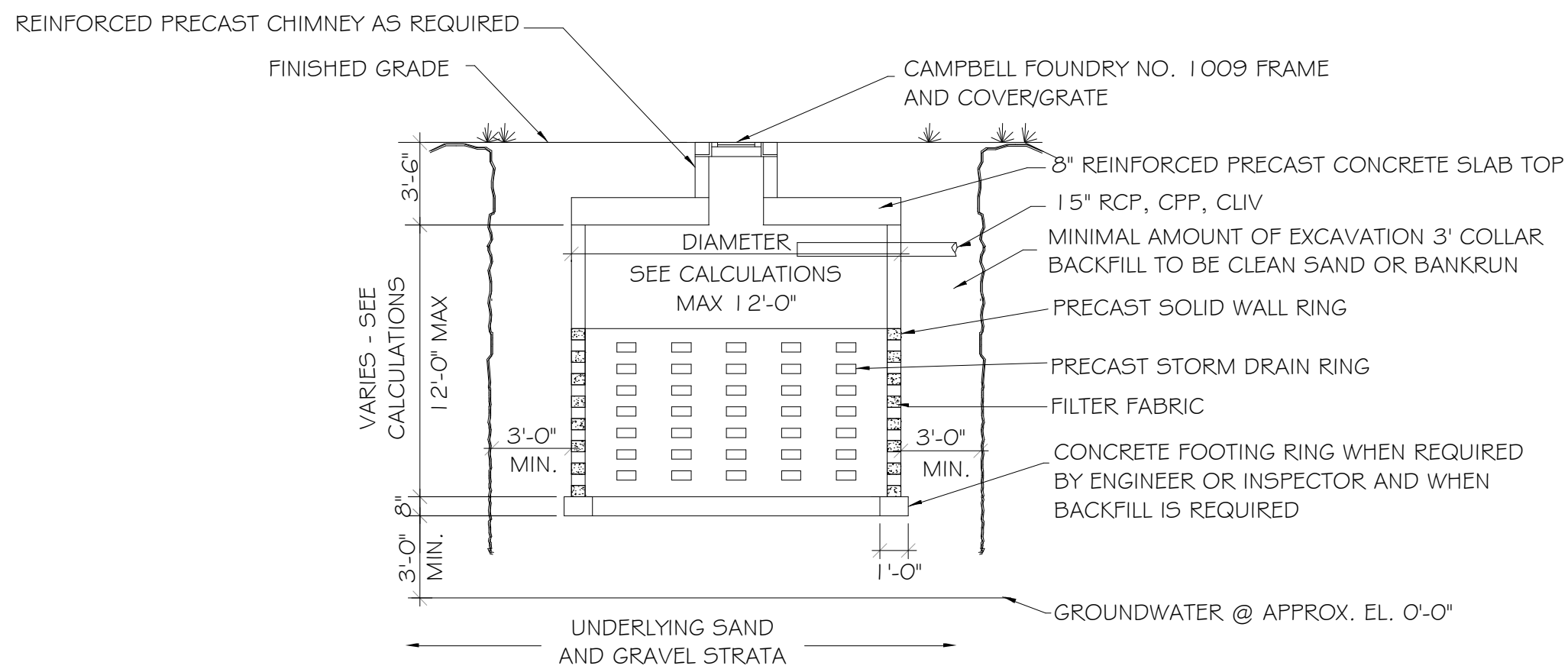
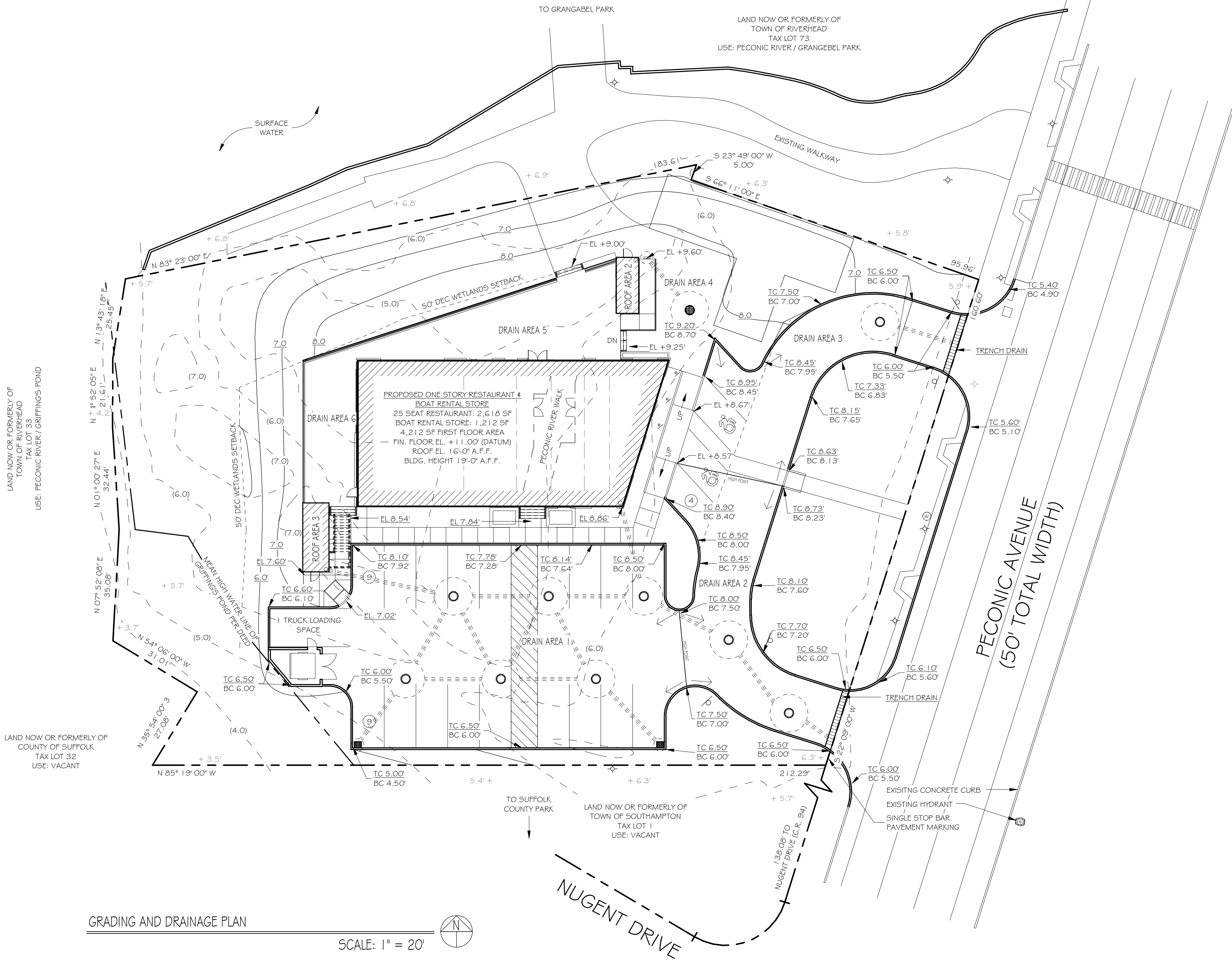
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Drawing Title

Site Plan

SCTM# 900 : 118 - 2 - 2	APP No:
SCDH5 No.:	JM2 PROJECT No: 2018-0091
ZBA CASE No:	DATE: 4/22/19
SEAL & SIGNATURE:	DESIGNED BY: TF
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	SCALE: As indicated
	DWG No:

C-1



LEACHING POOL (DRAINAGE DETAIL)

SCALE: 3/16" = 1'-0"
TOWN OF SOUTHAMPTON STANDARD SPECS, STANDARD FOR ALL NEW STORM DRAINAGE POOLS

TABLE 1106.2: SIZE OF VERTICAL CONDUCTORS AND LEADERS (2 INCH RAINFALL)		TABLE 1106.3: SIZE OF HORIZONTAL STORM DRAINAGE PIPING (2 INCH RAINFALL, 1/4" SLOPE)	
DIAMETER OF LEADER	HORIZONTALLY PROJECTED ROOF AREA	SIZE OF HORIZONTAL PIPING	HORIZONTALLY PROJECTED ROOF AREA
2"	1,440 SF	3"	2,320 SF
3"	4,400 SF	4"	5,300 SF
4"	9,200 SF	5"	9,440 SF
5"	17,300 SF	6"	15,100 SF
6"	27,000 SF	8"	32,600 SF
8"	58,000 SF	10"	58,400 SF

- CRITERIA:**
- DESIGN FOR 1.2" RAINFALL = .10
 - RUN-OFF COEFFICIENTS:
PAVED AND CONCRETE AREAS: 1.00
ROOF AREAS: 1.00
LANDSCAPED AREAS: 0.15
 - 12" DIA. STORM DRAIN RINGS @ 100.88 CF/IN CAPACITY
8" DIA. STORM DRAIN RINGS @ 42.24 CF/IN CAPACITY

DRAIN AREA 1
PAVING = 8,122.5 SF (1) (.10) = 812.25 CF
LANDSCAPE = 2,894.3 SF (.15) (.10) = 43.41 CF
ROOF AREA 3 = 180 SF (1) (.10) = 18.0 CF
= 873.66 CF

873.66 CF / 100.88 = 8.66 VF REQUIRED

THEREFORE USE (5) POOLS @ 12'-0" DIA. X 2'-0" EFFECTIVE DEPTH WITH REINF. TOP SLAB AND CI FRAME AND (2) INLET GRATES TO GRADE.

DRAIN AREA 2
PAVING = 2,232.44 SF (1) (.10) = 232.44 CF
LANDSCAPE = 3,230.9 SF (.15) (.10) = 48.46 CF
ROOF AREA 1 = 4,212 SF (1) (.10) = 421.20 CF
= 702.10 CF

702.10 CF / 100.88 = 6.96 VF REQUIRED

THEREFORE USE (2) POOLS @ 12'-0" DIA. X 4'-0" EFFECTIVE DEPTH WITH REINF. TOP SLAB AND CI FRAME AND INLET GRATE TO GRADE.

DRAIN AREA 3
PAVING = 2,078.3 SF (1) (.10) = 207.83 CF
LANDSCAPE = 3,556.2 SF (.15) (.10) = 53.34 CF
= 261.17 CF

261.17 CF / 100.88 = 2.58 VF REQUIRED

THEREFORE USE (1) POOLS @ 12'-0" DIA. X 3'-0" EFFECTIVE DEPTH WITH REINF. TOP SLAB AND CI FRAME AND INLET GRATE TO GRADE.

DRAIN AREA 4
PAVING = 1,756.5 SF (1) (.10) = 175.65 CF
LANDSCAPE = 774.0 SF (.15) (.10) = 11.61 CF
ROOF AREA 2 = 126 SF (1) (.10) = 12.60 CF
= 199.86 CF

199.86 CF / 100.88 = 1.98 VF REQUIRED

THEREFORE USE (1) POOL @ 12'-0" DIA. X 2'-0" EFFECTIVE DEPTH WITH REINF. TOP SLAB AND CI FRAME AND INLET GRATE TO GRADE.

DRAIN AREA 5
PAVING = 1,558.6 SF (1) (.10) = 155.86 CF
LANDSCAPE = 4,144.2 SF (.15) (.10) = 62.16 CF
= 218.02 CF

218.02 CF / 100.88 = 2.16 VF REQUIRED

THEREFORE USE (1) POOL @ 12'-0" DIA. X 3'-0" EFFECTIVE DEPTH WITH REINF. TOP SLAB AND CI FRAME AND INLET GRATE TO GRADE.

DRAIN AREA 6
PAVING = 825 SF (1) (.10) = 82.5 CF
LANDSCAPE = 6,171.6 SF (.15) (.10) = 92.57 CF
= 175.07 CF

175.07 CF / 100.88 = 1.74 VF REQUIRED

THEREFORE USE (1) POOL @ 12'-0" DIA. X 2'-0" EFFECTIVE DEPTH WITH REINF. TOP SLAB AND CI FRAME AND INLET GRATE TO GRADE.

KEY

TC	TOP OF CURB
BC	BOTTOM OF CURB
TG	TOP OF INLET GRATE
E	UNDERGROUND ELECTRICAL SERVICE LINE
W	DOMESTIC WATER SERVICE LINE (2" PIPE)
FM	FIRE MAIN LINE (6" PIPE)
T	UNDERGROUND TELEPHONE AND CABLE TV LINE
G	GAS SERVICE LINE
S	SEWER LINE
—	PROPOSED CONCRETE CURB
—	PROPOSED GRADE
—	EXISTING GRADE
—	EXISTING SPOT GRADE
→	TRAFFIC ARROW
→	SOIL BORING LOCATION
→	FLOW ARROW
→	STORM WATER CATCH BASIN INLETS
→	STORM WATER CATCH BASIN SOLID COVERS
→	EXISTING FIRE HYDRANT

STORM DRAINAGE NOTES

- ALL STORM DRAINAGE STRUCTURES SHALL BE LOCATED AS SHOWN ON SITE DIMENSIONING & GRADING PLAN AND SHALL BE OF A SIZE AND CONFIGURATION AS DESCRIBED IN STORM DRAINAGE CALCULATIONS, UNLESS OTHERWISE DIRECTED BY THE ARCHITECT.
- ALL WORK, MATERIALS, METHODS, ETC... SHALL BE IN STRICT ACCORDANCE WITH THE TOWN OF SOUTHAMPTON STANDARDS, S.C.H.D.S. REQUIREMENTS, NYS CODE, AND ALL OTHER CODES OF ALL AUTHORITIES HAVING JURISDICTION.
- IF SUBSURFACE SOIL CONDITIONS PERMIT, DESIGN PROFESSIONAL MAY PETITION THE TOWN OF SOUTHAMPTON TOWN ENGINEER TO WAIVE THE FOOTING RING REQUIREMENT.
- THE USE OF THE WORD "DOME" IN STORM DRAINAGE CALCULATIONS IS INTENDED TO MEAN SOLID WALL DOME, (UON). THE USE OF THE WORD "RING(S)" IS INTENDED TO MEAN STORM DRAINAGE LEACHING RING(S). THE VERTICAL HEIGHT OF THE RING(S) TO BE PROVIDED FOR EACH STORM DRAINAGE LEACHING POOL SHALL BE CONSTRUCTED OF THE LEAST NUMBER OF "RINGS" POSSIBLE TO ACHIEVE SPECIFIED HEIGHT.
- ALL STORM DRAIN RINGS(S), CIRCULAR SLABS, SHALLOW DOMES, SOLID WALL DOMES, SOLID WALL RING(S), CONCRETE COVERS, CONCRETE BOTTOMS, AND CHIMNEYS SHALL BE REINFORCED PRECAST 4000 PSI 28 DAY STRENGTH CONCRETE AND SHALL BE TRAFFIC BEARING.
- ALL CAST IRON FRAMES, INLET GRATES AND SOLID COVERS SHALL BE MANUFACTURED BY "CAMPBELL" OR APPROVED EQUAL.
- ALL INTERCONNECTING PIPE BETWEEN ON-SITE DRAINAGE STRUCTURES SHALL BE 15" R.C.P. (CLASS IV) OR 15" C.P.P. OR APPROVED EQUAL.
- UNDERGROUND STORM WATER PIPING (AND LEADER PIPING) WITHIN 5' OF EXTERIOR WALLS SHALL BE SERVICE WEIGHT C.I. PIPE.
- UNDERGROUND STORM WATER PIPING FROM BEYOND EXTERIOR WALLS OF BUILDING TO DRAINAGE STRUCTURE SHALL BE PVC SDR 35, ADS, OR APPROVED EQUAL.
- ELEVATIONS REFER TO TOWN OF SOUTHAMPTON DATUM
- CONNECTING PIPE BETWEEN DRAINAGE STRUCTURES IS MINIMUM 1/8" AND SHALL BE 15" DIA. REINFORCED CONCRETE PIPE CLIV OR CORRUGATED POLYETHYLENE PIPE.
- ROOF DRAINAGE SHALL BE CONNECTED TO PROPOSED DRAINAGE STRUCTURES W/ MINIMUM 6" PVC SDR 35 PIPING.
- MINIMUM 20' SEPARATION BETWEEN DRAINAGE STRUCTURES & SANITARY SYSTEM, 5' BETWEEN DRAINAGE STRUCTURES & PROP. LINE, 12' BETWEEN DRAINAGE STRUCTURES & BUILDING FOUNDATION, 12' BETWEEN LEACHING POOLS.
- GROUNDWATER ENCOUNTERED @ EL. 0'-0"
- NO SWIMMING POOL

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Revisions

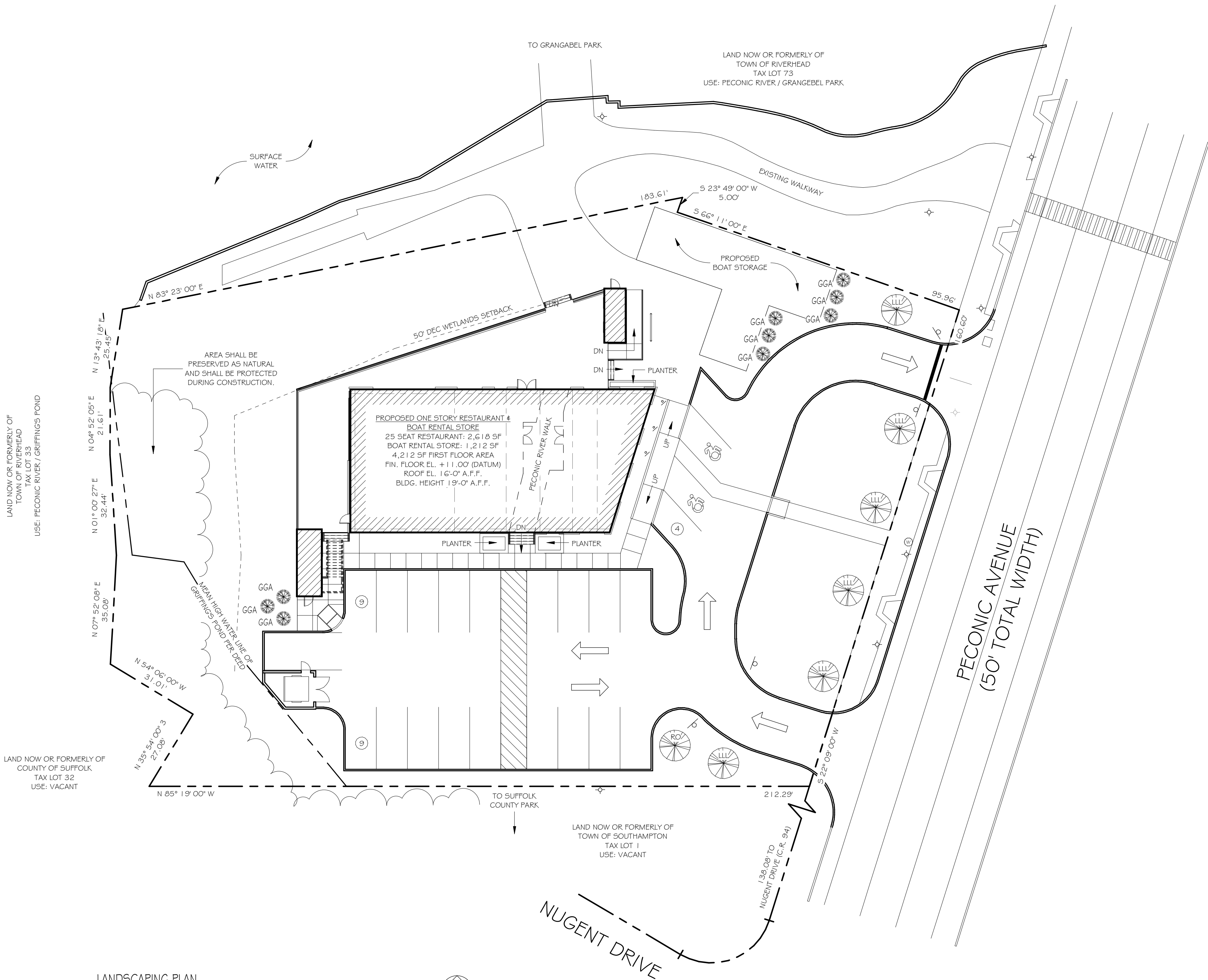
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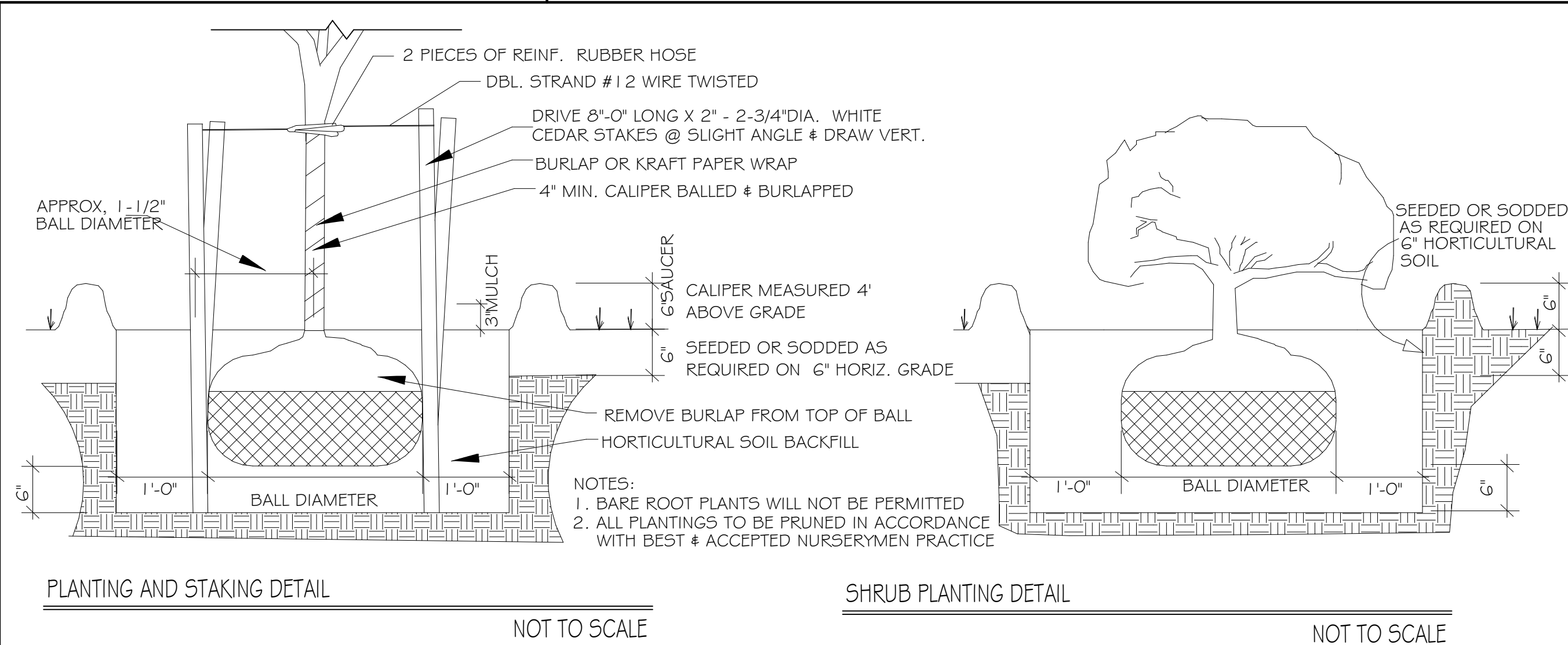
Drawing Title

Drainage and Grading

SCTM# 900 - 118 - 2 - 2	APP No:
SCDHS No.:	JM2 PROJECT No: 2018-0091
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SEAL & SIGNATURE:	DESIGNED BY: TF
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	SCALE: As indicated
	DWG No:
	C-2



LANDSCAPING PLAN
SCALE: 1" = 20'



PLANTING AND STAKING DETAIL NOT TO SCALE
SHRUB PLANTING DETAIL NOT TO SCALE

LANDSCAPE NOTES

1. ALL TREES AND SHRUBS SHALL BE FERTILIZED WITH SUPER PHOSPHATE (0-20-0) AT A RATE OF 3.0 OZ. PER TREE AND 1.0 OZ PER SHRUB.
2. NITROGEN FERTILIZERS SHALL NOT BE PERMITTED.
3. BARE ROOT PLANTS SHALL NOT BE PERMITTED.
4. ALL TOP SOIL SHALL BE A MINIMUM OF 6" DEEP.
5. ALL PLANTING BEDS SHALL RECEIVE A MINIMUM 3" OF SHREDDED BARK CHIP MULCH AND METAL EDGING AROUND THE BASE OF THE BED.
6. ALL NEW PLANTINGS SHALL BE PLACED AT THE DISCRETION OF THE LANDSCAPER AND SHALL ACHIEVE DESIGN DRAWING INTENT.
7. ALL NEW PLANTINGS SHALL BE PRUNED IN ACCORDANCE WITH THE BEST NURSERYMAN'S PRACTICE.
8. ALL NEW SOD SHALL BE KENTUCKY MERION, HYDRO-SEED SHALL BE FARMINGDALE MIX UNLESS OTHERWISE NOTED.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL QUANTITIES AND ANY DEVIATION FROM THE DESIGN DRAWING. ANY SUBSTITUTIONS SHALL BE REPORTED TO THE ARCHITECT AND OWNER FOR REVIEW AND APPROVAL.
10. ALL PLANTING BEDS SHALL BE CULTIVATED TO A MINIMUM DEPTH OF 8" AND RAKED TO REMOVE SOD CLUMPS, WEEDS, STONES, AND OTHER FOREIGN MATERIALS EXCEEDING 2" IN DIA.
11. ALL TREES TO BE REMOVED SHALL BE CUT TO A MIN. DEPTH OF 6" BELOW FINISH GRADE. CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT EXISTING TREES TO REMAIN AND IS RESPONSIBLE FOR REMOVAL SHALL INCUR ALL COSTS TO REPLACE OF EQUAL BOTANICAL SIZE AND SPECIES.
12. THE APPLICANT SHALL BE RESPONSIBLE FOR REPLACING ANY NEWLY PLANTED OR EXISTING TREE. SHRUB, OR VEGETATION UPON THEIR DEATH OR DISEASE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL EXCESS SOILS, PEAT MOSS, CONSTRUCTION DEBRIS, ETC. FROM THE SITE IN ACCORDANCE WITH TOWN OF SOUTHAMPTON STANDARDS.
14. AS PER T.O.S. STANDARDS ALL LANDSCAPED AREAS SHALL HAVE UNDERGROUND SPRINKLER SYSTEMS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSTALL A PERMANENT LAWN IRRIGATION SYSTEM IN ALL LANDSCAPED AREAS. PROVIDE MULTI-ZONES, VALVE BOXES, TIMERS, ETC. AND PROTECTION AGAINST FREEZING.

LANDSCAPE SCHEDULE

MARK	#	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
GGA	9	THUJA PLICATA GREEN GIANT	GREEN GIANT ARBORVITAE	5'-6" TALL	AS SHOWN
LLL	6	TILIA CORDATA	LITTLE LEAF LINDEN	4' CAL.	30'-0" O.C.

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Landscape

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C-3



EAST ELEVATION

SCALE: 3/16" = 1'-0"



SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

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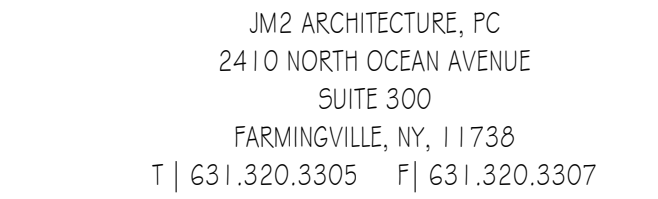
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Elevations

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SEAL & SIGNATURE:	DESIGNED BY: DA
	CHECKED BY: JM
	SCALE: 3/16" = 1'-0"
	DWG No:



C-6



Fredette Svendsen LLC
89 Peconic Avenue,
Riverhead, NY, 11901
631-384-1224

JM2 Architecture, PC
2410 North Ocean Ave, Suite 300
Farmingville, NY, 11738
631-320-3305

Nathan Taft Corwin III
1586 Main Road
Jamesport, NY, 11947
631-7227-2090

Peconic Restaurant /
Peconic Paddler

89 Peconic Avenue,
Riverhead, NY 11901

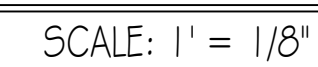
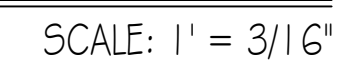
New Construction

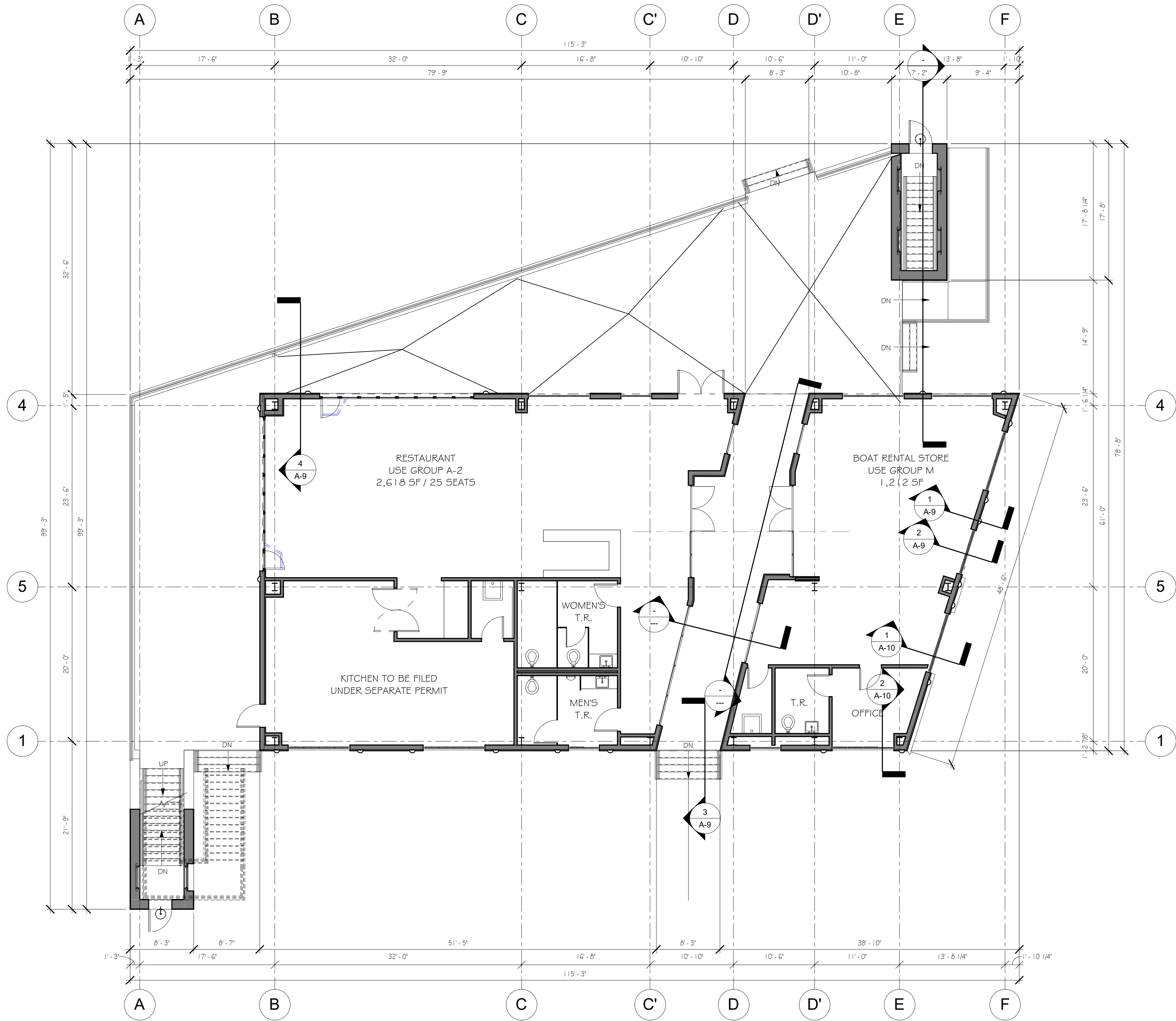
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AND AS SUCH ARE THE PROPERTY OF JM2
ARCHITECTURE, P.C. ANY UNAUTHORIZED USE OF THESE
DOCUMENTS IS IN A VIOLATION OF SECTION 7209
SUB-DIVISION 2 OF THE N.Y. STATE EDUCATION LAW.

Elevations

The seal is circular with a double-line border. The outer ring contains the text "REGISTERED ARCHITECT" at the top and "STATE OF NEW YORK" at the bottom, separated by two stars. The inner circle features a central crest with an eagle perched atop a shield, flanked by two figures. Below the crest is the number "023945". The name "JOHN LEE MAHER" is inscribed in an arc above the crest.

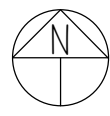
C-7





FIRST FLOOR EGRESS PLAN

SCALE: 1" = 1/8"



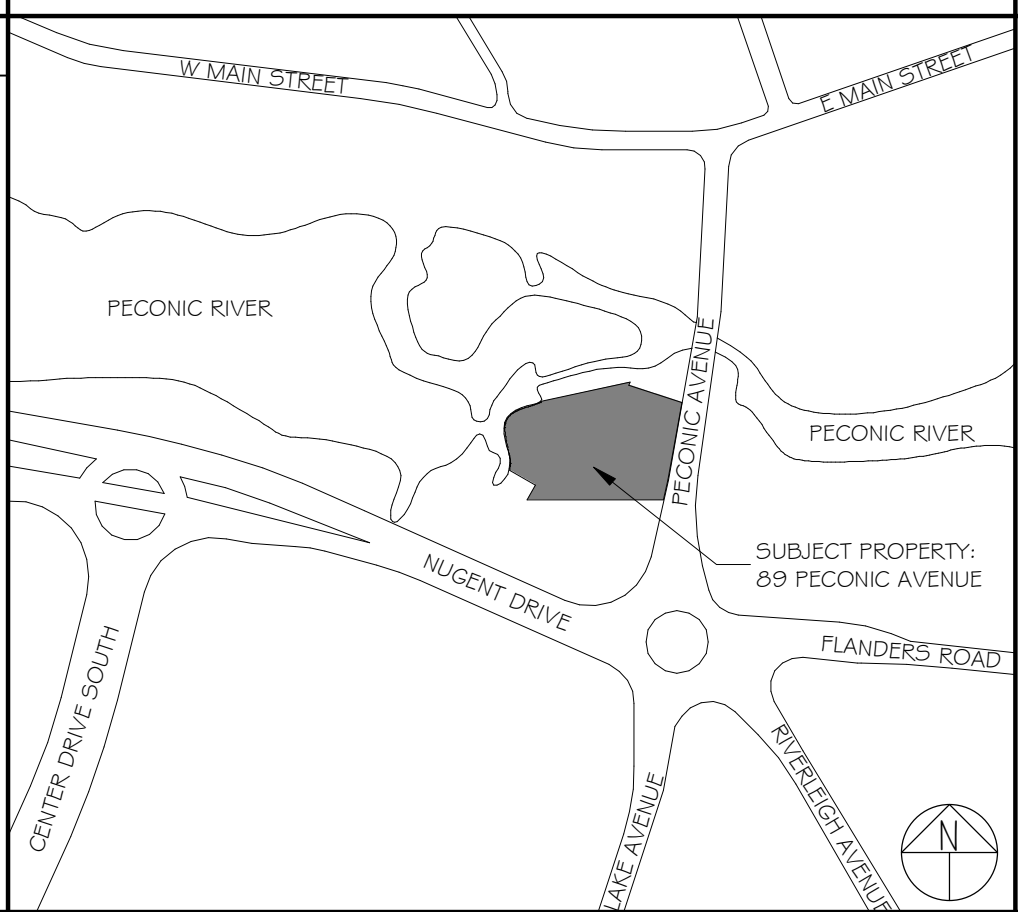
DRAWING LIST

KEY MAP

GENERAL BUILDING NOTES

FIRE PREVENTION NOTES

NUMBER	DESCRIPTION	NUMBER	DESCRIPTION
T-1	NOTES / EGRESS ANALYSIS		
A-1.1	FOUNDATION PLAN		
A-1.2	FOUNDATION DETAILS		
A-1.3	FOUNDATION NOTES & DETAILS		
A-2.1	DIMENSIONED FLOOR PLAN		
A-2.2	DETAILED FLOOR PLAN		
A-3	CEILING PLAN		
A-4	ELEVATIONS		
A-5	ROOF PLAN		
A-6	WALL TYPES		
A-7	SCHEDULES AND DETAILS		
A-8	WALL SECTIONS		
A-9	WALL SECTIONS		
A-10	WALL SECTIONS		
A-1.1	BUILDING SECTIONS		
A-1.2	WALL DETAILS		
S-1	STRUCTURE PLAN		
S-2	STRUCTURE NOTES AND DETAILS		
P-1	PLUMBING RISER DIAGRAMS		
P-2	PLUMBING FIXTURES		
P-3	ADA ACCESSIBILITY REQUIREMENTS		



1. ALL WORK SHALL COMPLY WITH THE '2015 INTERNATIONAL BUILDING CODE' AND ALL OTHER CODES OF ALL AUTHORITIES HAVING JURISDICTION.
2. ALL SUB-CONTRACTORS SHALL CHECK, VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK.
3. ALL MATERIALS AND CONSTRUCTION TO BE INCORPORATED INTO THE WORK SHALL BE IN STRICT ACCORDANCE WITH THE LATEST EDITION OF A.S.T.M. SPECIFICATIONS.
4. WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS AND DETAIL DRAWINGS OVER SMALL SCALE DRAWINGS.
5. THERE SHALL BE NO PROCESSES TO BE CONDUCTED IN THE BUILDING THAT WILL PRODUCE AIR CONTAMINATES WHICH MAY BE INJURIOUS TO THE HEALTH OF EMPLOYEES.
6. ELECTRICAL RECEPTACLES, LIGHTS AND OTHER EQUIPMENT SHALL CONFORM TO CODES HAVING JURISDICTION.
7. EXIT LIGHTING SHALL BE IN ACCORDANCE W/ SECTION 2702 OF THE 2015 INTERNATIONAL BUILDING CODE.
8. TENANTS AND OWNERS SHALL BE FULLY AWARE OF AND CONFORM TO ALL REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION.
9. INTERIOR FINISHES SHALL BE IN COMPLIANCE W/ THE 2015 INTERNATIONAL BUILDING CODE SECTION 803
10. GLAZING IN DOORS AND ADJOINING FIXED SIDE PANELS SHALL BE SAFETY GLASS IN CONFORMITY WITH THE 2015 INTERNATIONAL BUILDING CODE SECTIONS 714 & 2404.
11. NEW MECHANICAL SYSTEM TO PROVIDE COMPLETE COVERAGE IN ACCORDANCE WITH CHAPTER 28 OF THE 2015 INTERNATIONAL BUILDING CODE.
12. NO LOCKS OR FASTENINGS TO PREVENT FREE ESCAPE FROM INSIDE OF ANY BUILDING.
13. STRUCTURAL STEEL DETAILING, FABRICATION, AND ERECTION SHALL CONFORM TO THE AISC 'SPECIFICATION OF STRUCTURAL STEEL FOR BUILDINGS' LATEST EDITION WITH AMENDMENTS, AND THE CURRENT AISC 'CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS'

1. INTERIOR FINISHES ON WALLS AND CEILINGS SHALL BE MINIMUM CLASS B.
2. ADEQUATE ESCAPE FACILITIES SHALL BE MAINTAINED AT ALL TIMES THROUGHOUT THE BUILDING.
3. HANGINGS OR DRAPERIES SHALL NOT BE PLACED OVER EXIT DOORS OR OTHERWISE LOCATED AS TO CONCEAL OR OBSCURE ANY EXIT. MIRRORS SHALL NOT BE PLACED IN OR ADJACENT TO ANY EXIT OR ON EXIT DOORS.
4. FURNISHINGS OR DECORATIONS OF AN EXPLOSIVE OR HIGHLY FLAMMABLE CHARACTER SHALL NOT BE USED.
5. ALL FLOOR FINISHES SHALL BE AT LEAST CLASS 1 OR 2.
6. AS PER TABLE 508.4 OF THE 2015 INTERNATIONAL BUILDING CODE, THERE SHALL BE A 2-HR FIRE RATING BETWEEN B AND F-2 OCCUPANCIES.

PROFESSIONAL STATEMENT

PROFESSIONAL STATEMENT OF COMPLIANCE:
TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGEMENT THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE INTERNATIONAL ENERGY CONSERVATION CODE.

ALL DRAWINGS INCLUDED HEREIN, NOTES MENTIONED ON THIS DRAWING AS WELL AS ON THE VARIOUS DRAWINGS, INCLUDING THE WRITTEN SPECIFICATIONS SHALL FORM PART OF THE CONTRACT. THE ARCHITECT SHALL BE PROMPTLY NOTIFIED OF ANY DISCREPANCIES WITHIN THE DOCUMENTS FOR CLARIFICATION.

NOTE: UNLESS NOTED OTHERWISE, SECTION NUMBERS REFER TO APPLICABLE SECTIONS OF THE INTERNATIONAL BUILDING CODE. THE CM AND/OR CONTRACTOR SHALL REFER TO ALL REFERENCED CODE SECTIONS

BUILDING DATA

5.C.T.M.#: 900 - 118 - 2 - 2
PROPERTY ZONING: TOWN OF SOUTHAMPTON HIGHWAY BUSINESS DISTRICT
USE: MULTI-TENANT BUILDING: 25 SEAT RESTAURANT W/ BAR AND BOAT RENTAL STORE
SITE AREA: 42,001 SF (0.9642 ACRES)
FIRST FLOOR AREA: 4,212 SF
CELLAR AREA: 8,118 SF (AREA OF CONSTRUCTION)
AREA OF CONSTRUCTION: 8,118 SF
OCCUPANCY CLASS: A-2 (RESTAURANT) & MERCANTILE (M)
CONSTRUCTION CLASS: 2B (UNPROTECTED NON-COMBUSTIBLE, NON-SPRINKLERED)
MAX BUILDING HEIGHT: XX TO PARAPET

EXIT ANALYSIS:
AS PER TABLE 1017.2 OF THE 2015 INTERNATIONAL BUILDING CODE, THE MAXIMUM TRAVEL DISTANCE SHALL BE 200'-0" FOR AN A-2 (ASSEMBLY) OCCUPANCY & A M (MERCANTILE) OCCUPANCY.

AS PER TABLE 1006.3.1 OF THE INTERNATIONAL BUILDING CODE, THE MINIMUM NUMBER OF EXITS FOR SPACES WITH LESS THAN 500 PERSONS SHALL BE TWO (2), EXCEPT AS PROVIDED IN TABLE 1006.2.1 WHERE ONE EXIT IS PERMITTED.

AS PER TABLE 1006.2.1 OF THE INTERNATIONAL BUILDING CODE, THE TRAVEL DISTANCE SHALL NOT BE LESS THEN 100'-0" WHERE ONE (1) EXIT IS PROVIDED.

PLANS EXAMINERS NOTE

THE TOWN OF SOUTHAMPTON BUILDING PLANS EXAMINER SHALL REVIEW THE ENCLOSED DOCUMENTS FOR MINIMUM ACCEPTABLE PLAN SUBMITTAL REQUIREMENTS OF THE TOWN OF SOUTHAMPTON AS SPECIFIED IN THE BUILDING AND OR RESIDENTIAL CODE OF THE STATE OF NEW YORK. THIS REVIEW DOES NOT GUARANTEE COMPLIANCE WITH THAT CODE. THE SEAL AND SIGNATURE OF THE DESIGN PROFESSIONAL HAS BEEN INTERPRETED AS AN ATTESTATION THAT, TO THE BEST OF THE LICENSEE'S BELIEF AND INFORMATION, THE WORK IN THE DOCUMENT IS:

- ACCURATE
- CONFORMS TO GOVERNING CODES APPLICABLE AT THE TIME OF SUBMISSION
- CONFORMS WITH REASONABLE STANDARDS OF PRACTICE AND WITH VIEW TO THE SAFEGUARDING OF LIFE, HEALTH, PROPERTY AND PUBLIC WELFARE; &
- IS THE RESPONSIBILITY OF THE LICENSEE

OCCUPANT LOAD

AS PER TABLE 1004.1.2 OF THE 2015 INTERNATIONAL BUILDING CODE, OCCUPANCY LOADS ARE AS FOLLOWS:

A-2' ASSEMBLY (RESTAURANT) 2,618 SF / 15 SF/OCC = 174.5 OCCUPANTS
M' MERCANTILE 1,212 SF / 60 SF/OCC = 20.2 OCCUPANTS
TOTAL = 194.7 OCCUPANTS

IN ACCORDANCE W/ SECTION 1005.3.2 OF THE IBC, MINIMUM EGRESS WIDTH REQUIRED SHALL BE AS FOLLOWS:

A-2' ASSEMBLY (RESTAURANT) = 174.5 OCCUPANTS x 0.2 = 34.9', 3'-0" MIN. WIDTH, (2) EXITS PROVIDED
M' MERCANTILE = 20.2 OCCUPANTS x 0.2 = 4.04', 3'-0" MIN. WIDTH, (2) EXITS PROVIDED

ALLOWABLE BUILDING AREAS

THE FOLLOWING BUILDING AREA CALCULATIONS ARE IN ACCORDANCE WITH CHAPTER 5 OF THE 215 IBC. CONSTRUCTION CLASSIFICATION: 2B (FIRE RESISTIVE CONSTRUCTION)

If= (F/P - 0.25) (W/30)
If= (276.83 / 276.83 - 0.25) (30/30)
If= (1.00 - 0.25) (1)
If= .75

MERCANTILE 'M':
Aa= At + (Ns x If) x Sa
Aa= 12,500 + (12,500 x .75) x 1
Aa= 21,875 S.F.
ASSEMBLY 'A-2':
Aa= At + (Ns x If) x Sa
Aa= 9,500 + (9,500 x .75) x 1
Aa= 16,625 S.F.

16,625 S.F. SHALL BE THE MAXIMUM PERMISSIBLE AREA FOR A 2B CONSTRUCTION CLASSIFICATION
TOTAL BUILDING AREA PROPOSED IS 12,330 S.F. < 16,615 S.F.

EGRESS & FIRE SEPARATION NOTES

1. ALL PENETRATIONS IN FIRE RATED WALLS SHALL BE SEALED W/ 3M OR EQUAL SEALANT EQUAL TO REQUIRED FIRE RATINGS.
2. INCLUDE ALL UNDER OR ABOVE GROUND TIE-INS TO LOCAL UTILITIES. REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.
3. GENERAL CONTRACTOR TO PROVIDE TEMPORARY LIGHTING FOR WHOLE SPACE AND EMERGENCY LIGHTS AT ANY STAIR CONSTANTLY OPERATIONAL.
4. ALL METAL STUDS, IF LESS THAN 15'-0" IN HEIGHT, ARE TO BE 25 GA. UNLESS OTHERWISE NOTED. METAL STUDS THAT EXCEED 15'-0" IN HEIGHT ARE TO BE 20 GA. UNLESS OTHERWISE NOTED.
5. ALL METAL STUDS ARE 16" OC AND ALL GYP. BD. IS 5/8" THICK, U.O.N.
6. AS PER TABLE 1006.2.1 OF THE 2015 IBC, TRAVEL DISTANCE FOR SPACES WITH ONE EXIT SHALL NOT EXCEED 100'-0" FOR BUSINESS OCCUPANCY WITH OCCUPANT LOAD LESS THAN 30 PERSONS.

- FIRE EXTINGUISHER IN ACCORDANCE WITH THE INTERNATIONAL FIRE CODE
- PROPOSED CEILING OR WALL MOUNTED EXIT LIGHT. ARROW INDICATES DIRECTION AS REQUIRED
- EGRESS PATH W/ DIRECTION OF TRAVEL
- WALL MOUNTED EMERGENCY LIGHT W/ BATTERY BACK-UP.

Architect of Record:



Applicant:

Fredette Svendsen LLC
89 Peconic Avenue,
Riverhead, NY, 11901
631-384-1224

Architect of Record:

JM2 Architecture, PC
2410 North Ocean Ave, Suite 300
Farmingville, NY, 11738
631-320-3305

Surveyor:

Nathan Taft Corwin III
1586 Main Road
Jamesport, NY, 11947
631-7227-2090

Project Name

Peconic Restaurant /
Peconic Paddler

Project Address

89 Peconic Avenue,
Riverhead, NY 11901

Project Type

New Construction

Revisions

Issued for Review	11 - 07 - 18
Issued for Review	12 - 06 - 18
Revised per Owner	12 - 26 - 18
Issued for Review	02 - 26 - 19
Design Revised	03 - 21 - 19
Revised and Issued for Review	04 - 22 - 19
Elevations Issued for Town Review	05 - 22 - 19
Planning Board Review	06 - 27 - 19

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Drawing Title

Egress / Notes

SCTM# 900 - 118 - 2 - 2	APP No:
SCDHS No.:	JM2 PROJECT No: 2018-0091
ZBA CASE No:	DATE: 4/22/19
SEAL & SIGNATURE:	DESIGNED BY: TF
	CHECKED BY: JM
	SCALE: As indicated
	DWG No:
	T-1