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**COMPATIBLE GROWTH AREA (CGA) APPLICATION**  
**CENTRAL PINE BARRENS JOINT PLANNING & POLICY COMMISSION**

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**LONG ISLAND POWER AUTHORITY**  
**MEDFORD OPERATIONS CENTER OFFICE AND FLEET**  
**Medford, NY**

NPV No.08204

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**Prepared for:**

Central Pine Barrens Joint Planning & Policy Commission  
624 Old Country Road (County Route 31)  
Westhampton Beach, New York 11798  
Contact: Julie Hargrave  
(631) 218-1192

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**Prepared by:**



**NELSON POPE VOORHIS**  
*environmental • land use • planning*

70 Maxess Road  
Melville, NY 11747  
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**August 2023**

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CENTRAL PINE BARRENS JOINT PLANNING & POLICY COMMISSION**

**LONG ISLAND POWER AUTHORITY  
MEDFORD OPERATIONS CENTER  
Medford, NY**

*Prepared For:*

Julie Hargrave  
Central Pine Barrens Joint Planning & Policy Commission  
624 Old Country Road (CR 31)  
Westhampton Beach, New York 11798  
(631) 218-1192

*Prepared By:*

Carrie O'Farrell, AICP, Senior Partner  
Nelson, Pope & Voorhis, LLC  
70 Maxess Road  
Melville, New York 11747  
(631) 427-5665

**August 2023**



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**COMPATIBLE GROWTH AREA APPLICATION PACKET**  
**(Critical Resource Area)**

Dear Applicant:

We are enclosing the necessary forms for requesting review of a proposed development within the Compatible Growth Area that is in a **Critical Resource Area** pursuant to Volume 1, Chapter 4 of the Central Pine Barrens Comprehensive Land Use Plan. Enclosed please find the following items:

1. Transmittal Letter (2 pages)
2. General Project Data Sheet (2 pages)
3. Standards and Guidelines for Land Use (3 pages)

Please note that all forms must be completely filled out and all supporting documentation to show that your project meets the standards and guidelines must be attached. The completed application with the necessary supporting documentation will constitute your development application. Development projects proposed for the Compatible Growth Area of the Central Pine Barrens which are in a Critical Resource Area must meet all of the standards and guidelines as set forth in Volume 1 , Chapter 5, of the Central Pine Barrens Comprehensive Land Use Plan.

Additionally, the Transmittal Letter lists several specific items which must be submitted:

- A copy of any and all approvals that have been received to date
- Three copies of the final approved map or site plan including any required conditions or revisions.
- Copies of other maps or data that document and support the information presented in the attached forms.
- A final State Environmental Quality Review Act or finding statement and supporting documentation (Environmental Assessment Form, Draft and Final Environmental Impact Statements)
- A copy of the Suffolk County Planning Commission determination (if applicable) regarding this application.
- Completed and Notarized Owner's Affidavit (form attached) - only required if the applicant does not own the property.

As soon as your application has been received by the Commission and found to be complete, a hearing will be scheduled for your project. If you require further assistance in filling out your application, please feel free to contact Commission staff at 631-288-1079.



**COMPATIBLE GROWTH AREA APPLICATION  
TRANSMITTAL LETTER**

Dear Commissioners:

Please accept this package as an application for development review of the project known as

PSEG Long Island, Medford; Office and Fleet Parking and Maintenance Facility

submitted on August 14th, 2023 by PSEG Long Island, as Agent for the Long Island Lighting Company d/b/a LIPA, a wholly owned subsidiary of the Long Island Power Authority  
Date Applicant's Name

This project is located within the Compatible Growth Area of the Central Pine Barrens as described in Section 57-0107 of the New York State Environmental Conservation Law. I realize that this proposal must meet the Standards and Guidelines for Land Use as per the Central Pine Barrens Comprehensive Land Use Plan including the Final Generic Environmental Impact Statement filed June 12, 1995.

I believe that this project meets all of the standards and guidelines, and appropriate supporting documentation is included in this application. Please find below an explanation, and specific page references to the accompanying support materials, showing consistency with the standards and guidelines. I have also enclosed the required additional materials as noted below. I understand that it is important that I read the enclosed standards and guidelines thoroughly and that my application may be considered incomplete if an explanation is not provided for each of the items described therein and listed below.

In addition to the information noted above, the following requisite material has also been included in this packet: *(please check those items that are included)*

  X   A copy of any and all approvals that have been received to date

  X   Three copies of the final approved map or site plan including any required conditions or revisions.

  X   Copies of other maps or data that document and support the information presented in the attached forms.

  X   Forms pursuant to the State Environmental Quality Review Act or findings statement and supporting documentation (Environmental Assessment Form, Draft and Final Environmental Impact Statements)



N/A A copy of the Suffolk County Planning Commission determination (if applicable).

X Completed and Notarized Owner's Affidavit (form attached) - only required if the applicant does not own the property.

I understand that public hearing will be scheduled for this project once my application has been deemed complete.

Pasquale Di Silvestro  
(Applicant's Signature)

Pasquale Di Silvestro  
(Applicant's Name Printed)

I authorize the following individual to act as my agent throughout the review process for this application. Please contact them with all information pertaining to this matter.

Agent's Name, Address and Phone Number:

Pasquale Di Silvestro, Senior Manager- Facility Services

PSEG Long Island

175 East Old Country Road

Hicksville, New York 11801

Pasquale Di Silvestro  
(Agent's Signature)



**OWNER'S AFFIDAVIT**

*(use this form if property is owned by a corporation)*

STATE OF New York )

)ss:

COUNTY OF Suffolk )

I, Kenneth Cron, being duly sworn, deposes and says that I am the  
(Authorized Officer's Name)  
Member of the Country Fair Leasing LLC corporation  
(Official Title) (Landowner's Name)

located at 3351 Route 112, Medford, New York 11763,  
(Landowner's Address)

in the County of Suffolk, State of New York, and that

this corporation is the owner in fee of the property located at 3351 Route 112, Medford, NY 11763  
(Property Address)

\_\_\_\_\_, which is also designated as Suffolk County Tax

Map Number(s) 0200-574.00-02.00-016.000 & 017.001, and that


this corporation has been the owner of this property continuously since 12/14/2006,  
(Date)

and that I have authorized Nelson, Pope & Voorhis, LLC  
(Applicant's Name)

to make a permit application to the Central Pine Barrens Joint Planning and Policy Commission

for this property. I make this Statement knowing that the Central Pine Barrens Joint Planning

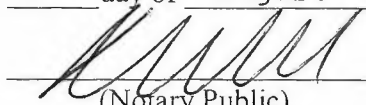
and Policy Commission will rely upon the truth of the information contained herein.

X   
(Authorized Officer's Signature)

Kenneth Cron  
(Officer's Name - Please Print)

8/8/2023  
(Date)

Sworn to before me this  
8th day of August 200 23

  
(Notary Public)

SAMUEL YEDID  
Notary Public, State of New York  
No. 02YE4647423

Qualified in Nassau County  
Commission Expires June 30, 2026 Page 5 of 10



**OWNER'S AFFIDAVIT**

*(Use this form if property is owned by a corporation)*

STATE OF New York )

)ss:

COUNTY OF Suffolk )

I, Kenneth Cron, being duly sworn, deposes and says that I am the  
(Authorized Officer's Name)  
Member of the 709 Cedarhurst Realty LLC corporation  
(Official Title) (Landowner's Name)

located at P.O. Box 366, Medford, New York 11763,  
(Landowner's Address)

in the County of Suffolk, State of New York, and that

this corporation is the owner in fee of the property located at 3351 Route 112, Medford, NY 11763  
(Property Address)

\_\_\_\_\_, which is also designated as Suffolk County Tax  
Map Number(s) 0200-574.00-02.00-016.000 & 017.000 3.001, and that

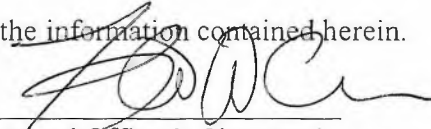
this corporation has been the owner of this property continuously since 8/16/2010,  
(Date)

and that I have authorized Nelson, Pope & Voorhis, LLC  
(Applicant's Name)

to make a permit application to the Central Pine Barrens Joint Planning and Policy Commission

for this property. I make this Statement knowing that the Central Pine Barrens Joint Planning

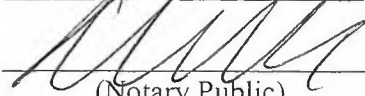
and Policy Commission will rely upon the truth of the information contained herein.

X   
(Authorized Officer's Signature)

Kenneth Cron  
(Officer's Name - Please Print)

8/8/2023  
(Date)

Sworn to before me this  
8th day of August 200 23

  
(Notary Public)

SAMUEL YEDID  
Notary Public, State of New York  
No. 02YE4647423  
Qualified in Nassau County  
Commission Expires June 30, 2026



**OWNER'S AFFIDAVIT**

*(use this form if property is owned by a corporation)*

STATE OF New York )

)ss:

COUNTY OF Suffolk )

I, Kenneth Cron, being duly sworn, deposes and says that I am the  
(Authorized Officer's Name)  
Member of the Country Fair Properties LLC corporation  
(Official Title) (Landowner's Name)

located at 3351 Route 112, Medford, New York 11763,  
(Landowner's Address)

in the County of Suffolk, State of New York, and that

this corporation is the owner in fee of the property located at 3351 Route 112, Medford, NY 11763  
(Property Address)

\_\_\_\_\_, which is also designated as Suffolk County Tax

Map Number(s) 0200-574.00-02.00-016.000 & 017.001, and that

this corporation has been the owner of this property continuously since 5/28/2001,  
(Date)

and that I have authorized Nelson, Pope & Voorhis, LLC  
(Applicant's Name)

to make a permit application to the Central Pine Barrens Joint Planning and Policy Commission

for this property. I make this Statement knowing that the Central Pine Barrens Joint Planning

and Policy Commission will rely upon the truth of the information contained herein.

X [Signature]  
(Authorized Officer's Signature)

Kenneth Cron  
(Officer's Name - Please Print)

8/8/2023  
(Date)

Sworn to before me this  
8th day of August, 20023

[Signature]  
(Notary Public)

SAMUEL YEDID  
Notary Public, State of New York  
No. 02YE4647423  
Qualified in Nassau County  
Commission Expires June 30, 2026



**COMPATIBLE GROWTH AREA APPLICATION  
PROJECT DATA SHEET**

<b>APPLICANT INFORMATION</b>	
Name (print)	PSEG Long Island
Address	175 East Old Country Road, Hicksville, New York, 11801
Phone/Fax	(800) 4 9 0-0025
Agent's Name	Pasquale Di Silvestro, Sr. Manager- Facility Service
Address	175 East Old Country Road, Hicksville, New York, 11801
Phone/Fax	(516) 454-4140
<b>PROJECT INFORMATION</b>	
Project Name	LIPA Medford Operations Center
Tax Map Number(s)	0200-574.00-02.00-016.000 & 017.001
Street Location	3351 Route 112 (Port Jefferson-Patchogue Road)
Hamlet & Town	Hamlet of Medford, Town of Brookhaven
Total Project Site Acreage	24.26± acres
Existing Land Use (vacant residence,etc)	Country Fair commerical amusement/entertainment facility
Present Zoning (if split please give areas within zone)	J Business 2 (J-2) General Business and A Residence 1 (A-1)
Project Description	See attachment A in project description on 1st page of Part I Environmental Assessment Form



<p align="center"><b>PERMIT INFORMATION</b></p> <p><b>(please note which permits or plans are required and why, if they have been received and as of what date)</b></p>	
State Environmental Quality Review Act (SEQRA) (please note if positive declaration, date of DEIS and FEIS, etc)	SCWA (water connection) Central Pine Barrens JPP Commission (Hardship Exemption) NYSDOT curb cut/road work/possible traffic signal
Town Permits - subdivision, site plan, tree clearing, variance, special permit (please note from which board)	
Project Plans Enclosed (site plan, subdivision, etc.) Including drainage or landscape plans	
NYS DEC - wetlands, WSR, mining, SPDES, etc.	SPDES General Permit for Stormwater Discharges from Construction Activity Stormwater Pollution Prevention Plan (SWPPP) approval
Suffolk County Department of Health Services - Article 6, 7, 12	SCDHS: (IA/OWTS sanitary)
Suffolk County Planning Commission	
If Project is in a Critical Resource Area please note which one and how project protects noted feature( <i>see Plan, Volume I, Chapter 4</i> )	



## STANDARDS AND GUIDELINES FOR LAND USE

<b>Standard (S)/Guideline (G)</b>		<b>Explanation and Document Page Reference (attach additional sheets if necessary)</b>
<b>S 5.3.3.1.1</b>	<b>Suffolk County Sanitary Code Article 6 compliance</b>	See Attachment B CLUB Standards & Guidelines Table
<b>S 5.3.3.1.2</b>	<b>Sewage treatment plant discharge</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.1.3</b>	<b>Nitrate-nitrogen goal</b>	See Attachment B CLUB Standards & Guidelines Table
<b>S 5.3.3.2.1</b>	<b>Suffolk County Sanitary Code Articles 7 &amp; 12 compliance</b>	See Attachment B CLUB Standards & Guidelines Table
<b>S 5.3.3.3.1</b>	<b>Significant discharges and public supply well locations</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.3.2</b>	<b>Private well protection</b>	See Attachment B CLUB Standards & Guidelines Table
<b>S 5.3.3.4.1</b>	<b>Nondisturbance buffers</b>	See Attachment B CLUB Standards & Guidelines Table
<b>S 5.3.3.4.2</b>	<b>Buffer delineations, covenants and conservation easements</b>	See Attachment B CLUB Standards & Guidelines Table
<b>S 5.3.3.4.3</b>	<b>Wild, Scenic and Recreational Rivers Act compliance</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.4.4</b>	<b>Additional nondisturbance buffers</b>	See Attachment B CLUB Standards & Guidelines Table
<b>S 5.3.3.5.1</b>	<b>Stormwater recharge</b>	See Attachment B CLUB Standards & Guidelines Table



<b>Standard (S)/Guideline (G)</b>		<b>Explanation and Document Page Reference</b> <i>(Attach additional sheets if necessary)</i>
<b>G 5.3.3.5.2</b>	<b>Natural recharge and drainage</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.5.3</b>	<b>Ponds</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.5.4</b>	<b>Natural topography in lieu of recharge basins</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.5.5</b>	<b>Soil erosion and stormwater runoff control during construction</b>	See Attachment B CLUB Standards & Guidelines Table
<b>S 5.3.3.6.1</b>	<b>Vegetation Clearance Limits</b>	See Attachment B CLUB Standards & Guidelines Table
<b>S 5.3.3.6.2</b>	<b>Unfragmented open space</b>	See Attachment B CLUB Standards & Guidelines Table
<b>S 5.3.3.6.3</b>	<b>Fertilizer-dependent vegetation limit</b>	See Attachment B CLUB Standards & Guidelines Table
<b>S 5.3.3.6.4</b>	<b>Native Plantings</b>	See Attachment B CLUB Standards & Guidelines Table
<b>S 5.3.3.7.1</b>	<b>Special species and ecological communitites</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.8.1</b>	<b>Clearing envelopes</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.8.2</b>	<b>Stabilization and erosion control</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.8.3</b>	<b>Slope analysis</b>	See Attachment B CLUB Standards & Guidelines Table



<b>Standard (S)/Guideline (G)</b>		<b>Explanation and Document Page Reference</b> <i>(Attach additional sheets if necessary)</i>
<b>G 5.3.3.8.4</b>	<b>Erosion and sediment control plans</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.8.5</b>	<b>Placement of roadways</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.8.6</b>	<b>Retaining walls and control structures</b>	See Attachment B CLUB Standards & Guidelines Table
<b>S 5.3.3.9.1</b>	<b>Receiving entity for open space dedications</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.9.2</b>	<b>Clustering</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.9.3</b>	<b>Protection of dedicated open space</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.10.1</b>	<b>Best management practices</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.11.1</b>	<b>Cultural resource consideration</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.11.2</b>	<b>Inclusion of cultural resources in applications</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.11.3</b>	<b>Protection of scenic and recreational resources</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.11.4</b>	<b>Roadside design and management</b>	See Attachment B CLUB Standards & Guidelines Table
<b>G 5.3.3.12.1</b>	<b>Commercial and industrial compliance with Suffolk County Sanitary Code</b>	See Attachment B CLUB Standards & Guidelines Table



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## ATTACHMENTS

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# ATTACHMENT A

## Part I Environmental Assessment Form (EAF)

### Project Description

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Project Description, excerpt from part 1 Environmental Assessment Form

Project Name: LIPA Medford Operations Center

Project Location: 3351 NY Route 112 (Port Jefferson-Patchogue Road) Medford, Town of Brookhaven, Suffolk County, NY 11763 (SCTM: 200-574-2-16 and 17.1)

Project Description

The proposed project involves a request for approvals for the conversion and redevelopment of the existing 24.26+/-acre Country Fair commercial amusement/entertainment facility to an administrative office, warehouse and maintenance/repair garage for fleet vehicles. The project includes conversion of an existing 10,690+/- square foot (SF) Country Fair recreational building to be adaptively reused as an administrative office building, construction of a 16,000+/- SF fleet garage and 21,000+/- warehouse for utility vehicles and materials. The project will also provide a total of 409 surface parking stalls including 252 standard vehicle parking spaces with required Americans With Disabilities Act (ADA) handicap spaces, 90 10 foot x 20 foot fleet parking spaces, and 55 15 foot x 40 foot fleet spaces, and 12 15 foot x 80 foot heavy duty fleet vehicle spaces as well as a fleet gas and diesel fueling station with above ground gasoline and diesel storage tanks equipped with fire suppression, secondary containment, vapor control and overfill protection equipment. Electric charging stations for employee vehicles and planning for additional future fleet charging stations will also be provided. Other site features include landscaping, outdoor lighting, facility signage, site fencing, guard booth, sidewalk, curbing, required drainage infrastructure and two onsite Innovative/ Alternative Onsite Wastewater Treatment Systems. The facility will accommodate 115+/- employees and 80-90 vehicles, create new construction and full-time jobs, and enhance and expedite routine and emergency electrical service capabilities in the area.



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## ATTACHMENT B

### Conformance to Central Pine Barrens CLUP Standards and Guidelines for Land Use

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Central Pine Barrens Comprehensive Land Use Plan  
Compatible Growth Area Standards and Policies  
Medford Operations Center

Standard (S)/Guideline (G)			Explanation and Document Page Reference
5.3.3.1 Nitrate-nitrogen			
S 5.3.3.1.1	Suffolk County Sanitary Code Article 6 compliance	All development proposals subject to Article 6 of the Suffolk County Sanitary Code shall meet all applicable requirements of the Suffolk County Department of Health Services. Projects which require variances from the provisions of Article 6 shall meet all requirements of the Suffolk County Department of Health Service's Board of Review in order to be deemed to have met the requirements of this standard.	All wastewater generated onsite will be treated and recharged into the ground using facilities that conform to SCSC Article 6 requirements. The proposed action includes the replacement of two existing onsite conventional septic systems with two new Innovative/Alternative Onsite Wastewater Treatment Systems (I/A OWTs). The proposed action site is located in the Central Pine Barrens Compatible Growth Area (CGA), Central Suffolk Special Groundwater Protection Area (SGPA), and SCDHS Groundwater Management Zone III (GMZ III). Under GMZ III standards, the project is permitted to use conventional onsite septic systems when the total density load of the land use is $\leq 7,278$ gpd based on 300 gpd/acre (43,560 SF). The total combined density load from the proposed project has been estimated to be just 2,598 gpd; therefore, conforming with SCSC Article 6 flow standards for individual onsite septic systems. The proposed I/A sanitary systems, however, will provide a superior level of treatment compared to the existing onsite conventional septic systems with a total anticipated nitrogen discharge concentration of $\leq 19$ mg/l and projected flow that is minimal based on SCDHS density standards (35-36% of the upper limit). The siting and design of the proposed I/A OWTs will be consistent with all applicable standards.
S 5.3.3.1.2	Sewage treatment plant discharge	Where deemed practical by the County or State, sewage treatment plant discharge shall be outside and downgradient of the Central Pine Barrens. Denitrification systems that are approved by the New York State Department of Environmental Conservation or the Suffolk County Department of Health Services may be used in lieu of a sewage treatment plant.	The Proposed Action will conform to SCSC Article 6 requirements, so that an STP is not necessary. It is acknowledged that the project's effluent will be recharged within the CGA and SGPA. However, the site's proposed I/A OWTs will be designed, sited and installed in conformance with all SCSC Article 6 and other applicable SCDHS requirements, thereby assuring that little impact to underlying groundwater quality will occur. As previously noted, the proposed action involves the abandonment of existing onsite conventional septic systems in accordance with SCDHS requirements and replacement of these systems with two I/A OWTs which will provide a superior level of treatment including the reduction of nitrogen loading from approximately 55-60 mg/l to $\leq 19$ mg/l. Overall wastewater discharge on the 24.26-acre property is minimal at just 2,598 gpd per day. Projected total onsite nitrogen loading from the Proposed Action is estimated to be 0.74 mg/l which much lower than the projected 1.95 mg/l from the current land use.
G 5.3.3.1.3	Nitrate-nitrogen goal	A more protective goal of two and one half (2.5) ppm may be achieved for new projects through an average residential density of one (1) unit per two (2) acres (or its commercial or industrial equivalent), through clustering, or through other mechanisms to protect surface water quality for projects in the vicinity of ponds and wetlands.	As noted above, the proposed action will replace existing onsite septic systems serving the current Country Fair use with two I/A OWTs with advanced nitrogen removal capabilities. Overall, wastewater loading from the proposed action will be just 2,598 $\pm$ gpd indicating a relatively small wastewater load for the 22.46-acre site. The proposed action also includes the restoration of 5.73 $\pm$ acres of the site including several acres of existing lawn to native pine barrens, oak-hickory forest, meadow and wet meadow habitats using native plant species, thereby restoring much of the site to a more-natural condition. Native plants will require no applications of fertilizer except during initial installation. The project will collect and recharge all stormwater runoff from a two-inch rainfall event onsite using a system of catch basins, subsurface leaching pools and the proposed wet meadow which will help to further reduce nitrogen that may be contained in onsite stormwater runoff. NPV conducted an analysis of existing and proposed nutrient loading at the site using its SONIR (Simulation Of Nitrogen In Recharge) microcomputer model which utilizes a mass balance approach to estimate existing and future nitrogen loads (see <b>Appendices D-1, D-2 and D-3</b> ). Based on this analysis, it was estimated that existing nitrogen loading is 1.95 $\pm$ mg/l and future predicted loading will be 0.74 $\pm$ mg/l indicating an overall reduction of 1.21 $\pm$ mg/l.
5.3.3.2 Other chemical contaminants of concern			
S 5.3.3.2.1	Suffolk County Sanitary Code Articles 7 & 12 compliance	All development projects must comply with the provisions of Articles 7 and 12 of the Suffolk County Sanitary Code, including any provisions for variances or waivers if needed, and all applicable state laws and regulations in order to ensure that all necessary water resource and wastewater management infrastructure shall be in place prior to, or as part of, the commencement of construction.	<p>These regulations concern water pollution control (Article 7) and storage of hazardous or toxic materials associated with industrial use (Article 12). The proposed action will include onsite storage of fuels needed to operate the proposed fleet and fleet facility and temporary storage of waste oil from vehicle maintenance and repair. The project will provide for proper storage and handling facilities for these substances, as well as procedures for their application by trained and certified personnel, as well as procedures for cleanup and disposal, in conformance with Articles 7 and 12 and pertinent County and State regulations.</p> <p>The project includes a temporary onsite fleet vehicle fueling station expected to consist of one (1) 20,000<math>\pm</math> gallon above ground gasoline storage tank and one 20,000<math>\pm</math> gallon above ground diesel fuel tank; however, pursuant to NYS Law, the</p>



Standard (S)/Guideline (G)			Explanation and Document Page Reference
			<p>utility’s fleet will be converted to all electric by 2030 and the requisite onsite EV charging stations will be installed. This will eventually and dramatically reduce if not eliminate the need for onsite gasoline and diesel fuel storage and dispensing. The proposed fueling facility will include all required secondary containment, overfill protection, tank vapor recovery and fire safety and suppression protections and will comply with all applicable Suffolk County Article 18, Petroleum Bulk Storage Permit requirements before receiving final approvals. Waste oil and oily water from vehicle maintenance will be collected and temporarily stored in a “Lube Cube” and/or indoors tank to prevent spills or accidental releases. The waste oil and related substances will be periodically picked up by a vendor, transported, and recycled or disposed of at an approved recycling and/or disposal facility.</p> <p>The proposed action site is not within any public Water Supply Sensitive Area which is defined by Article 7 as “areas in close proximity to existing or identified future public water supply wellfields” with “close proximity” defined as “within 1,500 feet upgradient or 500 feet downgradient of public water supply wells screened in the Upper glacial aquifer.” Based on an assessment of the closest SCWA wellfields (Patchogue-Port Jefferson Road, Fairmont Avenue, Beechnut Avenue and Race Avenue wellfields) the proposed action site is not within any public Water Supply Sensitive Area.</p>
5.3.3.3 Wellhead protection			
S 5.3.3.3.1	Significant discharges and public supply well locations	The location of nearby public supply wells shall be considered in all applications involving significant discharges to groundwater, as required under the New York State Environmental Conservation Law Article 17.	This standard restricts activities that could degrade the public water supply within a 200-foot radius of a public supply well. The location of four (4) existing public wells are outside the 200-ft buffer zone of the site. Furthermore, the proposed action will not have “significant discharge” to a point where it will impact a public water supply. The proposed action was further assessed relative to Article 7 Water Supply Sensitive Areas as noted above pursuant to Policy S 5.3.3.2.1 above.
G 5.3.3.3.2	Private well protection	The Suffolk County Department of Health Services’ guidelines for private wells should be used for wellhead protection.	The proposed action conforms to SCSC Articles 6, 7 and 12 and must demonstrate compliance with all SCDHS standards and requirements relating to wastewater and hazardous materials storage prior to approval. Overall, the proposed I/A systems are expected to improve overall conditions relative to wastewater disposal. Innovative/Alternative OWTs will be properly located and setback from private properties. The closest private property is Fairfield Villas which is 35’± north of the closest proposed I/A system, is up-groundwater-gradient from the proposed I/A systems based on groundwater table contours (Figure 7 of the EEAF) and is connected to public water. Overall projected sanitary flow is low for the 24.26-acre site and the I/A systems provide excellent wastewater treatment. Public water service is available to land uses along NYS 112, Cedarhurst Avenue, Granny Road, Villas Drive (Fairfield), Brookhaven Professional Center, and Addison Place (Medford Landing Sr. Apartments).
5.3.3.4 Wetlands and surface waters			
S 5.3.3.4.1	Nondisturbance buffers	Development proposals for sites containing or abutting freshwater or tidal wetlands or surface waters must be separated by a nondisturbance buffer area which shall be no less than that required by the New York State Tidal Wetland, Freshwater Wetland, or Wild, Scenic and Recreational Rivers Act or local ordinance. Distances shall be measured horizontally from the wetland edge as mapped by the New York State Department of Environmental Conservation, field delineation or local ordinance. Projects which require variances or exceptions from these state laws, local ordinances and associated regulations, shall meet all requirements imposed in a permit by the New York State Department of Environmental Conservation or a municipality in order to be deemed to have met the requirements of this standard.	<p>The proposed action site is not located near a tidal wetland. The closest feature, as listed by the NWI is a 0.15-acre freshwater pond, designated as PUBHx (an excavated man-made palustrine feature that is permanently flooded and has an unconsolidated bottom), located approximately 800 feet outside the easternmost border of the proposed action site but this feature is not mapped by the NYSDEC as a regulated wetland. Nevertheless, the pond is located outside of the standard 100-foot NYSDEC freshwater wetland adjacent area.</p> <p>The proposed action includes retention and supplementation of native vegetation in existing perimeter buffers and restoration of 5.73± acres of the site to forest, meadow and wet meadow using native plant species. Restoring the vegetative buffer around the site will improve native plant density and diversity, improving overall health and sightliness. Operations under the proposed project will not disturb the vegetation, with the exception of mowing the meadow that will occur every 3 – 5 years.</p>
S 5.3.3.4.2	Buffer delineations, covenants and conservation easements	Buffer areas shall be delineated on the site plan, and covenants and/or conservation easements, pursuant to the New York State Environmental	N/A; the proposed action site is not located within a conservation boundary or other protected area. The proposed action includes the restoration of 5.73± acres of previously cleared land to native woodlands, meadow and wet meadow, as well as removal and replacement of invasive plant species. An estimated 4.43± acres of existing native forest would



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		Conservation Law and local ordinances, shall be imposed to protect these areas as deemed necessary.	also be retained. The planned restoration and retained native forest are both located on the eastern portion of the site. Vegetation in this area is not able to expand beyond current values because of regular mowing and land uses of the occupant. Installation of the meadows on the interior of the site will grow to merge with the existing buffer, thus creating a more substantial buffer than currently exists.
S 5.3.3.4.3	Wild, Scenic & Recreational Rivers Act compliance	Development shall conform to the provisions of the New York State Wild, Scenic and Recreational Rivers Act, where applicable. Projects which require variances or exceptions under the New York State Wild, Scenic and Recreational Rivers (WSRR) Act shall meet all requirements imposed by the New York State Department of Environmental Conservation in order to be deemed to have met the requirements of this standard.	N/A; the proposed action site is not located within or adjacent to any WSRR boundary.
G 5.3.3.4.4	Additional nondisturbance buffers	Stricter nondisturbance buffer areas may be established for wetlands as appropriate.	N/A; the proposed action site is not located within or adjacent to any wetlands boundary. See also the response to Policy S 5.3.3.4.1 above.
5.3.3.5 Stormwater runoff			
S 5.3.3.5.1	Stormwater recharge	Development projects must provide that all stormwater runoff originating from development on the property is recharged on-site unless surplus capacity exists in an off-site drainage system.	<p>This standard requires that adequate drainage capacity be provided for retention and recharge of stormwater runoff generated on-site. All stormwater runoff generated on the proposed action site from a two-inch rainfall event will be captured on-site and recharged into the ground through a drainage system designed in conformance with the New York State Stormwater Management Design Manual. The proposed drainage system will have a maximum storage capacity of 113,547 CF of storage, while the anticipated volume from a two-inch rainfall event will be just 105,296 CF, thereby providing 8,251 CF of surplus storage capacity. Drainage for this proposed action includes a series of existing and proposed subsurface leaching pools and a wet meadow/vegetated swale to temporarily retain, treat, and recharge stormwater. The proposed wet meadow will provide additional nutrient uptake and soil filtration, as well as sequestration of stormwater pollutants such as metals.</p> <p>No runoff from developed surfaces will be allowed to exit the site, based on the stringent retention and design standards. The project's drainage system has been designed by a team of licensed professional engineers and will comply with all required SPDES General Permit for Construction Activity and a Stormwater Pollution Prevention Plan (SWPPP). The proposed stormwater design conforms to the intent of this standard and will be protective of the environment. See attached <b>Overall Grading and Drainage Plan</b>.</p>
G 5.3.3.5.2	Natural recharge and drainage	Natural recharge areas and/or drainage system designs that cause minimal disturbance of native vegetation should be employed, where practical, in lieu of recharge basins or ponds that would require removal of significant areas of native vegetation.	<p>The proposed action has been designed to minimize clearing of previously undisturbed natural vegetation, including clearing for the proposed drainage system that has been accounted for within the overall allowable clearing for the site and the previous development footprint. As a result, the proposed action will retain a total of 4.43± acres of natural woodland and augment it with 2.76± acres of additional planted woodland species for a total of 7.19± acres of native forest after restoration.</p> <p>The proposed development will also include the creation of a wet meadow and dry meadow where the driving range currently is by planting and seeding with native species. These meadows will have a combined total land area of 2.97± acres with the wet meadow serving as natural stormwater treatment, absorption and recharge area. The wet meadow will function as an intermediary between the impervious lot's drainage system and the remainder of the restoration area. The meadows will replace ground that was bare or lightly vegetated with non-native grass. The introduction of more substantial native grasses will improve soil stability and pollutant uptake for future runoff. The restored area will also serve as habitat for nearby wildlife.</p>
G 5.3.3.5.3	Ponds	Ponds should only be created if they are to accommodate stormwater runoff, not solely for aesthetic purposes.	N/A: the proposed action will not include construction of a pond. The proposed wet meadow is expected to be dry most of the time with periodic introductions of stormwater which should be quickly absorbed, transpired, evaporated or recharged into the ground.



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G 5.3.3.5.4	Natural topography in lieu of recharge basins	The use of natural swales and depressions should be permitted and encouraged instead of excavated recharge basins, whenever feasible	The proposed action does not include excavated recharge basins. The closest feature akin to a recharge basin is the existing driving range that will have its western side graded to be aligned with the development and its eastern side restored with native vegetation. The surrounding natural areas will retain their stormwater features; thus, the precipitation will move in the direction it has been for decades, but with additional native vegetation to supplement recharge. There are no significant topographic low areas throughout the site (the areas proposed for the majority of the redevelopment on the site have already been disturbed for human use), and the low areas that do exist are located within the wooded areas where they will remain undisturbed. The drainage system will utilize a combination of leaching pools and the meadow to retain, treat, reuse and recharge stormwater. As a result, the proposed stormwater design conforms to the intent of this standard.
G 5.3.3.5.5	Soil erosion and stormwater runoff control during construction	During construction, the standards and guidelines promulgated by the New York State Department of Environmental Conservation pursuant to state law, which are designed to prevent soil erosion and control stormwater runoff, should be adhered to.	An <b>Overall Grading and Drainage Plan</b> and <b>Erosion Control Plan</b> (attached) have been prepared and a SWPPP is required to further demonstrate that the post development condition will generate less stormwater than the pre-development condition. The SWPPP and erosion control plans are part of the project review process and would be employed during construction to ensure that impacts from soil erosion during and/or after the construction period do not occur. Additionally, a SPDES GP 0-20-001 permit will be obtained prior to the onset of construction of the proposed project, and the proposed action will comply with its requirements.
5.3.3.6 Natural vegetation and plant habitat			
S 5.3.3.6.1	Vegetation Clearance Limits	<p>The clearance of natural vegetation shall be strictly limited. Site plans, surveys and subdivision maps shall delineate the existing naturally vegetated areas and calculate those portions of the site that are already cleared due to previous activities. Areas of the site proposed to be cleared combined with previously cleared areas shall not exceed the percentages in Figure 5-1 [of the Plan]. These percentages shall be taken over the total site and shall include, but not be limited to, roads, building sites and drainage structures. The clearance standard that would be applied to a project site if developed under the existing residential zoning category may be applied if the proposal involves multi-family units, attached housing, clustering or modified lot designs. Site plans, surveys and subdivision maps shall be delineated with a clearing limit line and calculations for clearing to demonstrate compliance with this standard.</p> <p>To the extent that a portion of a site includes Core property, &amp; for the purpose of calculating the clearance limits, the site shall be construed to be the combined Core &amp; CGA portions. However, the Core portion may not be cleared except in accordance with Section 5.2 of the Plan.</p>	<p>The subject parcels were zoned in a mix of districts in 1995, when the CPB CLUP was adopted. In conformance with the policy of the CLUP, the individual acreages of the site, by zoning at that time, are to be combined to render an overall value for allowed clearing. In conformance with the allowable site clearance standards listed in Figure 5-1 of the CLUP, the overall maximum allowed site clearance for the proposed action site is 62.71%, or 15.21 acres (conversely, a minimum of 37.29% of the site, or 9.05 acres, would have to be preserved as natural). The business zone, J2, is allotted clearing of 65% whilst the residential lot, A1, is allotted clearing of 53%. Total permissible clearing on the property is 15.21 acres and the total existing clearing is 19.34 acres (+4.13 acres). An additional 0.5 acres of clearing is proposed for a total of 19.84 acres. This total puts the proposed development at 4.63 acres of clearing above the clearing standard requiring a Hardship Exemption from the CPBJPPC. However, as previously indicated, the proposed action includes 5.73 acres of total native plant restoration including 2.76 acres of native woodland species and 2.97 acres of native meadow species which will provide groundwater and ecological benefits. Adding the proposed plantings with existing forest to be retained (4.43 acres), a total of 10.16 acres of natural vegetation will be present on site which is 41.9 percent of the property. An additional 0.42 acres will be landscaping consisting mostly of grass. See attached table.</p> <p>It is noted that the entirety of the proposed action site is within the Compatible Growth Area of the Central Pine Barrens. Furthermore, the majority of the remaining natural existing pine barrens habitat within the property will not be developed. To the contrary, the existing pine barrens/oak-hickory habitat will be improved upon as the proposed action seeks to rid parts of the site of invasive and non-indigenous species and revegetate the understory and bare areas with native species.</p>
S 5.3.3.6.2	Unfragmented open space	<p>Subdivision and site design shall support preservation of natural vegetation in large unbroken blocks that allow contiguous open spaces to be established when adjacent parcels are developed. Subdivision and site designs should also be configured in such a way so as to prioritize the preservation of native pine barrens vegetation to the maximum extent practicable.</p> <p>For the purpose of this paragraph, native pine barrens vegetation shall include pitch pines and various species of oak trees, understory and ground cover plants such as blueberry, wintergreen, bearberry and bracken fern, grasses and sedges such as little bluestem, Pennsylvania</p>	<p>This standard concerns preservation of natural vegetation in large unbroken blocks to establish open spaces contiguous to on-site and, if possible, off-site property. The proposed action seeks to preserve the existing wooded areas and reclaim the eastern portion of the driving range as part of its restoration plan. The entire site (24.26± acres) has undergone several large-scale changes over the previous 60± years, most of which has been done on the J2 portion of the site (Country Fair Entertainment Park). The proposed action condenses the planned infrastructure to the previously developed portion of the site, so that the contiguity of the pitch pine-oak and coastal oak-hickory forests on and adjacent to the site are allowed to grow more freely than previously allowed.</p> <p>Additionally, the natural vegetation, consisting of mixed oak and various understory shrubs that exists on the eastern portion of the south parcel is disturbed. Current occupiers of the parcel have used that wooded acreage for impromptu storage and landscape dumping including grass clippings, twigs, branches, etc. These activities have caused damage to</p>



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		<p>sedge and Indian grass as well as those ecological communities listed in sections 5.6 and 5.7 in Chapter 5, Volume 2 of the Plan.</p> <p>It is recognized that the preservation of nonnative, but ecologically important habitats may be consistent with the intent and goals of the plan when such action would result in the creation of large contiguous natural open space areas and or the protection of rare, threatened or endangered species or their habitat.</p>	<p>the existing native pine barrens vegetation, staggered sapling growth, and allowed for the propagation of invasive species such as garlic mustard. The applicant seeks to improve this area through removal of existing debris and invasive plant species, then revegetate with native species.</p> <p>The Vegetation Clearance Limits in the CPB CLUP favor the placement of development in existing cleared areas in order to retain natural vegetation. This design strategy is implemented for the Applicant’s plan, so that spatial efficiency of the proposed development acknowledges the restrictive nature of allowable clearing (including the site which has already been cleared), whilst also emphasizing the need to create greater parcels of contiguous natural open space and wooded areas. By adhering to the proposed plans and these guidelines, the proposed action will result in a healthier, more contiguous pine barrens ecosystem.</p>
S 5.3.3.6.3	Fertilizer dependent vegetation limit	<p>No more than 15% of an entire development project site shall be established in fertilizer-dependent vegetation including formalized turf areas. Generally, nonnative species require fertilization; therefore, planting of such nonnative species shall be limited to the maximum extent practicable. The use of the nonnative plants in Figure 5-2 [of the Plan] is specifically not recommended.</p>	<p>No more than 15% of a project site shall be established in fertilizer-dependent vegetation. As the proposed action site is a total of 24.26± acres in size, up to 3.63± acres of landscaping that requires fertilization may be planted on this site. There are no plans for the development to approach this total, as the planted landscape will consist entirely of native or suitably adapted plants that require little to no fertilizer, with the exception of no more than 0.42 acres that may have grass/lawn and some ornamental species. There may be fertilizer required for the initial growth stage of the native vegetation to be restored on site to ensure establishment, but long-term use of fertilizer is not anticipated except for the 0.42 acres of landscaping.</p> <p>Landscape species consistent with the species list in Figure 5-2 (Planting Recommendations) of the CLUP will be used as part of the final site plan landscape design plans for all other plantings. The meadows and restoration areas will use native vegetation per CLUP standards. Typical landscape trees that are native to the area will be used in tree planters, parking islands and along property borders. Natural vegetation will be retained wherever possible. (see attached <b>Landscape Plan</b> for a full species list.)</p>
S 5.3.3.6.4	Native Plantings	<p>Development designs shall consider the native planting suggestions contained in Figure 5-2 [of the Plan].</p>	<p>Where pine barrens species are used in a landscape function, species listed in Figure 5-2 of the CPB CLUP will be used. See response to Policy S 5.3.3.6.3 above.</p>
5.3.3.7 Species and communities of special concern			
S 5.3.3.7.1	Special Species and Ecological Communities	<p>Where a significant negative impact upon a habitat essential to those species identified on the New York State maintained lists as rare, threatened, endangered or of special concern, or upon natural communities classified by the New York State Natural Heritage Program as G1, G2, G3 or S1, S2 or S3, or on any federally listed endangered or threatened species is proposed, appropriate mitigation measures as determined by the appropriate state, county or local government agency shall be taken to protect these species.</p>	<p>The NYNHP was contacted to determine if there is any record of rare, threatened or endangered species or unique ecological communities on or in the vicinity of the proposed action site. Correspondence from the NYNHP indicated the presence of one rare butterfly, one endangered salamander, one endangered bat, and three threatened plants in the vicinity of the proposed action site. The salamander requires freshwater ponds or wetlands for breeding, neither of which are found on the site. Potential bat habitat can be found on site, but these areas will remain undisturbed by the proposed action. As such, the proposed action is not expected to impact these species. In addition, prior field inspections and investigations conducted subsequent to receipt of the NYNHP letter (dated May 4<sup>th</sup>, 2023) did not reveal the presence of the butterfly or three threatened plants. Furthermore, the portion of the site to be redeveloped was previously cleared and no existing snags (dead or rotting trees) that might be used by the Northern Long-eared bat will be removed from the site. Based on the aforementioned, no endangered or threatened species are expected to be present in areas that would be disturbed on the proposed action site. As a result, no impacts are expected with respect to special species and/or ecological communities and the proposed action conforms to this standard. See also Section 2.3 of the EEAF.</p>
5.3.3.8 Soils			
G 5.3.3.8.1	Clearing envelopes	<p>Clearing envelopes should be placed upon lots within a subdivision so as to maximize the placement of those envelopes on slopes less than ten percent (10%).</p>	<p>The proposed action does not involve the subdivision of land. All slopes across the site are under ten percent. The portion of the site to be redeveloped was previously disturbed and graded. Additional minor grading is expected. The entirety of the construction will remain between 0 to 3 percent slope and 3 to 8 percent slope.</p>
G 5.3.3.8.2	Stabilization and erosion control	<p>Construction of homes, roadways and private driveways on slopes greater than ten percent (10%) may be approved if technical review shows that</p>	<p>An Erosion &amp; Sediment Control Plan has been prepared for the EEAF. Erosion prevention measures to be taken during construction will include groundcovers (seed, vegetative or artificial) minimizing the area of soil exposed to erosive</p>



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		sufficient care has been taken in the design of stabilization measures, erosion control practices and structures so as to mitigate negative environmental impacts.	elements at one time, installation of project limiting fencing, silt fencing, drainage inlet protection, stabilized construction entrances, and vehicle washout stations. Dust controls will also be employed (see <b>Erosion Control Plan</b> ). Soil removed during grading and excavation will be used as backfill (if it displays acceptable bearing capacity and leaching characteristics) to produce acceptable grading for construction and reduce export of excess material along area streets and highways. The proposed stormwater design conforms to the intent of this standard.  Applicable engineering standards and construction practices have been used in the design of the drainage system and NYSDEC SPDES permit review of stormwater control measures is expected. Under this program, a site-specific SWPPP must be prepared and submitted for review and approval prior to construction. Once the SWPPP has been prepared and accepted the Applicant will need to file a Notice of Intent with the NYSDEC to obtain coverage under the General Permit. Additionally, the General Permit requires that inspections of the construction site be performed under the supervision of a qualified professional to ensure that erosion controls are properly maintained during the construction period. As long as erosion is controlled during grading and construction, the potential for sediment transport will be minimal, and no significant loss of soil is expected, and the proposed action conforms to this standard.
G 5.3.3.8.3	Slope analysis	Project review is facilitated if submissions contain a slope analysis showing slopes in the ranges 0-10%, 11-15% and 15% and greater. In areas with steep slopes, slope analysis maps should be required. This can be satisfied with cross hatching or shading on the site plan for the appropriate areas.	The topography at the proposed action site is variable, with a mix of mostly flat to gently sloping terrain and some limited low areas of moderately steep man-made slopes (e.g., the golf driving range). Slopes range from approximately 0 to 8 percent gradients. There are no significant concerns associated with topography. See <b>Existing Conditions and Demolition Plan</b> for two-foot contour intervals or EEAF Figure 3 showing topography at one-foot contour intervals.
G 5.3.3.8.4	Erosion and sediment control plans	Erosion and sediment control plans should be required in areas of fifteen percent (15%) or greater slopes.	The entire site will be addressed in erosion and sediment control plans and the SWPPP, and preliminary plans have been prepared and included in the EEAF. The potential for erosion to occur during construction or after construction is completed will be controlled by implementing the proposed SWPPP, which will include engineered Erosion Control Plans as part of Site Plan review and controls will be implemented during construction as noted above under G 5.3.3.8.2.
G 5.3.3.8.5	Placement of roadways	Roads and driveways should be designed to minimize the traversing of slopes greater than ten percent (10%) and to minimize cuts and fills.	There are no slopes greater than ten percent on the proposed action site. Where the slopes may approach eight percent (highest found on the site) is located in an already developed part of the site that will require little movement of earth. As a consequence of this design policy, any need for cut or fill for the project’s internal roadways and parking is minimized.
G 5.3.3.8.6	Retaining walls and control structures	Details of retaining walls and erosion control structures should be provided for roads and driveways which traverse slopes greater than ten percent (10%).	There are no slopes greater than ten percent on the proposed action site and there are no plans or need for retaining walls. Erosion and sedimentation will be controlled through engineering design standards and the planting of native vegetation that will help stabilize the soil.
5.3.3.9 Coordinated design for open space management			
S 5.3.3.9.1	Receiving entity for open space dedications	Applications must specify the entity to which dedicated open space will be transferred.	No dedicated open space will be transferred as part of this development.
G 5.3.3.9.2	Clustering	Municipalities are strongly urged to maximize the use of the clustering technique where its usage would enhance adjacent open space or provide contiguous open space connections with adjacent open space parcels.	Clustering of the proposed development area is a central tenet of the proposed action, to allow for the protection of existing undisturbed forest and improvement of existing buffers of natural vegetation around the entire developed area. This action also enables the Applicant to revegetate previously used open spaced to establish a larger contiguous wooded area than previously existed.
G 5.3.3.9.3	Protection of dedicated open space	Proposed open space should be protected with covenants, conservation easements or dedications that specify proper restrictions on its use and contingencies for its future management.	No covenant, conservation easement, or dedication is part of the proposed plan at this time. As previously noted, the project sponsor plans to restore 5.73± acres of the site to a more natural condition by planting native pine barrens, oak-hickory, meadow and wet meadow species.
5.3.3.10 Agriculture and horticulture			
G 5.3.3.10.1	Best Management Practices	Any existing, expanded, or new activity involving agriculture or horticulture in the Compatible Growth Area should comply with best management practices as defined herein and relevant requirements including local law. Best management practices are, for purposes of this Plan, the same practices stated in the most recent version of <i>Controlling Agricultural Nonpoint Source Water Pollution in New York State</i> (Bureau of	The proposed action involves the establishment of an administrative office building and fleet maintenance, repair, fueling and parking facility. No new or expanded agricultural or horticultural uses are proposed.



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		Technical Services and Research, Division of Water, New York State Department of Environmental Conservation, 1991 and as later amended).	
5.3.3.11 Scenic, historic and cultural resources			
G 5.3.3.11.1	Cultural resource consideration	<p>Development proposals should account for, review, and provide protection measures for:</p> <ol style="list-style-type: none"><li>1. Established recreational and educational trails and trail corridors, including but not limited to those trail corridors inventoried elsewhere in this Plan.</li><li>2. Active recreation sites, including existing sites and those proposed as part of a development.</li><li>3. Scenic corridors, roads, vistas and viewpoints located in Critical Resource Areas, and along the Long Island Expressway, Sunrise Highway, County Road 111 and William Floyd Parkway.</li><li>4. Sites of historical or cultural significance, including historic districts, sites on the State or National Registers of Historic Places, and historic structures listed on the State or National Registers of Historic Places, or recognized by local municipal law or statute.</li><li>5. Sensitive archaeological areas as identified by the New York State Historic Preservation Office or the New York State Museum.</li></ol>	<p>The proposed action site is currently used by Country Fair as a commercial entertainment facility including mini golf course, go kart track, batting cages, driving range, laser tag area, arcade and other related uses. The property owners have decided to discontinue this use and sell the property to an essential utility provider for use as a centralized office and fleet maintenance and fueling facility. Inspections of the proposed action area did not reveal the existence of any authorized recreational or educational trails or trail corridors on the proposed action property. The short existing trails in the wooded area in the southeast portion of the site are the result of impromptu storage and landscape dumping by previous owners. This area will be revegetated as part of the proposed action.</p> <p>The site does not contain any scenic corridors, roads, vistas, or special viewpoints and is not located within any pine barrens Critical Resource Area. Sites of historical significance or cultural significance as designated by the State or Federal Registers are not found in or immediately adjacent to the proposed action area. A map prepared by the NYS Parks, Recreation, and Historic Preservation National Register Listing Internet Application showed that no portion of the proposed action site overlaps with an archeologically sensitive area. Furthermore, this map identified that no current listing, listing in progress, or federally eligible resource is on or in the vicinity of the proposed action. This finding of no impact will be confirmed by the NY State of Historic Preservation Office (SHPO).</p>
G 5.3.3.11.2	Inclusion of cultural resources in application	<p>Development proposals should note established recreation and educational trails and trail corridors; active recreation sites; scenic corridors, roads, vistas and viewpoints located in Critical Resource Areas and undisturbed portions of the roadsides of the Long Island Expressway, Sunrise Highway, County Road 111 and William Floyd Parkway; sites on the State or National Register of Historic Places, and historic structures and landmarks recognized by municipal law or statute, or listed on the State or National Registers of Historic Places; and sensitive archaeological areas as identified by the New York State Historic Preservation Office or the New York State Museum within a five hundred (500) foot radius of the outside perimeter of the project site, including any project parcels which are physically separate from the bulk of the proposed development area.</p> <p>A development proposal may be disapproved or altered if the local municipality determines that the development proposal, in its current form, may have a significant negative impact on any of the above resources.</p>	<p>N/A; Based on a review of New York State Office of Parks, Recreation and Historic Preservation’s (OPRHP’s) Cultural Resources Information System (CRIS), the proposed action site is not within a designated historic district or archaeological buffer area, and there are no onsite or contiguous “listed” or “eligible” National and/or State Register of Historic Places structures or landmarks on or contiguous with the proposed action site.</p>
G 5.3.3.11.3	Protection of scenic and recreational resources	<p>Protection measures for scenic and recreational resources should include, but not be limited to, retention of visually shielding natural buffers, replacement of degraded or removed natural visual buffers using native species, use of signs which are in keeping in both style and scale with the community character, and similar measures.</p>	<p>Project design will retain substantial natural vegetation buffers around the site boundaries – slightly more than half of the northern boundary (eastern portion) adjacent to the multifamily complex, entire eastern boundary along Cedarhurst Avenue, and approximately half of the existing southern boundary (eastern portion) will be retained in its existing state. The proposed action is designed to have no effect in these areas, as construction and operations will not be conducted in their vicinity.</p> <p>The current vegetative border along NYS Route 112 is minimal and dotted by landscaped species such as Colorado Blue Spruce and Weeping Willows. The western half of the southern boundary adjacent to the Brookhaven Office complex is dotted by trees with varying degrees of health. This portion of the site is fragmented, and the result of historical clearing over the years. The proposed seeks to create evergreen screening buffers in these areas where they previously did not</p>



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			exist. This action will provide those driving on NYS Route 112 with an attractive green buffer where the previous views were an unoccupied residential property and a berm dotted with landscaped trees in addition to providing coverage from the operations at the proposed site. See also the response to Policy G 5.3.3.11.1 above.
G 5.3.3.11.4	Roadside design and management	Undisturbed portions of the roadside should be maintained in a manner that protects the scenic features of these areas. Clearing (including that for aisles, driveways, access and parking) is not precluded within these roadside areas, provided that appropriate buffers are maintained, and that manmade structures meet standards consistent with the character of the area.	<p>The developed portion of the project has been condensed into the western side of the site where most woodland clearing has already occurred. The eastern side of the site will remain uncleared in order for the existing wooded area to be restored and increase in density. As such, it will continue to be a roadside buffer along Cedarhurst Ave.</p> <p>NYS 112 is a thoroughfare that borders the western edge of the site where a berm featuring a number of non-native landscaped trees are present. There is one existing site entrance, and the plans seek to create a second entrance farther south along NYS 112. During construction, the site will be more visible than it was prior as the existing non-native trees and berm will be removed and regraded, respectively. This will be performed to make way for access and parking. However, the plans include restoring the berm and planting trees such as Pin Oak and a variety of understory shrubs such as mountain laurels. Thus, the plans will conform to standards as the appropriate buffers will be installed and maintained in addition to the character of the site being consistent with the surrounding area.</p>
5.3.3.12 Commercial and industrial development			
S 5.3.3.12.1	Commercial and industrial compliance with Suffolk County Sanitary Code	All commercial and industrial development applications shall comply with the provisions of the Suffolk County Sanitary Code as applied by the Suffolk County Department of Health Services, and all other applicable federal, state or local laws. Projects which require variances from the provisions of the Suffolk County Sanitary Code shall meet all requirements of the Department of Health Service's Board of Review in order to be deemed to have met the requirements of this standard.	The proposed action will comply with applicable requirements of Suffolk County Sanitary Code Articles 6, 7, and 12.

EXISTING AND PROPOSED CLEARING AND VEGETATION TABLE

Permitted Clearing	Lot Area (acres)	Permitted Clearing (%)	Existing Clearing Permitted (acres)	Existing Clearing (acres)	Area Over/ Under Cleared (+/-)	Proposed Clearing (acres)	Proposed Native Revegetation (2.76 acres Forest; 2.97 acres Meadow)	Existing Woods to Remain (acres)	Proposed Disturbance (acres)	Future Natural Planted (acres)	Land-scaping (acres)	Total Vegetation (acres)
J2	19.61	0.65	12.75	18.22	5.47	0.11		0.91	18.33		0.42	
A1	4.64	0.53	2.46	1.12	1.34	0.39		3.52	1.51			
Total	24.25	62.70%	15.21	19.34	4.13	-0.50	5.73	4.43	19.84	10.16	0.42	10.58



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# ATTACHMENT C

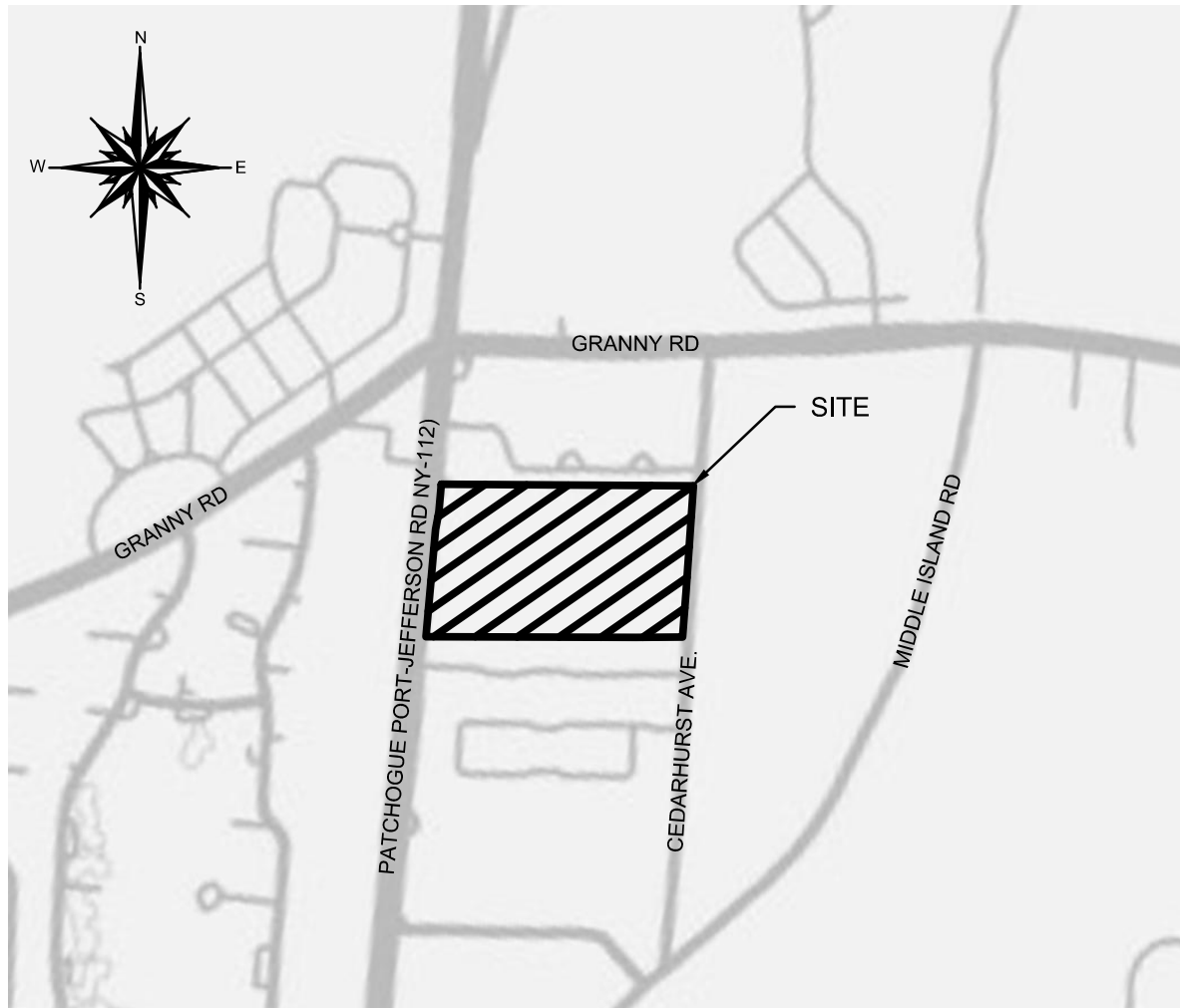
## Transmittal Letter Attachments

### Maps, Site Plan and Data

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PROPOSED LIPA / PSEGLI  
OPERATION CENTER  
SITUATED AT  
3351 NY-112  
MEDFORD, NY 11763  
TOWN OF BROOKHAVEN,  
SUFFOLK COUNTY, NEW YORK



SHEET INDEX		
DRAWING No.	SHEET No.	DRAWING NAME
C-100	1	COVER SHEET
C-101	2	OVERALL ALIGNMENT PLAN
C-102	3	EXISTING CONDITIONS & DEMOLITION PLAN
C-103	4	OVERALL GRADING & DRAINAGE PLAN
C-104	5	WATER QUALITY CALCULATIONS
C-105	6	OVERALL UTILITY PLAN
C-106	7	LIGHTING PLAN
LA-101	8	LANDSCAPE PLAN
LA-102	9	LANDSCAPE DETAILS
C-107	10	EROSION CONTROL PLAN
EA-101	11	EARTH WORK PLAN

BOUNDARY FROM SURVEY PREPARED BY NELSON AND POPE  
DATED SEPTEMBER 02, 2022.

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, PROFESSIONAL ENGINEERING AND LAND SURVEYING, SECTION 7209 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND SPECIFIC DESCRIPTION OF THE ALTERATION.




GENERAL NOTES

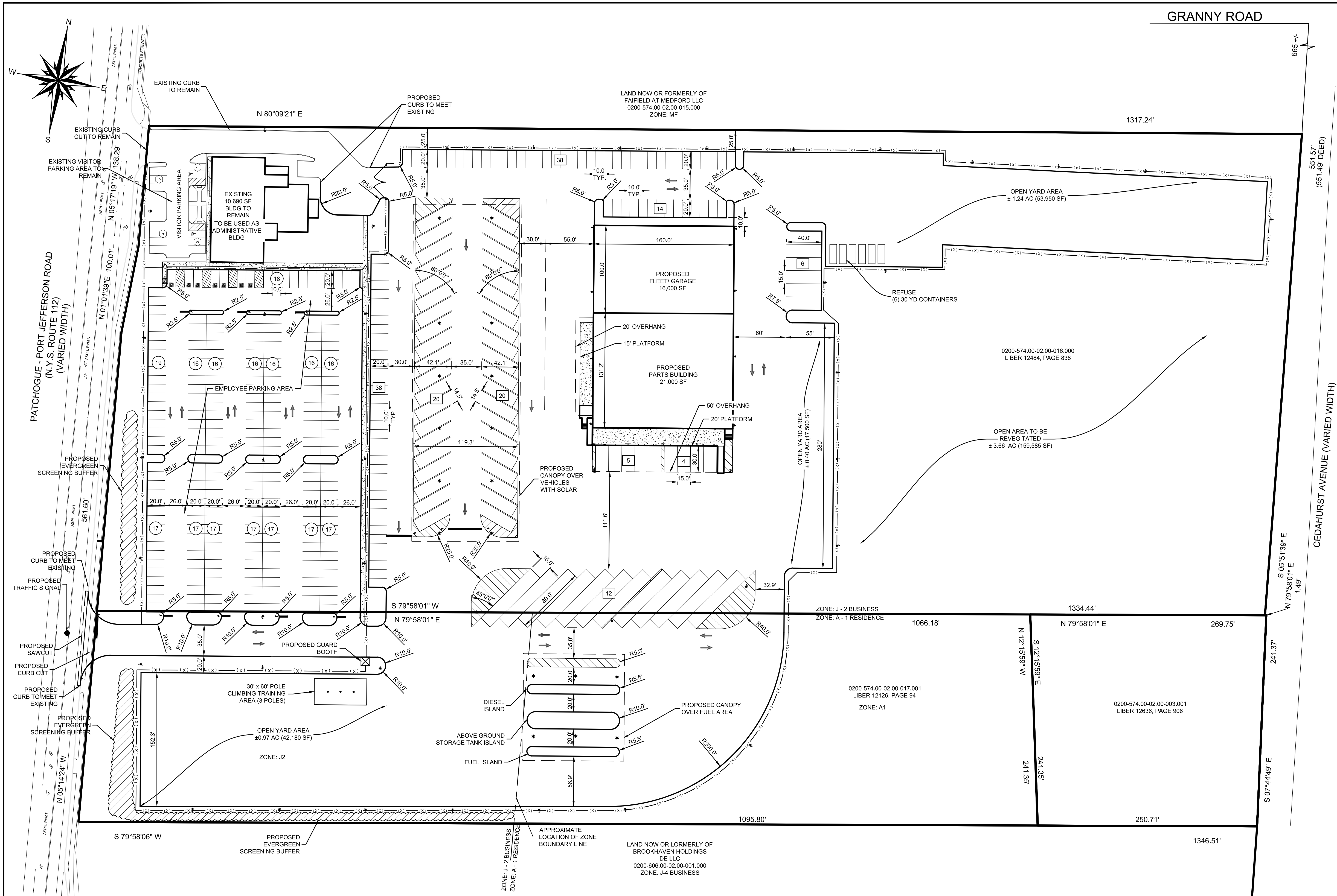
- NELSON & POPE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF THE PUBLIC OR CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH ALL PERMITS THAT WILL BE REQUIRED FOR THE CONSTRUCTION OF THIS PROJECT FROM START TO FINISH, INCLUDING BUT NOT LIMITED TO PERMITS FOR MUNICIPAL ROAD AND CURB CUT CONSTRUCTION, GAS, ELECTRIC, TELEPHONE, AND CABLE INSTALLATION; WATER MAIN AND SERVICE INSTALLATION; SITE CLEARING AND TREE REMOVAL; EXCAVATION; SITE IMPROVEMENTS; DEMOLITION; AND BUILDING CONSTRUCTION. CONTRACTOR SHALL COORDINATE THE REQUIRED UTILITY AND MUNICIPAL INSPECTIONS.
- LOCATION OF ALL EXISTING UTILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO EXCAVATION. CONTRACTOR SHALL NOTIFY OWNER PRIOR TO COMMENCING CONSTRUCTION OF ANY DISCREPANCIES BETWEEN ACTUAL FIELD LOCATIONS AND INFORMATION REPRESENTED ON PLAN, FOR DIRECTION. EXISTING UTILITY LOCATIONS SHOWN ON THE PLANS IS BASED ON AVAILABLE INFORMATION AND FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR IS SOLELY RESPONSIBLE FOR LOCATING AND IDENTIFYING ALL EXISTING UTILITIES WITHIN THE LIMITS OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR THE REMOVAL AND DISPOSAL OF ANY EXCAVATED AND DEMOLISHED MATERIALS AND DEBRIS.
- UNSUITABLE MATERIAL (AS DEFINED IN THE REQUIREMENTS OF THE MUNICIPAL AGENCY HAVING JURISDICTION AND AS A MINIMUM DEFINED IN SECTION 203 OF N.Y.S.D.O.T. STANDARD SPECIFICATIONS, LATEST EDITION) UNDER PAVEMENT, WALKS AND CONCRETE SLABS OR AS INDICATED WITHIN THE SITE WORK CONTRACT DOCUMENTS, SHALL BE REMOVED AND REPLACED WITH SELECT GRANULAR MATERIAL.
- SOILS:
  - SUITABLE SOILS (SUITABLE MATERIAL); SUITABLE MATERIALS ARE GENERALLY COMPOSED OF SANDS, SAND-GRAVEL AND SAND-SILT MIXTURES (WITH NO MORE THAN 15% PASSING A #200 SIEVE) CONFORMING TO THE SPECIFIC SOIL MATERIAL AND TO THE SPECIFIC SPECIFICATIONS FOR ITS INTENDED USE CONTAINED HEREIN.
  - UNSUITABLE SOILS (UNSUITABLE MATERIAL); SOIL CLASSIFICATION GROUPS GC, SC, CL, ML, OL, CH, MH, OH, AND PT ACCORDING TO ASTM D 2487, OR A COMBINATION OF THESE GROUPS. UNSUITABLE SOILS ALSO INCLUDE:
    - ANY SOIL CONTAINING ROCK IN EXCESS OF 3-INCHES IN ANY DIRECTION, DEBRIS, TRASH, WASTE, FROZEN MATERIALS, HAZARDOUS MATERIAL AND, SOILS CONTAINING MATERIALS PROHIBITED BY THE JURISDICTIONAL ENTITIES, AND VEGETATION, AND OTHER DELETERIOUS AND ORGANIC MATTER.
    - ANY SUITABLE SOILS NOT MAINTAINED WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT AT TIME OF COMPACTION.
    - SOILS CONTAINING EXCESS WATER, REGARDLESS OF GRADATION, THAT ARE NOT IN THE OPINION OF THE DESIGN ENGINEER, ARCHITECT, STRUCTURAL ENGINEER, GEOTECHNICAL ENGINEER, DESIGN PROFESSIONAL, OR JURISDICTIONAL ENTITY, THAT ARE NOT IN A STABLE CONDITION, EXHIBITS HEAVING WHILE UNDERGOING COMPACTION, EXHIBITS DISPLACEMENT WHEN UNDER A VEHICLE LOADING AND/OR OTHERWISE UNSUITABLE FOR ITS INTENDED USE.
    - SOILS WITH MORE THAN 15 PERCENT MATERIAL PASSING A #200 (0.075 MM) SIEVE.
    - SOILS NOT CONFORMING TO THE MATERIAL SPECIFICATIONS FOR ITS INTENDED USE.
- COMPACTION SHALL CONFORM TO THE REQUIREMENTS OF THE MUNICIPAL AGENCY HAVING JURISDICTION AND AS A MINIMUM DEFINED IN SECTION 203 OF N.Y.S.D.O.T. STANDARD SPECIFICATIONS, LATEST EDITION.
- ALL EXISTING STRUCTURES AND SITE IMPROVEMENTS SPECIFIED TO BE REMOVED, SHALL BE COMPLETELY REMOVED AND BACKFILLED. BACKFILL TO BE SELECT GRANULAR FILL, COMPACTED TO 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT, AS DETERMINED BY MODIFIED PROCTOR TEST, UNLESS OTHERWISE NOTED.
- DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL UNSUITABLE MATERIAL, SURPLUS MATERIAL AND DEBRIS SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, TOWN, COUNTY, STATE AND FEDERAL LAWS AND APPLICABLE CODES.
- ALL MUNICIPAL AGENCIES HAVING JURISDICTION DURING CONSTRUCTION SHALL BE NOTIFIED A MINIMUM OF FORTY- EIGHT (48) HOURS IN ADVANCE OF ALL CONSTRUCTION, UNLESS OTHERWISE INDICATED AS A CONDITION OF MUNICIPAL APPROVAL OR PERMIT. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING AND INSURING ALL NECESSARY MUNICIPAL INSPECTIONS, CONDITIONS OF APPROVAL, AND CERTIFICATIONS ARE PERFORMED AND OBTAINED IN ACCORDANCE TO THE APPLICABLE PERMITS AND MUNICIPAL REQUIREMENTS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS VESTIBULES, SLOPED PAVING, PORCHES, RAMPS, GARAGES, ROOF LEADERS, PRECISE BUILDING DIMENSIONS AND BUILDING UTILITY ENTRANCES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF EROSION CONTROL MEASURES PROTECTING NEW AND EXISTING IMPROVEMENTS AND ADJACENT PROPERTIES CONFORMING TO THE FEDERAL, STATE, COUNTY, AND LOCAL MUNICIPAL REQUIREMENTS. EROSION CONTROL IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND IN PLACE PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY. MEASURES SHALL BE MAINTAINED AND MODIFIED AS NECESSARY THROUGHOUT THE IMPROVEMENT CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL ACCEPTANCE OF IMPROVEMENT CONSTRUCTION BY LOCAL MUNICIPALITY HAVING JURISDICTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING PERMANENT TRAFFIC CONTROL DEVICES IN CONFORMANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION, IN CONJUNCTION WITH THE LATEST EDITION OF ANY NEW YORK STATE SUPPLEMENTS TO SUCH, THE CONTRACTOR SHALL ADHERE TO ANY ADDITIONAL LOCAL REQUIREMENTS AND/OR CONDITIONS OF ANY MUNICIPAL PERMITS AND THE APPROVED CONTRACTOR DOCUMENTS. THE CONTRACTOR SHALL NOT AMEND EXISTING OR APPROVED TRAFFIC CONTROL DEVICES WITHOUT EXPRESSED WRITTEN APPROVAL OF ANY AGENCIES HAVING JURISDICTION OVER SUCH.
- ALL AREAS THAT HAVE BEEN DISTURBED SHALL BE SEEDED UNLESS OTHERWISE NOTED.
- ALL DEBRIS SHALL BE REMOVED IN ACCORDANCE WITH STATE, AND LOCAL REQUIREMENTS.
- ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- ANY UTILITIES REQUIRED TO BE RELOCATED DUE TO INSTALLATION OF THE REQUIRED IMPROVEMENTS SHALL BE RELOCATED AT THE EXPENSE OF THE APPLICANT/DEVELOPER/OWNER.

- ANY RETAINING WALL 4' OR MORE IN HEIGHT SHALL REQUIRE APPROVAL BY THE TOWN ENGINEER AND A PERMIT ISSUED BY THE BUILDING DEPARTMENT. IT IS THE APPLICANTS RESPONSIBILITY TO OBTAIN THE NECESSARY PERMITS FOR ALL SUCH RETAINING WALL PRIOR TO CONSTRUCTION.
- ALL TRAFFIC ROAD MARKINGS, ROAD SIGNS, AND LIGHT SIGNALS THAT MAY HAVE BEEN MOVED OR DAMAGED IN THE PROCESS OF CONSTRUCTION SHALL BE RESTORED AT THE APPLICANTS EXPENSE TO AT LEAST THE SAME QUALITY AND CHARACTERISTICS THAT EXISTED BEFORE CONSTRUCTION BEGAN. THE APPLICANT SHALL BE FURTHER RESPONSIBLE TO ENSURE THAT, IN THE ROADWAYS ADJACENT TO THE CONSTRUCTION SITE, THESE MARKINGS, SIGNS AND SIGNALS ARE MAINTAINED AND THAT THE PROTECTION OF TRAFFIC IS MAINTAINED DURING THE ENTIRE PERIOD OF CONSTRUCTION. IF REPLACEMENT OR UPGRADE IS REQUIRED, SAME MUST BE APPROVED BY THE TOWN OF BROOKHAVEN DPW.
- CONTRACTOR TO PROVIDE 3'-8" MINIMUM HIGH RAILINGS OR FENCE ALONG TOP OF RETAINING WALLS WITH A HEIGHT OF 30" AND GREATER ABOVE FINISHED GRADE. RAILINGS SHALL COMPLY WITH SECTION 1013 GUARDS OF THE BCNYS.
- NO UNDERMINING OF THE PUBLIC R.O.W. WILL BE PERMITTED. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLATION OF ANY SHEETING AND SHORING REQUIRED TO PREVENT UNDERMINING.
- THE INSTALLATION OF ALL HIGHWAY IMPROVEMENTS INCLUDING EXCAVATION, BACKFILL AND COMPACTION OF THE TRENCHES FOR SANITARY SEWERS AND UTILITIES SHALL BE SUPERVISED BY THE DEVELOPER'S PROFESSIONAL ENGINEER (LICENSED BY THE STATE OF NEW YORK OR A L.S. WITH A 7208N CERTIFICATE) WHO SHALL SUBMIT A SIGNED AND SEALED LETTER TO THE TOWN OF BROOKHAVEN, STATING THAT THE IMPROVEMENTS HAVE BEEN INSTALLED TO THE APPLICABLE NEW YORK STATE, SUFFOLK COUNTY OR THE TOWN OF BROOKHAVEN SPECIFICATIONS. THE CERTIFICATION SHALL APPLY TO THE PROPOSED ROAD OPENINGS ON EXISTING STREETS. SAID WORK ON EXISTING STREETS SHALL INCLUDE TRAFFIC MAINTENANCE AND THE PLACEMENT OF TEMPORARY AND FINAL PAVEMENT.
- PROPOSED CABLE AND TELEPHONE SERVICE LOCATIONS SUBJECT TO CABLE AND TELEPHONE COMPANY APPROVAL. ALL WORK SHALL CONFORM, AS A MINIMUM, TO THE REQUIREMENTS OF THE CABLE AND TELEPHONE COMPANY.
- INSTALLATION AND SERVICE COORDINATION OF ELECTRIC AND GAS SERVICE IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL WORK SHALL CONFORM, AS A MINIMUM, TO THE REQUIREMENTS OF PSEGLI AND NATIONAL GRID.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR THE INSTALLATION OF SIGNS.
- DURING CONSTRUCTION, CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLATION OF TEMPORARY TRAFFIC CONTROL DEVICES FOR THE MAINTENANCE AND PROTECTION OF VEHICULAR AND PEDESTRIAN TRAFFIC IN THE VICINITY OF THE LIMITS OF CONSTRUCTION. THE TRAFFIC CONTROL DEVICES SHALL CONFORM AS A MINIMUM TO THE N.Y.S. MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND TO THE REQUIREMENTS AND/OR CONDITIONS OF ANY MUNICIPAL PERMITS OR APPROVALS. MAINTENANCE AND PROTECTION OF TRAFFIC IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- SEDIMENT AND EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND IN PLACE PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITY. MEASURES SHALL BE MAINTAINED AND MODIFIED AS NECESSARY THROUGHOUT THE IMPROVEMENT CONSTRUCTION AND SHALL NOT BE REMOVED UNTIL ACCEPTANCE OF IMPROVEMENT CONSTRUCTION BY LOCAL MUNICIPALITY HAVING JURISDICTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING HANDICAP ACCESS RELATED IMPROVEMENTS IN ACCORDANCE WITH THE LATEST APPLICABLE FEDERAL, STATE AND LOCAL HANDICAP ACCESSIBILITY REGULATIONS, REQUIREMENTS AND LAWS INCLUDING, BUT NOT LIMITED TO: BUILDING ACCESS, HANDICAP ACCESSIBLE ROUTE, LANDINGS, PARKING, RAILINGS AND SIGNAGE.
- NOTWITHSTANDING ANYTHING HEREON TO THE CONTRARY, CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION OF ALL ACCESSIBLE ROUTES TO ALL REQUIRED ACCESSIBLE BUILDING ENTRANCES AND COMMON AREAS (INCLUDING TRASH DISPOSAL AND MAIL PICK-UP) STRICTLY IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, INCLUDING WITHOUT LIMITATION, THE FAIR HOUSING ACT, AMERICANS WITH DISABILITIES ACT (ADA), NEW YORK STATE BUILDING CODE, TOWN AND COUNTY STANDARDS, AND REFERENCE STANDARDS CONTAINED THEREIN. ACCESSIBLE ROUTES SHALL COMPLY WITH THE ACCESSIBILITY DETAILS AND NOTES CONTAINED HEREIN.
- DUMPSTER AND RECYCLING STATIONS MUST COMPLY WITH HANDICAP ACCESSIBILITY REGULATIONS. REFER TO ARCHITECTURAL DRAWINGS BY OTHERS FOR DETAILS.
- ALL STREET/SITE LIGHTING ON SITE WILL BE OWNED AND MAINTAINED, INCLUDING ELECTRIC SERVICE COST, BY THE OWNER.
- SNOW PLOWED ON THE PROPERTY MAY NOT BE STORED OR DEPOSITED IN TOWN RIGHT-OF-WAY AND MAY NOT BLOCK OR IMPEDE THE FLOW OF VEHICULAR OR PEDESTRIAN MOVEMENTS.
- REFUSE FACILITIES SHALL BE MAINTAINED BY THE APPLICANT/OWNER SO AS NOT TO OBFUSCATE ANY NOXIOUS OR OFFENSIVE ODORS AND/OR FUMES. APPLICANT/OWNER SHALL MAINTAIN REFUSE ENCLOSURE GATES IN A CLOSED POSITION EXCEPT AT TIMES WHEN UNITS ARE BEING ACCESSED FOR LOADING OR UNLOADING OF DUMPSTER.

2	ISSUED FOR CPBC SUBMISSION	9-8-2023
1	REVISE LANDSCAPE PLAN AS PER CLIENT COMMENTS	7-27-2023
#	REVISION	DATE

OWNER: -	COVER SHEET  PROPOSED LIPA/PSEGLI OPERATION CENTER SITUATED AT MEDFORD TOWN OF BROOKHAVEN, SUFFOLK COUNTY, NEW YORK S.C.T.M.; DISTRICT: 200, SECTION: 574, BLOCK : 02, LOT: 3.001, 16 & 17.1		
APPLICANT: -			
	<b>NELSON + POPE</b> engineers • architects • surveyors 70 Maxess Road, Melville, NY 11747 • 631.427.5665 • nelsonpoppe.com		
DRAWN BY: KK	CADD: 08204-SP.DWG	SCALE: NTS	C-100
CHECKED BY: CCV	FILE NO.: -	DATE: JULY 2023	
PROJECT NO.: 08204			SHEET NO.: 1 OF 11





#### SITE DATA

ADDRESS: 3351 NY-112, MEDFORD, NY 11763  
SCTM: 200 - 574 - 02 - 3.001, 16 & 17.1  
CURRENT USE: AMUSEMENT PARK  
PROPOSED USE: LIPA/PSEGLI OPERATION CENTER  
ZONING: J2 (BUSINESS) / A1 (RESIDENTIAL)  
SITE AREA: LOT 3.001: 1.44 AC  
LOT 16: 16.83 AC  
LOT 17.1: 5.99 AC  
BUILDING AREA: 47,690 SF  
FIRE DISTRICT: MEDFORD  
SCHOOL DISTRICT: LONGWOOD CSD  
WATER DISTRICT: SUFFOLK COUNTY WATER AUTHORITY

#### PARKING CALCULATION

PROVIDED PARKING:  
STANDARD PARKING: 252 STALLS  
10' X 20' FLEET PARKING: 90 STALLS  
15' X 40' FLEET PARKING: 55 STALLS  
15' X 80' FLEET PARKING: 12 STALLS  
TOTAL PARKING PROVIDED: 409 STALLS

#### BUILDING LOT COVERAGE

EXISTING (ADMINISTRATIVE): 10,690 SF  
PROPOSED FLEET/ GARAGE: 16,000 SF  
PROPOSED PARTS BUILDING: 21,000 SF  
TOTAL COVERAGE: 47,690 SF

#### LEGEND

- EXISTING PARKING QUANTITY
- PROPOSED FLEET PARKING QUANTITY
- PROPOSED STANDARD PARKING QUANTITY
- PROPOSED GUARD BOOTH
- PROPOSED FENCE
- PROPOSED SIGN
- PROPOSED SIDEWALK
- PROPOSED PAVEMENT MARKING
- PROPOSED PAVEMENT MARKING
- PROPOSED CURB
- PROPOSED CLEARING LIMIT
- PROPOSED EVERGREEN SCREENING BUFFER

#### EXISTING LOT COVERAGES

BUILDING 44,745 SF  
IMPERVIOUS 212,280 SF  
LANDSCAPE 585,374 SF  
WOODS 214,349 SF  
TOTAL 1,056,748 SF

#### PROPOSED LOT COVERAGES

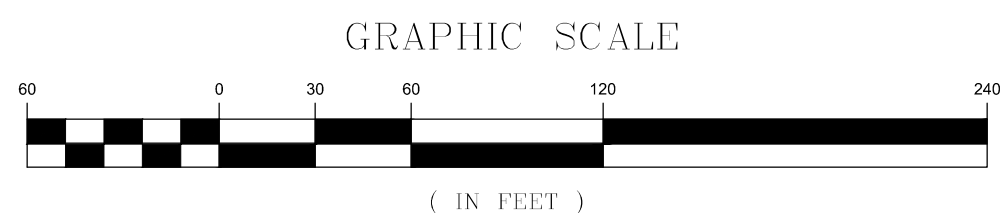
PAVEMENT 548,239 SF  
BUILDING 47,690 SF  
MIXED NATIVE SPECIES 18,370 SF  
AND LAWN 192,774 SF  
NATURAL WOODS 129,445 SF  
MEADOW RE-VEGETATION 120,230 SF  
WOODLAND RE-VEGETATION 120,230 SF  
TOTAL 1,056,748 SF

LIMITS OF PROPOSED SITE DEVELOPMENT CALCULATION	
Total Area Lot J2	854,308 SF
Allowable Development of J2 65%	555,300 SF
Total Area Lot A1	202,440 SF
Allowable Development of A1 53%	107,293 SF
Limit of Site Development	662,593 SF
Proposed Site Development Area	619,175 SF

BOUNDARY FROM SURVEY PREPARED BY NELSON AND POPE  
DATED SEPTEMBER 02, 2022.

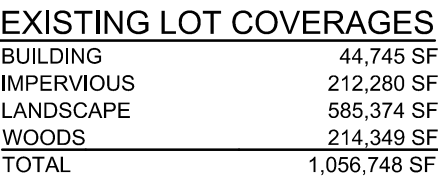
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before you dig



2	ISSUED FOR CPBC SUBMISSION	9-8-2023
1	REVISE LANDSCAPE PLAN AS PER CLIENT COMMENTS	7-27-2023
#	REVISION	DATE
OWNER:	OVERALL ALIGNMENT PLAN	
APPLICANT:	PROPOSED LIPA/PSEGLI OPERATION CENTER SITUATED AT MEDFORD TOWN OF BROOKHAVEN, SUFFOLK COUNTY, NEW YORK S.C.T.M.; DISTRICT: 200, SECTION: 574, BLOCK : 02, LOT: 3.001, 16 & 17.1	
NELSON + POPE engineers • architects • surveyors 70 Maxess Road, Melville, NY 11747 • 631.427.5665 • nelsonpoppe.com		
DRAWN BY:	KK	CADD: 08204-SP.DWG
CHECKED BY:	CCV	FILE NO.:
DATE:	JULY 2023	PROJECT NO.: 08204
SCALE: 1" = 60'		C-101
		SHEET NO.: 2 OF 11





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THE SAFE, SOUND AND SUSTAINABLE WAY OF EXCAVATION  
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1	ISSUED FOR CPBC SUBMISSION	8-8-2023
2	REVISE LANDSCAPE PLAN AS PER CLIENT COMMENTS	7-27-2023
#	REVISION	DATE


OWNER:  
-

APPLICANT:  
-

EXISTING CONDITIONS & DEMOLITION PLAN

PROPOSED LIPA/PSEGLI OPERATION CENTER  
SITUATED AT  
MEDFORD

TOWN OF BROOKHAVEN, SUFFOLK COUNTY, NEW YORK  
S.C.T.M.; DISTRICT: 200, SECTION: 574, BLOCK : 02, LOT: 3.001, 16 & 17.1



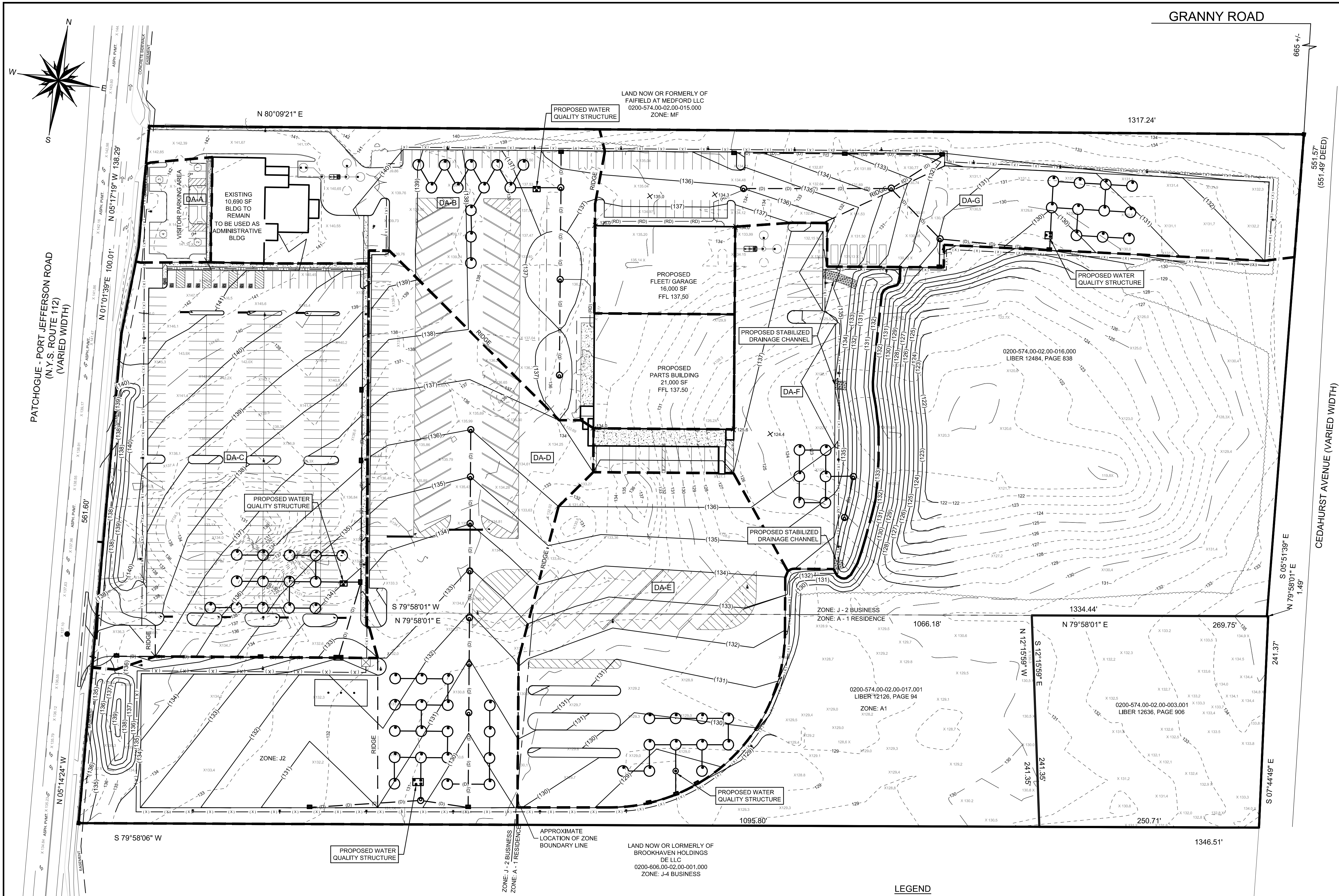
NELSON + POPE

engineers • architects • surveyors

70 Maxess Road, Melville, NY 11747 • 631.427.5665 • nelsonpopem.com

DRAWN BY:	KK	CADD:	08204.SP-DWG	SCALE:	1" = 60'	C-102
CHECKED BY:	CCV	FILE NO.:	-			
DATE:	JULY 2023	PROJECT NO.:	08204			
					SHEET NO:	3 OF 11





**DRAINAGE CALCULATIONS:**

DA-A	TOTAL :	9,292 SF				
IMPERVIOUS :	6,030 SF	x	1.0	x	2/12	= 1,005 CF
PERVIOUS :	3,262 SF	x	0.3	x	2/12	= 163 CF
					REQUIRED STORAGE VOLUME	= 1,168 CF

PROVIDED:  
EXISTING DRAINAGE TO REMAIN

DA-B	TOTAL	114,699 SF				
ROOF:	31,690 SF	x	1.0	x	2/12	= 5,282 CF
IMPERVIOUS:	70,156 SF	x	1.0	x	2/12	= 11,693 CF
PERVIOUS:	12,853 SF	x	0.3	x	2/12	= 643 CF
					REQUIRED STORAGE VOLUME	= 17,618 CF

PROVIDED:  
(12) 12" LP @ 15' E.D. @ 100.9 CF/VF = 18,162 CF > 17,618 CF

DA-C	TOTAL	132,572 SF				
IMPERVIOUS:	109,223 SF	x	1.0	x	2/12	= 18,204 CF
PERVIOUS:	23,349 SF	x	0.3	x	2/12	= 1,167 CF
					REQUIRED STORAGE VOLUME	= 19,371 CF

PROVIDED:  
(13) 12" LP @ 15' E.D. @ 100.9 CF/VF = 19,676 CF > 19,371 CF

DA-D	TOTAL	174,418 SF				
IMPERVIOUS:	147,336 SF	x	1.0	x	2/12	= 24,556 CF
PERVIOUS:	27,082 SF	x	0.3	x	2/12	= 1,354 CF
					REQUIRED STORAGE VOLUME	= 25,910 CF

PROVIDED:  
(18) 12" LP @ 15' E.D. @ 100.9 CF/VF = 27,243 CF > 25,910 CF

DA-E	TOTAL	98,014 SF				
IMPERVIOUS:	98,014 SF	x	1.0	x	2/12	= 16,336 CF
					REQUIRED STORAGE VOLUME	= 16,336 CF

PROVIDED:  
(11) 12" LP @ 15' E.D. @ 100.9 CF/VF = 16,649 CF > 16,336 CF

DA-F	TOTAL	65,924 SF				
IMPERVIOUS:	47,238 SF	x	1.0	x	2/12	= 7,873 CF
PERVIOUS:	18,686 SF	x	0.3	x	2/12	= 934 CF
					REQUIRED STORAGE VOLUME	= 8,807 CF

PROVIDED:  
(6) 12" LP @ 15' E.D. @ 100.9 CF/VF = 9,081 CF > 8,807 CF

DA-G	TOTAL	120,484 SF				
ROOF:	16,000 SF	x	1.0	x	2/12	= 2,667 CF
IMPERVIOUS:	70,242 SF	x	1.0	x	2/12	= 11,707 CF
PERVIOUS:	34,242 SF	x	0.3	x	2/12	= 1,712 CF
					REQUIRED STORAGE VOLUME	= 16,086 CF

PROVIDED:  
(11) 12" LP @ 15' E.D. @ 100.9 CF/VF = 16,649 CF > 16,086 CF

NOTE: DEPTH TO GROUND WATER +/- 81 FT BELOW EXISTING GRADE

**WATER QUALITY CALCULATIONS**

WQv: STORMWATER TREATMENT (DA-F)

REQUIRED

$$WQv = \frac{P \times I \times A}{12}$$

P = 1.5

I = % IMPERVIOUS COVER = 71.65

Rv = 0.05 + (0.009 \* I) = 0.0995

A = 1.513 AC (85,924 SF)

WQv = 0.1315 AC-FT = 5,728 CF

PROVIDED = 7,000 SF (AVERAGE) SWALE @ 2FT DEPTH

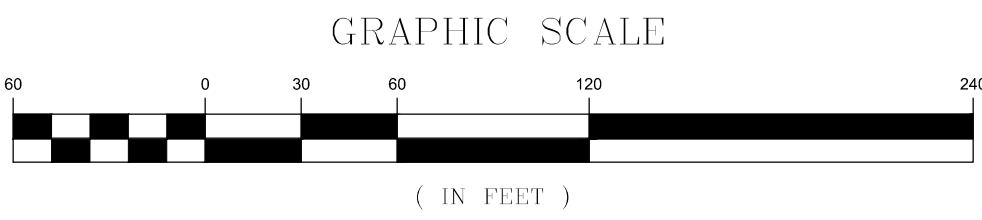
14,000 CF > 5,728 CF REQUIRED

**DRAINAGE NOTES**

- ALL BUILDING DRAINAGE AND ROOF LEADER MANIFOLDS SHALL BE PVC SDR-35 OR SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (CPP), SLOPED @ 2.0% MIN AT A DIAMETER OF 12" MINIMUM AND PIPED TO THE STORM WATER SYSTEM AS SHOWN ON THE APPROVED PLANS
- TRANSITION BETWEEN DIFFERING PIPE TYPES SHALL BE WATERTIGHT AND IN ACCORDANCE WITH THE PIPE MANUFACTURER'S RECOMMENDATIONS UNLESS SHOWN OR SPECIFIED OTHERWISE
- CONTRACTOR SHALL COORDINATE BUILDING DRAINAGE AND LEADER LOCATIONS WITH THE ARCHITECTURAL/MEP PLANS
- ALL DRYWELL/LEACHING POOL-TO-DRYWELL/LEACHING POOL INTERCONNECTING PIPES SHALL BE 15" SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (CPP) OR REINFORCED CONCRETE PIPE (RCP) CLASS IV, SLOPED @ 1.0% MIN. UNLESS SHOWN OR SPECIFIED OTHERWISE
- CPP SHALL BE ADVANCED DRAINAGE SYSTEMS INC. (ADS N-12 SMOOTH INTERIOR) OR HANCOR, INC. (H1-Q SMOOTH INTERIOR) OR APPROVED EQUAL
- ALL STORMWATER LEACHING/OPEN BOTTOM STRUCTURES SHALL MAINTAIN A MINIMUM OF 18" SEPARATION BETWEEN ADJACENT POOLS
- THE SEPARATION DISTANCES BETWEEN DRAINAGE, WATER AND SANITARY FACILITIES SHALL BE MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF THE JURISDICTIONAL ENTITY
- EXISTING DRAINAGE STRUCTURES PROPOSED FOR REUSE SHALL BE CLEANED OF SILT AND DEBRIS, SCARIFIED AND INSPECTED FOR STRUCTURAL INTEGRITY BY THE ENGINEER OR HIS REPRESENTATIVE BEFORE BEING APPROVED FOR REUSE
- A MINIMUM OF 1.5' VERTICAL CROSSING CLEARANCE SHALL BE MAINTAINED AT CROSSING BETWEEN DRAINAGE AND UTILITY, WATER AND SANITARY IN ACCORDANCE WITH THE REQUIREMENTS OF THE JURISDICTIONAL ENTITIES
- A MINIMUM OF 1.5' VERTICAL CROSSING CLEARANCE SHALL BE MAINTAINED AT CROSSING BETWEEN WATER AND UTILITY, DRAINAGE AND SANITARY IN ACCORDANCE WITH THE REQUIREMENTS OF THE JURISDICTIONAL ENTITIES
- A MINIMUM OF 1.5' VERTICAL CROSSING CLEARANCE SHALL BE MAINTAINED AT CROSSING BETWEEN SANITARY AND UTILITY, WATER AND DRAINAGE IN ACCORDANCE WITH THE REQUIREMENTS OF THE JURISDICTIONAL ENTITIES
- VERIFY IN FIELD ALL EXISTING PIPE INVERTS AND NOTIFY ENGINEER OF ANY CONFLICTING INFORMATION PRIOR TO INSTALLING NEW DRAINAGE OR BACKFILLING
- ALL DRAINAGE PIPING SHALL BE PROVIDED WITH A MINIMUM 2.0' COVER UNLESS APPROVED OTHERWISE BY THE DESIGN ENGINEER AND THE JURISDICTIONAL ENTITY

**LEGEND**

- |  |                                  |  |                           |
|--|----------------------------------|--|---------------------------|
|  | PROPOSED LP W/ SOLID COVER       |  | PROPOSED GUARD BOOTH      |
|  | PROPOSED DRAINAGE MANHOLE        |  | PROPOSED FENCE            |
|  | PROPOSED CATCH BASIN             |  | PROPOSED SIGN             |
|  | PROPOSED DOUBLE CATCH BASIN      |  | PROPOSED SIDEWALK         |
|  | PROPOSED DRAINAGE PIPE           |  | PROPOSED PAVEMENT MARKING |
|  | DRAINAGE BOUNDARY                |  | PROPOSED CURB             |
|  | PROPOSED DRAINAGE AREA           |  |                           |
|  | PROPOSED CONTOUR                 |  |                           |
|  | EXISTING SPOT ELEVATION          |  |                           |
|  | EXISTING MAJOR CONTOUR           |  |                           |
|  | EXISTING MINOR CONTOUR           |  |                           |
|  | PROPOSED SANITARY PIPE           |  |                           |
|  | PROPOSED SANITARY MANHOLE        |  |                           |
|  | PROPOSED SANITARY LEACHING POOL  |  |                           |
|  | PROPOSED SANITARY EXPANSION POOL |  |                           |
|  | PROPOSED SANITARY A.I. SYSTEM    |  |                           |
|  | PROPOSED RIDGE                   |  |                           |
|  | PROPOSED ROOF DRAINAGE           |  |                           |



BOUNDARY FROM SURVEY PREPARED BY NELSON AND POPE DATED SEPTEMBER 02, 2022.

IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, PROFESSIONAL ENGINEERING AND LAND SURVEYING, SECTION 7209 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND SPECIFIC DESCRIPTION OF THE ALTERATION.

2	ISSUED FOR CPBC SUBMISSION	9-8-2023
1	REVISE LANDSCAPE PLAN AS PER CLIENT COMMENTS	7-27-2023
#	REVISION	DATE
<b>OWNER:</b>		
<b>APPLICANT:</b>		
<b>OVERALL GRADING AND DRAINAGE PLAN</b>		
<b>PROPOSED LIPA/PSEGLI OPERATION CENTER</b>		
<b>SITUATED AT</b>		
<b>MEDFORD</b>		
<b>TOWN OF BROOKHAVEN, SUFFOLK COUNTY, NEW YORK</b>		
<b>S.C.T.M.; DISTRICT: 200, SECTION: 574, BLOCK : 02, LOT: 3.001, 16 &amp; 17.1</b>		
<b>NELSON + POPE</b>		
engineers • architects • surveyors		
70 Maxess Road, Melville, NY 11747 • 631.427.5665 • nelsonpoppe.com		
<b>DRAWN BY:</b>	<b>KK</b>	<b>CADD:</b> 08204-GR.DWG
<b>CHECKED BY:</b>	<b>CCV</b>	<b>FILE NO.:</b>
<b>DATE:</b>	<b>JULY 2023</b>	<b>PROJECT NO.:</b> 08204
<b>SCALE:</b>		<b>1" = 60'</b>
<b>C-103</b>		<b>SHEET NO.:</b> 4 OF 11



**Date:** 6/22/2023  
**Project:** PSEG - Medford  
**Location:** Medford, NY  
**Prepared For:** Nelson & Pope

**Purpose:** To calculate the water quality flow rate (Qwq) over a given site area. In this situation the WQv to be analyzed is the runoff produced by the first 1.5 inch(es) of rainfall, per Fig 4.1 of the New York State Stormwater Management Design Manual

**Reference:** United States Department of Agriculture Natural Resources Conservation Service TR-55 Manual, New York State Stormwater Management Design Manual - 2015

**Formulas:**  $WQv = \frac{(P)(R_u)(A)}{12}$

$R_u = (0.05 + 0.009(I))$

$CN = 1000/[10 + 5P + 10Qa - 10(Qa^2 + 1.25QaP)^{1/2}]$

$Qwq = (q_u)^*(A)^*(Qa)$

Structure:	DA-A	Structure:	DA-B-Ex.	Structure:	DA-B-New
P	1.50 in.	P	1.50 in.	P	1.50 in.
A	0.210 ac	A	1.780 ac	A	0.560 ac
I	66.67 %	I	100.00 %	I	100.00 %
t <sub>c</sub>	6.0 min.	t <sub>c</sub>	6.0 min.	t <sub>c</sub>	6.0 min.
t <sub>e</sub>	0.100 hr.	t <sub>e</sub>	0.100 hr.	t <sub>e</sub>	0.100 hr.
R <sub>v</sub>	0.65	R <sub>v</sub>	0.211	R <sub>v</sub>	0.95
90% WQv	0.017 ac-ft	90% WQv	0.211 ac-ft	90% WQv	0.067 ac-ft
90% WQv	744.88 ft <sup>3</sup>	90% WQv	9208.58 ft <sup>3</sup>	90% WQv	2896.74 ft <sup>3</sup>
Qa	0.977 in.	Qa	1.425 in.	Qa	1.425 in.
CN	94.54	CN	99.36	CN	99.36
I <sub>a</sub>	0.116	I <sub>a</sub>	0.041	I <sub>a</sub>	0.041
I <sub>a</sub> /P	0.077	I <sub>a</sub> /P	0.027	I <sub>a</sub> /P	0.027
qu	650 (csm/in)	qu	650 (csm/in)	qu	650 (csm/in)
A	0.00033 miles <sup>2</sup>	A	0.00278 miles <sup>2</sup>	A	0.00088 miles <sup>2</sup>
Qwq	0.21 cfs	Qwq	2.58 cfs	Qwq	0.81 cfs

**Date:** 6/22/2023  
**Project:** PSEG - Medford  
**Location:** Medford, NY  
**Prepared For:** Nelson & Pope

**Purpose:** To calculate the water quality flow rate (Qwq) over a given site area. In this situation the WQv to be analyzed is the runoff produced by the first 1.5 inch(es) of rainfall, per Fig 4.1 of the New York State Stormwater Management Design Manual

**Reference:** United States Department of Agriculture Natural Resources Conservation Service TR-55 Manual, New York State Stormwater Management Design Manual - 2015

**Formulas:**  $WQv = \frac{(P)(R_u)(A)}{12}$

$R_u = (0.05 + 0.009(I))$

$CN = 1000/[10 + 5P + 10Qa - 10(Qa^2 + 1.25QaP)^{1/2}]$

$Qwq = (q_u)^*(A)^*(Qa)$

Structure:	DA-C-Ex.	Structure:	DA-C-New	Structure:	DA-D-Ex.
P	1.50 in.	P	1.50 in.	P	1.50 in.
A	1.560 ac	A	0.940 ac	A	1.240 ac
I	100.00 %	I	100.00 %	I	100.00 %
t <sub>c</sub>	6.0 min.	t <sub>c</sub>	6.0 min.	t <sub>c</sub>	6.0 min.
t <sub>e</sub>	0.100 hr.	t <sub>e</sub>	0.100 hr.	t <sub>e</sub>	0.100 hr.
R <sub>v</sub>	0.95	R <sub>v</sub>	0.950	R <sub>v</sub>	0.95
90% WQv	0.185 ac-ft	90% WQv	0.112 ac-ft	90% WQv	0.147 ac-ft
90% WQv	8071.67 ft <sup>3</sup>	90% WQv	4861.30 ft <sup>3</sup>	90% WQv	6416.39 ft <sup>3</sup>
Qa	1.425 in.	Qa	1.425 in.	Qa	1.425 in.
CN	99.36	CN	99.35	CN	99.36
I <sub>a</sub>	0.041	I <sub>a</sub>	0.041	I <sub>a</sub>	0.041
I <sub>a</sub> /P	0.027	I <sub>a</sub> /P	0.027	I <sub>a</sub> /P	0.027
qu	650 (csm/in)	qu	650 (csm/in)	qu	650 (csm/in)
A	0.00244 miles <sup>2</sup>	A	0.00147 miles <sup>2</sup>	A	0.00194 miles <sup>2</sup>
Qwq	2.26 cfs	Qwq	1.36 cfs	Qwq	1.80 cfs

**Date:** 6/22/2023  
**Project:** PSEG - Medford  
**Location:** Medford, NY  
**Prepared For:** Nelson & Pope

**Purpose:** To calculate the water quality flow rate (Qwq) over a given site area. In this situation the WQv to be analyzed is the runoff produced by the first 1.5 inch(es) of rainfall, per Fig 4.1 of the New York State Stormwater Management Design Manual

**Reference:** United States Department of Agriculture Natural Resources Conservation Service TR-55 Manual, New York State Stormwater Management Design Manual - 2015

**Formulas:**  $WQv = \frac{(P)(R_u)(A)}{12}$

$R_u = (0.05 + 0.009(I))$

$CN = 1000/[10 + 5P + 10Qa - 10(Qa^2 + 1.25QaP)^{1/2}]$

$Qwq = (q_u)^*(A)^*(Qa)$

Structure:	DA-D-New	Structure:	DA-E
P	1.50 in.	P	1.50 in.
A	2.150 ac	A	2.770 ac
I	100.00 %	I	71.48 %
t <sub>c</sub>	6.0 min.	t <sub>c</sub>	6.0 min.
t <sub>e</sub>	0.100 hr.	t <sub>e</sub>	0.100 hr.
R <sub>v</sub>	0.95	R <sub>v</sub>	0.693
90% WQv	0.255 ac-ft	90% WQv	0.240 ac-ft
90% WQv	11120.87 ft <sup>3</sup>	90% WQv	10454.40 ft <sup>3</sup>
Qa	1.425 in.	Qa	1.040 in.
CN	99.36	CN	95.34
I <sub>a</sub>	0.041	I <sub>a</sub>	0.098
I <sub>a</sub> /P	0.027	I <sub>a</sub> /P	0.065
qu	650 (csm/in)	qu	650 (csm/in)
A	0.00336 miles <sup>2</sup>	A	0.00433 miles <sup>2</sup>
Qwq	3.11 cfs	Qwq	2.93 cfs

#### DA-B REQUIRED:

25% TREATMENT FOR EXISTING IMPERVIOUS: 2.58 CFS X 0.25 = 0.65 CFS  
100% TREATMENT FOR NEW IMPERVIOUS: 0.81 CFS X 1.0 = 0.81 CFS  
TOTAL MAXIMUM REQUIRED WATER QUALITY FLOW RATE: = 1.46 CFS

PROVIDED:  
JELLYFISH FILTER STORM WATER TREATMENT JFPD0806-8-2  
(MAXIMUM TREATMENT CAPACITY OF 1.47 CFS)

#### DA-C REQUIRED:

25% TREATMENT FOR EXISTING IMPERVIOUS: 2.26 CFS X 0.25 = 0.57 CFS  
100% TREATMENT FOR NEW IMPERVIOUS: 1.36 CFS X 1.0 = 1.36 CFS  
TOTAL MAXIMUM REQUIRED WATER QUALITY FLOW RATE: = 1.93 CFS

PROVIDED:  
JELLYFISH FILTER STORM WATER TREATMENT JFPD0806-10-2  
(MAXIMUM TREATMENT CAPACITY OF 1.96 CFS)

#### DA-D REQUIRED:

25% TREATMENT FOR EXISTING IMPERVIOUS: 1.80 CFS X 0.25 = 0.45 CFS  
100% TREATMENT FOR NEW IMPERVIOUS: 3.11 CFS X 1.0 = 3.11 CFS  
TOTAL MAXIMUM REQUIRED WATER QUALITY FLOW RATE: = 3.56 CFS

PROVIDED:  
JELLYFISH FILTER STORM WATER TREATMENT JFPD0812-18-4  
(MAXIMUM TREATMENT CAPACITY OF 3.68 CFS)

#### DA-E REQUIRED:

TOTAL MAXIMUM REQUIRED WATER QUALITY FLOW RATE: = 2.93 CFS  
(100% TREATMENT FOR NEW IMPERVIOUS)

PROVIDED:  
CASCADE SEPARATOR CS-6

#### DA-G REQUIRED:

25% TREATMENT FOR EXISTING IMPERVIOUS: 1.45 CFS X 0.25 = 0.36 CFS  
100% TREATMENT FOR NEW IMPERVIOUS: 1.40 CFS X 1.0 = 1.40 CFS  
TOTAL MAXIMUM REQUIRED WATER QUALITY FLOW RATE: = 1.76 CFS

PROVIDED:  
JELLYFISH FILTER STORM WATER TREATMENT JFPD0806-9-2  
(MAXIMUM TREATMENT CAPACITY OF 1.96 CFS)

NOTE:  
WATER QUALITY CALCULATIONS PREPARED BY CONTECH ENGINEERED SOLUTIONS LLC

**Date:** 6/22/2023  
**Project:** PSEG - Medford  
**Location:** Medford, NY  
**Prepared For:** Nelson & Pope

**Purpose:** To calculate the water quality flow rate (Qwq) over a given site area. In this situation the WQv to be analyzed is the runoff produced by the first 1.5 inch(es) of rainfall, per Fig 4.1 of the New York State Stormwater Management Design Manual

**Reference:** United States Department of Agriculture Natural Resources Conservation Service TR-55 Manual, New York State Stormwater Management Design Manual - 2015

**Formulas:**  $WQv = \frac{(P)(R_u)(A)}{12}$

$R_u = (0.05 + 0.009(I))$

$CN = 1000/[10 + 5P + 10Qa - 10(Qa^2 + 1.25QaP)^{1/2}]$

$Qwq = (q_u)^*(A)^*(Qa)$

Structure:	DA-G-Ex.	Structure:	DA-G-New
P	1.50 in.	P	1.50 in.
A	1.000 ac	A	0.970 ac
I	100.00 %	I	100.00 %
t <sub>c</sub>	6.0 min.	t <sub>c</sub>	6.0 min.
t <sub>e</sub>	0.100 hr.	t <sub>e</sub>	0.100 hr.
R <sub>v</sub>	0.95	R <sub>v</sub>	0.95
90% WQv	0.119 ac-ft	90% WQv	0.115 ac-ft
90% WQv	5174.93 ft <sup>3</sup>	90% WQv	5018.11 ft <sup>3</sup>
Qa	1.426 in.	Qa	1.425 in.
CN	99.36	CN	99.36
I <sub>a</sub>	0.041	I <sub>a</sub>	0.041
I <sub>a</sub> /P	0.027	I <sub>a</sub> /P	0.027
qu	650 (csm/in)	qu	650 (csm/in)
A	0.00156 miles <sup>2</sup>	A	0.00152 miles <sup>2</sup>
Qwq	1.45 cfs	Qwq	1.40 cfs

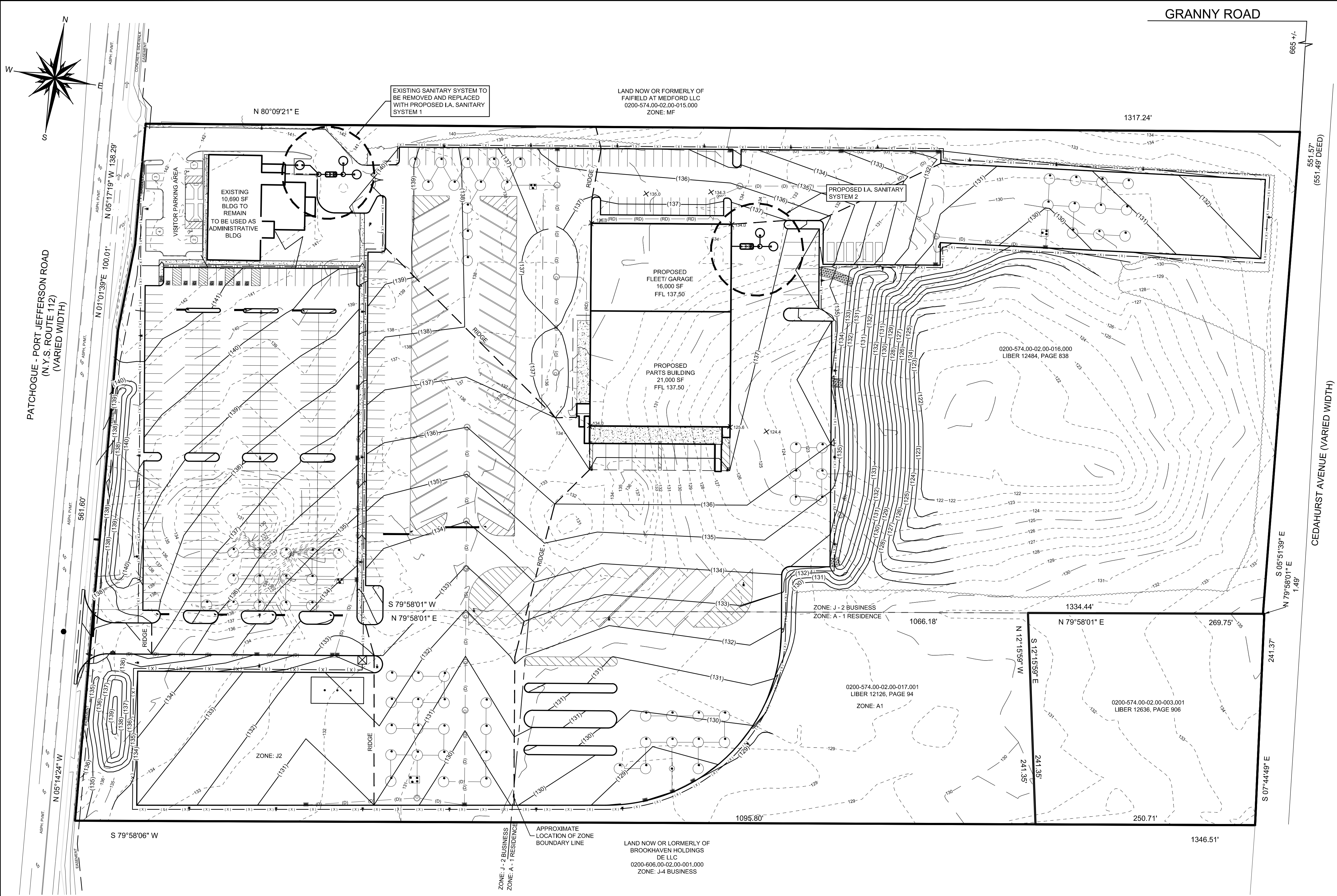


BOUNDARY FROM SURVEY PREPARED BY NELSON AND POPE  
DATED SEPTEMBER 02, 2022.

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2	ISSUED FOR CPBC SUBMISSION	9-8-2023
1	REVISE LANDSCAPE PLAN AS PER CLIENT COMMENTS	7-27-2023
#	REVISION	DATE
<b>OWNER:</b> 		
<b>APPLICANT:</b> 		
<b>WATER QUALITY CALCULATIONS</b> <b>PROPOSED LIPA/PSEGLI OPERATION CENTER</b> SITUATED AT <b>MEDFORD</b> TOWN OF BROOKHAVEN, SUFFOLK COUNTY, NEW YORK S.C.T.M.; DISTRICT: 200, SECTION: 574, BLOCK : 02, LOT: 3.001, 16 & 17.1		
<b>NELSON + POPE</b> engineers • architects • surveyors 70 Maxess Road, Melville, NY 11747 • 631.427.5665 • nelsonpope.com		
DRAWN BY:	KK	CADD: 08204-GR.DWG
CHECKED BY:	CCV	FILE NO.:
DATE:	JULY 2023	PROJECT NO.: 08204
SCALE: 1" = 60'		<b>C-104</b>
		SHEET NO.: 5 OF 11





SANITARY CALCULATIONS

**SITE DENSITY**  
GROUNDWATER MANAGEMENT ZONE III = 300 GPD/AC  
TOTAL SITE AREA = 24.26 AC  
EXISTING BUILDING G.F.A. = 18,630 SF  
TOTAL PROPOSED BUILDING G.F.A. = 37,000 SF  
ALLOWABLE SANITARY FLOW = 300 GPD/AC X 24.26 AC = 7,278 GPD

PROPOSED DENSITY

ADMINISTRATIVE BUILDING (EXISTING)

FLOOR	AREA/OCCUPANCY	FLOW RATE	TOTAL
OFFICE	18,630 SF	X 0.06 GPD/SF	= 1,118 GPD
DENSITY TOTAL:			= 1,118 GPD

PROPOSED GARAGE/FLEET AND PARTS BUILDING

FLOOR	AREA/OCCUPANCY	FLOW RATE	TOTAL
WAREHOUSE	37,000 SF	X 0.04 GPD/SF	= 1,480 GPD
DENSITY TOTAL:			= 1,480 GPD

PROPOSED TOTAL SITE DENSITY = 2,598 GPD  
NO WELLS WITHIN 150 F.T.

PROPOSED SANITARY SYSTEM

ADMINISTRATIVE BUILDING (EXISTING)

I.A. SYSTEM 1

REQUIRED: 1,118 GPD

PROVIDED: = FUJICLEAN CEN14 = 1,350 GPD

LEACHING POOLS

REQUIRED: 1,118 GPD / 1.5 GPD/SF = 746 SF  
746 SF / 31.4 SF / VF OF 10' Ø POOLS = 23.8 VF REQUIRED

PROVIDE: (2) 10' Ø X 12' E.D. L.P. = 24' V.F. TOTAL OR 753 SF OF LEACHING  
EXPANSION: (1) 10' Ø X 12' E.D. L.P. = 12' V.F. TOTAL OR 377 SF OF LEACHING

PROPOSED GARAGE/ FLEET AND PARTS BUILDING

I.A. SYSTEM 2

REQUIRED: 1,480 GPD

PROVIDED: = FUJICLEAN CEN21 = 1,900 GPD

LEACHING POOLS

REQUIRED: 1,480 GPD / 1.5 GPD/SF = 987 SF  
987 SF / 31.4 SF / VF OF 10' Ø POOLS = 31.4 VF REQUIRED

PROVIDE: (2) 10' Ø X 16' E.D. L.P. = 32' V.F. TOTAL OR 1,004 SF OF LEACHING  
EXPANSION: (1) 10' Ø X 16' E.D. L.P. = 16' V.F. TOTAL OR 502 SF OF LEACHING

LEGEND

	PROPOSED LP W/ SOLID COVER		PROPOSED GUARD BOOTH
	PROPOSED DRAINAGE MANHOLE		PROPOSED FENCE
	PROPOSED CATCH BASIN		PROPOSED SIGN
	PROPOSED DOUBLE CATCH BASIN		PROPOSED SIDEWALK
	PROPOSED DRAINAGE PIPE		PROPOSED PAVEMENT MARKING
	DRAINAGE BOUNDARY		PROPOSED CURB
	PROPOSED DRAINAGE AREA		
	PROPOSED CONTOUR		
	EXISTING SPOT ELEVATION		
	EXISTING MAJOR CONTOUR		
	EXISTING MINOR CONTOUR		
	PROPOSED SANITARY PIPE		
	PROPOSED SANITARY MANHOLE		
	PROPOSED SANITARY LEACHING POOL		
	PROPOSED SANITARY EXPANSION POOL		
	PROPOSED SANITARY A.I. SYSTEM		
	PROPOSED RIDGE		
	PROPOSED ROOF DRAINAGE		

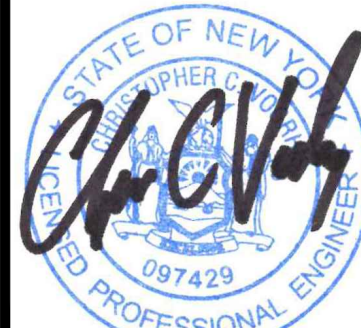
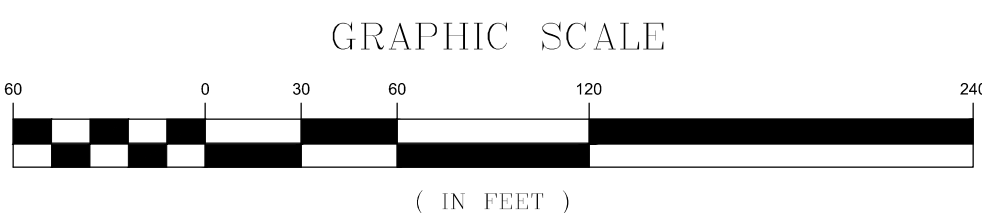
UTILITY NOTES

1. LOCATION OF EXISTING COMMUNICATION/UTILITY FACILITIES SHALL BE VERIFIED BY CONTRACTOR PRIOR TO EXCAVATION.
2. PROPOSED COMMUNICATION/UTILITY SERVICE LOCATIONS, INCLUDING BUT NOT LIMITED TO THE CABLE, WATER, TELEPHONE, GAS AND ELECTRIC COMPANY, ARE SUBJECT TO APPLICABLE COMMUNICATION/UTILITY COMPANY'S REQUIREMENTS AND APPROVAL.
3. UNLESS NOTED OTHERWISE, THE INSTALLATION OF THE COMMUNICATION/UTILITY COMPANY SERVICES ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE COMMUNICATION/UTILITY COMPANY AND ALL APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL REGULATIONS AND REQUIREMENTS.
4. ALL UTILITIES MUST BE INSTALLED AT A MINIMUM OF FIVE (5) FEET HORIZONTALLY FROM WATER AND SEWER LINES BUT NOT LESS THAN DIMENSIONAL REQUIREMENTS OF THE JURISDICTIONAL ENTITIES OR JURISDICTIONAL UTILITY.
5. COMMUNICATION/UTILITY SERVICE LOCATIONS ARE SCHEMATIC AND BASED UPON INFORMATION AVAILABLE AT THE TIME OF PLAN PREPARATION, THE CONTRACTOR SHALL COORDINATE WITH COMMUNICATION/UTILITY COMPANY PRIOR TO COMMENCEMENT OF CONSTRUCTION.

BOUNDARY FROM SURVEY PREPARED BY NELSON AND POPE  
DATED SEPTEMBER 02, 2022.

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Dig Safely. New York  
Call 811  
before you dig



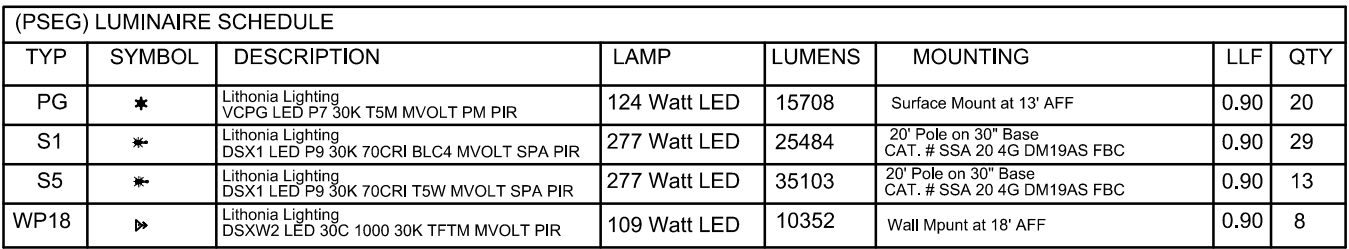
OVERALL UTILITY PLAN  
PROPOSED LIPA/PSEGLI OPERATION CENTER  
SITUATED AT  
MEDFORD  
TOWN OF BROOKHAVEN, SUFFOLK COUNTY, NEW YORK  
S.C.T.M.: DISTRICT: 200, SECTION: 574, BLOCK : 02, LOT: 3.001, 16 & 17.1

**NELSON + POPE**  
engineers • architects • surveyors  
70 Maxess Road, Melville, NY 11747 • 631.427.5665 • nelsonpoppe.com

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CHECKED BY: CCV	FILE NO.: 08204	
DATE: JULY 2023	PROJECT NO.: 08204	

C-105  
SHEET NO.: 6 OF 11





IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, PROFESSIONAL ENGINEERING AND LAND SURVEYING, SECTION 7209 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND SPECIFIC DESCRIPTION OF THE ALTERATION.

GRAPHIC SCALE

( IN FEET )





IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, PROFESSIONAL ENGINEERING AND LAND SURVEYING, SECTION 7209 FOR ANY PERSON, UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR LAND SURVEYOR, TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED. THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND SPECIFIC DESCRIPTION OF THE ALTERATION.

GRAPHIC SCALE

( IN FEET )

		MEADOW PLANT LIST	
SYM	TYPE	BOTANICAL NAME	COMMON NAME
		<i>Andropogon gerardii</i>	Big Bluestem
		<i>Andropogon scoparius</i>	Little Bluestem
		<i>Asclepias syriaca</i>	Common Milkweed
		<i>Asclepias tuberosa</i>	Butterfly Milkweed
		<i>Eragrostis tinctora</i>	Wet Quackgrass
		<i>Carex pensylvanica</i>	Pennsylvania Sedge
		<i>Carex scoparia</i>	Broom Sedge
		<i>Panicum virgatum</i>	Switchgrass
		<i>Solidago</i> sp.	Goldenrod
		<i>Sorghastrum nutans</i>	Indian Grass
	<i>Symphoricarpos novae-angliae</i>	New England Aster	

APPROX. 104,353 SF TO BE PLANTED IN 20T OR GREATER  
 18" O.C. SPACING IN GROUPS OF 5 TO 10 OF THE SAME

APPROX. 104,353 SF TO BE PLANTED IN 2QT OR GREATER  
18" O.C. SPACING IN GROUPS OF 5 TO 10 OF THE SAME  
SPECIES

COASTAL OAK HICKORY UNDERSTORY RESTORATION PLANT LIST			
SYM	TYPE	BOTANICAL NAME	COMMON NAME
	SHRUB	<i>Gaylussacia baccata</i>	Black Huckleberry
	SHRUB	<i>Ilex glabra</i>	Common Holly
	SHRUB	<i>Vaccinium angustifolium</i>	Lowbush Viburnum
	SHRUB	<i>Viburnum acerifolium</i>	Mapleleaf Viburnum
	SHRUB	<i>Carex pensylvanica</i>	Pennsylvania Sedge
	SHRUB	<i>Eurybia divaricata</i>	White Wood Aster
	SHRUB	<i>Maianthemum canadense</i>	Canada Mayflower
	SHRUB	<i>Smilacina racemosa</i>	False Solomon's seal
PERENNIAL			
PERENNIAL			


APPROX. 25,500 SF TO BE RESTORED  
 SPOT REPAIR OF INVASIVE SPECIES IN SELECT AREAS TO  
 BE VERIFIED IN FIELD

APPROX. 25,500 SF TO BE RESTORED  
SPOT REMOVAL OF INVASIVE SPECIES IN SELECT AREAS TO  
BE VERIFIED IN FIELD

PINE BARREN UNDERSTORY RESTORATION PLANT LIST			
SYM	TYPE	BOTANICAL NAME	COMMON NAME
X	T	<i>Quercus ilicifolia</i>	Scrub Oak
		<i>Quercus marilandica</i>	Blackjack Oak
		<i>Vaccinium angustifolium</i>	Low-lying Blueberry
		<i>Vaccinium membranaceum</i>	Huckleberry
		<i>Arctostaphylos uva-ursi</i>	Bear Berry
		<i>Baptisia tinctoria</i>	Wild Indigo
		<i>Cypripedium pensylvanicum</i>	Pennsylvania Sedge
		<i>Panicum virgatum</i>	Switch Grass
		<i>Pteridium aquilinum</i>	Bracken Fern
		<i>Solidago nemoralis</i>	Gray Goldenrod

APPROX. 134,071 SF TO BE RESTORED AFTER INVASIVE SPECIES ARE REMOVED

APPROX. 134,071 SF TO BE RESTORED AFTER INVASIVE SPECIES ARE REMOVED

PERENNIAL PLANTING-SHADE PLANT LIST			
SYM	TYPE	BOTANICAL NAME	COMMON NAME
 PERENNIALS		<i>Actaea racemosa</i>	Black Cohosh
		<i>Arctostaphylos uva-ursi</i>	Bearberry
		<i>Aquilegia canadensis</i>	Wild Columbine
		<i>Oxenta exima</i>	Wild Scented Heart
		<i>Geranium maculatum</i>	Wild Geranium
		<i>Heuchera 'Awakening'</i>	Awakening Coral Bells
		<i>Heuchera 'Magma'</i>	Magma Coral Bells
		<i>Matrella struthiostris</i>	Oztrich Fern
		<i>Parthenocissus quinquefolia</i>	Virginia Creeper
		<i>Thalictrum cordifolium 'Biancospina'</i>	Brandywine <i>Flower</i>

APPROX. 774 SF TO BE PLANTED IN 2 QT OR GREATER  
18" O.C. SPACING IN GROUPS OF 3 TO 5 OF THE SAME SPECIES

LONG ISLAND SUN AND SHADE GRASS SEED MIX SHALL BE BY ALL PRO  
HORTICULTURE OR APPROVED EQUAL CONSISTING OF THE FOLLOWING :


- 70% TALL FESCUE
- 25% RYE GRASS
- 5% BLUEGRASS

APPLIED AT A RATE OF 10 - 15 LBS PER ACRE



OWNER:  
-

APPLICANT:  
-



LANDSCAPE PLAN

PROPOSED LIPA/PSEGLI OPERATION CENTER  
SITUATED AT  
MEDFORD  
TOWN OF BROOKHAVEN, SUFFOLK COUNTY, NEW YORK  
S.C.T.M.; DISTRICT: 200, SECTION: 574, BLOCK : 02, LOT: 3.001, 16 & 17.1

NELSON + POPE

engineers • architects • surveyors

70 Maxess Road, Melville, NY 11747 • 631.427.5665 • nelsonpope.com

DRAWN BY: KK	CADD: 08204-LAND.DWG	SCALE: 1" = 60'	LA-101
CHECKED BY: CCV	FILE NO.: -		
DATE: JULY 2023	PROJECT NO.: 08204		
			SHEET NO.: 8 OF 8

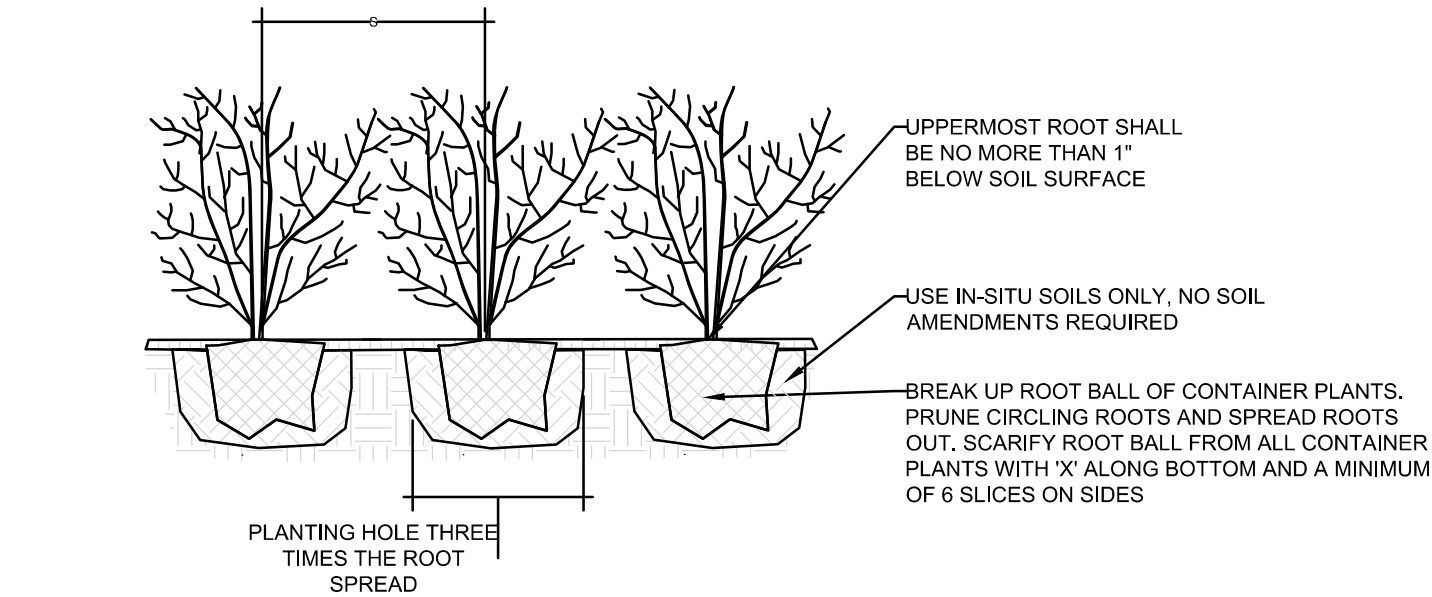


MAINTENANCE NOTES

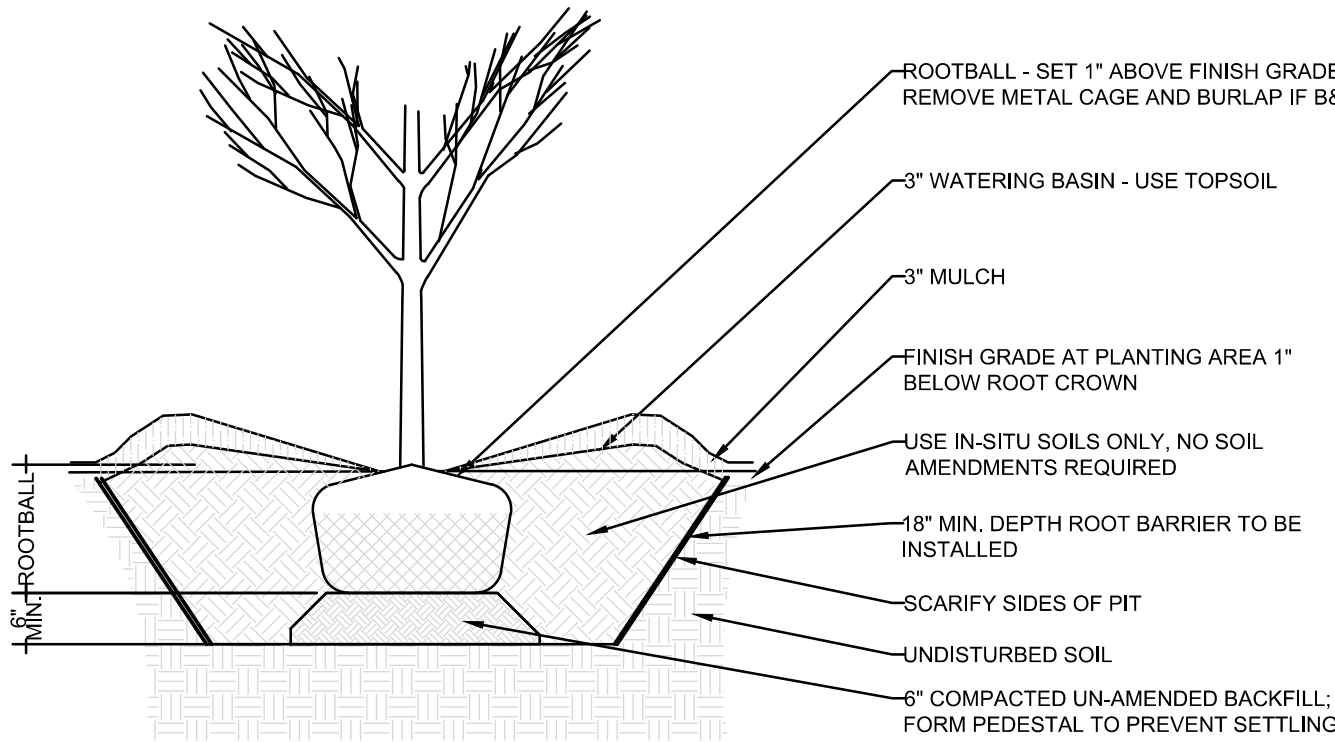
- 1. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK AND PARTS THEREOF TO FINAL ACCEPTANCE.
- 2. THE CONTRACTOR SHALL REPLACE ALL PLANT MATERIAL THAT ARE DEAD, IN UNSIGHTLY CONDITION, UNHEALTHY, WITHIN THE THREE YEAR PERIOD FROM THE COMPLETION AND FINAL ACCEPTANCE OF THE COMPLETE CONTRACT. THE WARRANTY PERIOD SHALL BE 3 YEAR FROM DATE OF FINAL ACCEPTANCE OF WORK TO A SURVIVAL RATE OF 85%.
- 3. SHOULD IRRIGATION BE NEEDED WITHIN THE THREE YEAR PERIOD FROM COMPLETION, A WATER TRUCK WILL BE UTILIZED TO IRRIGATE THE PLANTING AREAS.

PLANTING NOTES

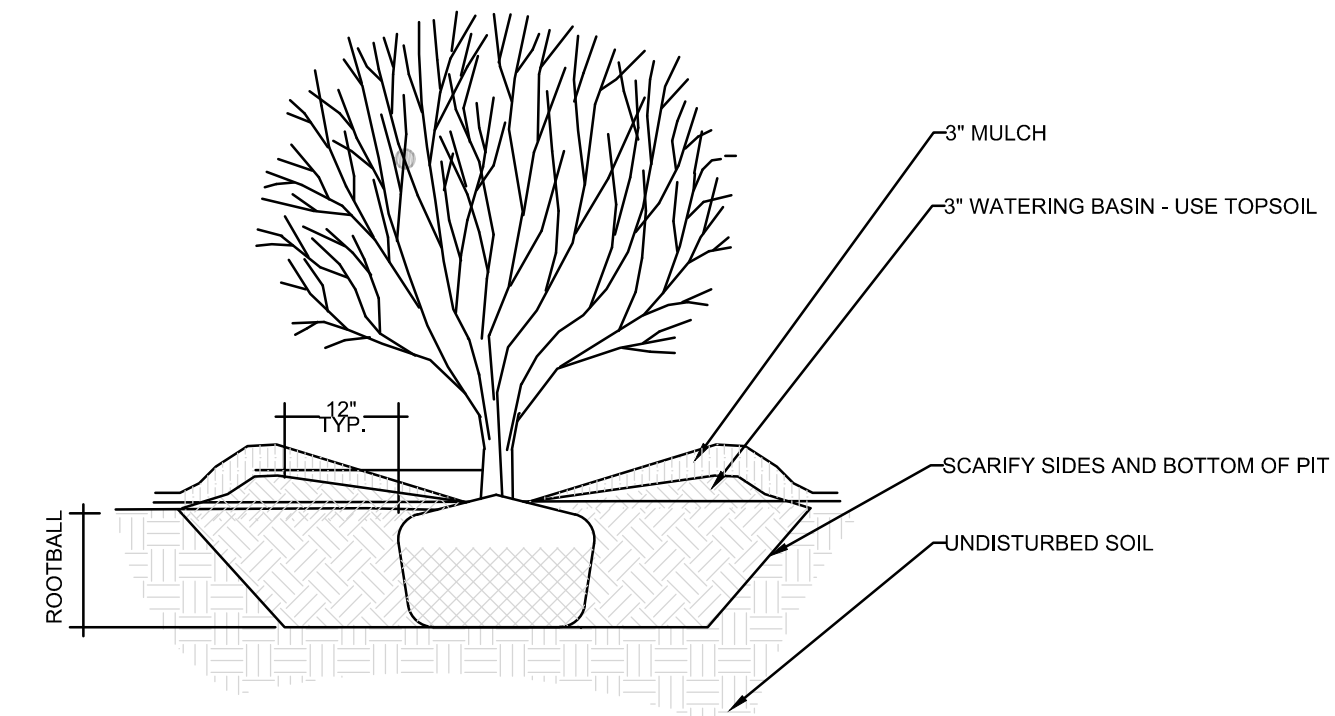
- 1. ALL PLANT MATERIAL SUPPLIED AND INSTALLED SHALL BE IN ACCORDANCE WITH CURRENT A.A.N. (AMERICAN ASSOCIATION OF NURSERYMEN), AND ACCEPTED INDUSTRY STANDARDS. NO SUBSTITUTION OF MATERIAL SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ECOLOGIST/ ARCHITECT.
- 2. CULTIVATE AND RAKE OVER FINISHED PLANTING AREA AND LEAVE IN AN ORDERLY CONDITION.
- 3. FORM A SHALLOW BASIN AROUND EACH PLANT SO AS TO HOLD WATER AND MULCH.
- 4. PLANT MATERIAL WILL BE PRIMARILY SOURCED FROM WARRENS NURSERY AND LONG ISLAND NATIVE PLANT INITIATIVE (LINPI) WHO CAN PROVIDE ECOTYPIC SPECIES. LIST WILL BE SUPPLEMENTED BY GLOVER PERENNIALS, PINELANDS NURSERY, COUNTRY GARDENS AND ON-SITE TRANSPLANT SPECIES.
- 5. TEMPORARY DEER FENCE OR STAKING SHOULD BE INSTALLED PRIOR TO INSTALLATION TO DELINEATE THE BOUNDARY OF THE REVEGETATION AREA. IT IS RECOMMENDED THAT THE DEER FENCE REMAIN IN PLACE UNTIL FULL ESTABLISHMENT OF SPECIES.



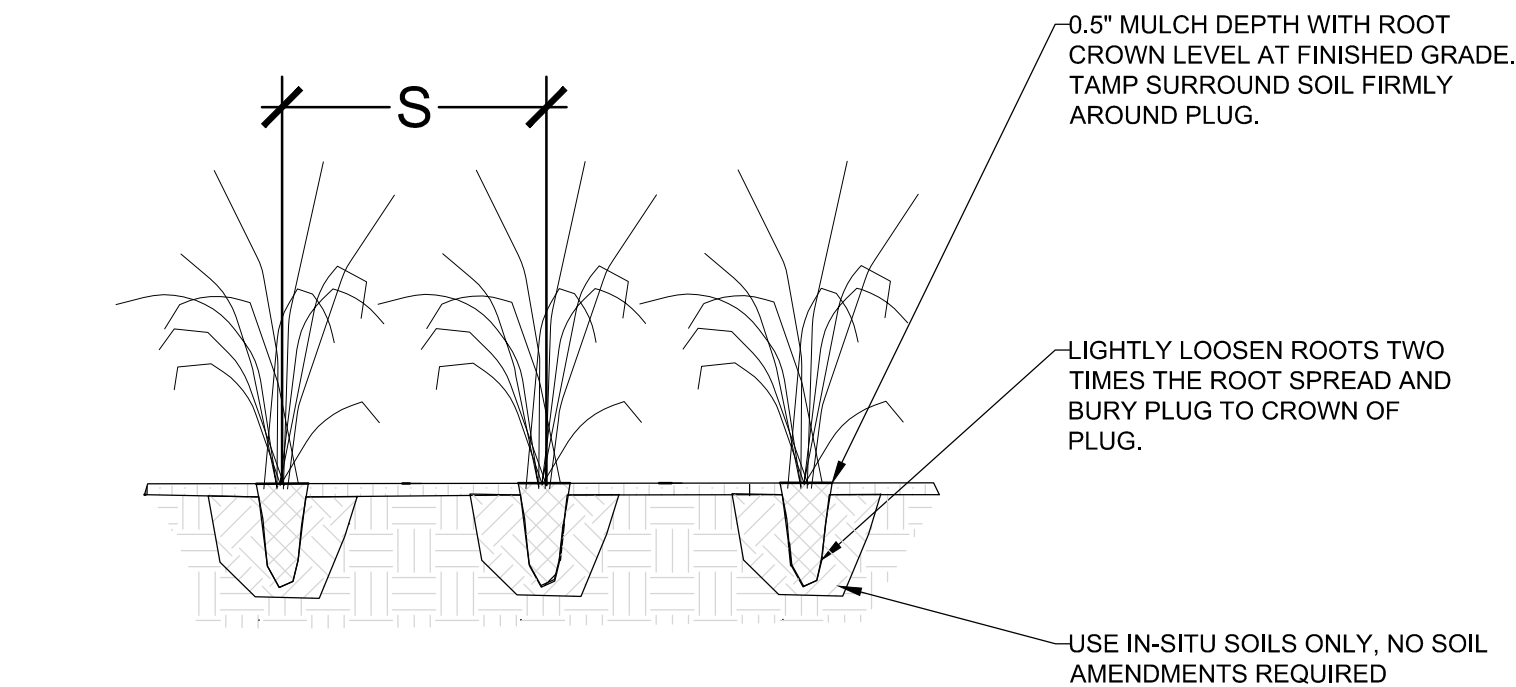
1 CONTAINER INSTALLATION



2 TREE INSTALLATION

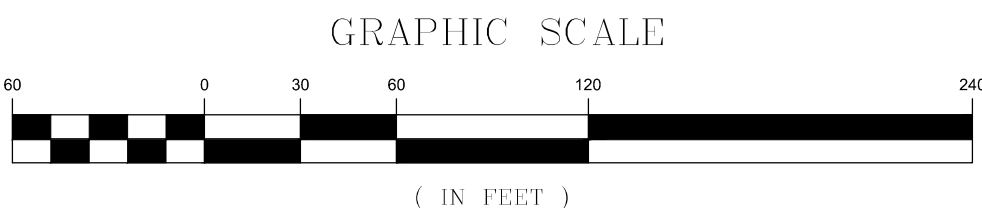


3 SHRUB INSTALLATION



4 PLUG INSTALLATION

Scale: NTS



GENERAL LANDSCAPE PLANTING NOTES:

- 1. ALL PRECAUTIONS SHALL BE TAKEN IN CARTING, STORING, AND PLANTING OF MATERIALS TO PROTECT ADJACENT PAVEMENT AND LANDSCAPE AREAS.
- 2. PLANTS SHALL BE TRUE TO SPECIES AND VARIETY SPECIFIED AND NURSERY-GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, UNLESS SPECIFICALLY NOTED. ALL PLANTS SHALL BE OF SPECIMEN QUALITY, EXCEPTIONAL HEAVY, SYMMETRICAL, FREE OF DISEASE AND INSECTS, EGGS, OR LARVAE, AND SHALL HAVE HEALTHY WELL DEVELOPED ROOT SYSTEMS. THE LANDSCAPE ARCHITECT AND/OR THE OWNER OR THEIR REPRESENTATIVE RESERVES THE RIGHT TO TAG, INSPECT AND APPROVE ALL PLANT MATERIALS AND REJECT ANY PLANTS FOUND TO BE UNACCEPTABLE AT THE NURSERY, AT THE SITE UPON DELIVERY, OR UPON INSTALLATION. THE CONTRACTOR SHALL REMOVE REJECTED PLANT MATERIAL FROM THE SITE AND REPLACE WITH APPROVED EQUIVALENT BY LANDSCAPE ARCHITECT.
- 3. ALL PLANTS SHALL BE LABELED BY PLANT NAME, LABELS SHALL BE ATTACHED SECURELY TO ALL PLANTS, BUNDLES AND CONTAINERS WHEN DELIVERED.
- 4. NO SUBSTITUTIONS OF PLANT MATERIAL WILL BE PERMITTED. IF THE SPECIFIED LANDSCAPE MATERIAL CANNOT BE OBTAINED, THE CONTRACTOR SHALL SUBMIT A WRITTEN PROPOSAL FOR USE OF AN EQUIVALENT MATERIAL. SUBSTITUTIONS OF PLANT MATERIALS MUST BE AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT OR PROJECT ENGINEER.
- 5. THE LANDSCAPE CONTRACTOR SHALL STAKE OUT THE LIMIT OF PLANTING LOCATIONS, PRIOR TO INSTALLATION WITH REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT AND OR OWNER. THE LANDSCAPE ARCHITECT AND/OR OWNER SHALL DIRECT THE CONTRACTOR IN THE ACQUISITION OF ALL PLANT MATERIAL AND LOCATION OF PLANTING BEDS TO ENSURE COMPLIANCE WITH DESIGN INTENT UNLESS OTHERWISE INSTRUCTED.
- 6. IF THERE IS A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLAN GOVERNS.
- 7. IT IS THE CONTRACTORS RESPONSIBILITY TO CALL 811 AND HAVE ALL EXISTING UNDERGROUND UTILITY AND SEWER LINES MARKED PRIOR TO THE START OF EXCAVATION ACTIVITIES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE PROJECT ENGINEER AND OWNER IF THERE ARE CONFLICTS WITH PROPOSED PLANTING LOCATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE.
- 8. THE BACKFILL MIXTURE AND SOIL MIXES ARE TO BE INSTALLED PER THE SPECIFICATIONS.
- 9. ALL FENCE AND HARDSCAPE INSTALLATIONS SHALL BE COMPLETED PRIOR TO THE COMMENCEMENT OF ANY LANDSCAPE PLANTING, SEEDING OR LAWN.
- 10. THE LANDSCAPE ARCHITECT MAY REVIEW PLANT MATERIALS AT THE SITE, BEFORE INSTALLATION FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE AND QUALITY. REMOVE ALL TWINE, ROPE, WIRE, CONTAINERS, LABELS AND FLAGGING ON PLANTS BEFORE INSTALLATION. DISPOSE OF ALL DEBRIS APPROPRIATELY AND SWEEP ALL SURROUNDING PAVEMENTS.
- 11. ALL TREES AND HEDGES ARE NOT TO BE TRIMMED IN GEOMETRIC FORMS AND ARE TO BE LEFT IN A NATURAL HABIT.
- 12. MULCHING:
  - 12.1. AT THE TIME OF PLANTING, MULCH WITH NO MORE THAN 3\"
  - 12.2. ALL EXPOSED GROUND SURFACES THAT ARE NOT PAVED WITHIN THE LIMITS OF CONSTRUCTION, AND THAT ARE NOT COVERED BY LANDSCAPE PLANTING OR SEEDING AS SPECIFIED, SHALL BE COVERED BY A NATURAL DOUBLE-SHREDDED MULCH THAT WILL PREVENT SOIL EROSION AND CONTROL DUST.
  - 12.3. AFTER INITIAL MULCH INSTALLATION, REPLENISH GARDEN BEDS WITH ADDITIONAL MULCH IN MID TO LATE SPRING, ONLY IN AREAS THAT ARE SHOWING BARE SOILS AND/OR COVERED IN WEEDS. REMOVE ALL UNWANTED PLANTS/WEEDS BEFORE DRESSING BED WITH MULCH.
- 13. DELIVERY, HANDLING AND STORAGE:
  - 13.1. TREES AND SHRUBS SHALL NOT BE PRUNED PRIOR TO DELIVERY UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. DO NOT BEND, BIND-TIE TREES IN A MANNER AS TO DAMAGE BARK, BREAK BRANCHES, OR DESTROY NATURAL SHAPE. DO NOT DROP BALL AND BURLAPPED STOCK DURING DELIVERY OR HANDLING. PLASTIC, METAL WIRE BASKET AND/OR OTHER ROOT COVERINGS, WRAPPING AND BIND MATERIAL SHALL BE REMOVED ENTIRELY FROM THE PLANT MATERIAL AT TIME OF INSTALLATION.
  - 13.2. STORE PLANT MATERIAL- IF INSTALLATION IS DELAYED MORE THAN 8 HOURS AFTER ARRIVAL TO SITE. THE CONTRACTOR SHALL SET ALL PLANT MATERIAL IN SHADE, PROTECTED FROM WEATHER, MECHANICAL DAMAGE, THEIEVERY, AND DETERIORATION. PLANT SOIL MUST BE KEPT MOIST USING A WATERING TANK, HOSE OR OTHER SYSTEM UNTIL READY FOR PLANTING. ANY PACKAGED MATERIALS, SUCH AS BOXED PERENNIALS MUST BE OPENED, UNWRAPPED AND FREE AS TO NOT RESTRAIN AIR CIRCULATION AND WATERING WHILE WAITING TO BE INSTALLED.
- 14. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN COMPLETED AND APPROVED BY PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
- 15. IF COMPACTION OCCURS DURING EARTHWORK PRIOR TO PLANT INSTALLATION, THE CONTRACTOR MUST HAVE THE SOIL SCARIFIED AND LOOSENED TO THE DEPTH OF COMPACTION OR 12-18\", WHICHEVER IS DEEPEST, WITH A BACKHOE OR EQUIVALENT WITHOUT TAMPING SOILS.
- 16. ALL FINE GRADED AREAS SHALL BE HAND RAKED SMOOTH TO ELIMINATE ANY CLUMPS, ROCKS, STUMPS, TRASH AND/OR OTHER UNSIGHTLY DEBRIS PRIOR TO PLANTING OR MULCHING.
- 17. MAINTAIN SITE DRAINAGE DURING LANDSCAPE INSTALLATION. PLANT INSTALLATIONS:
  - 17.1. BALL AND BURLAP TREES: SHALL HAVE A PLANTING HOLE A MINIMUM OF TWICE TO THREE TIMES THE WIDTH AND JUST AS DEEP AS THE ROOT BALL, WITH SLOPED SIDES. TREES SHALL BE PLANTED WITH THE ROOT FLARE AT EXISTING GRADE. WIRE BASKETS, TWINE, BURLAP, NAILS AND TAGS SHALL BE REMOVED COMPLETELY WITHOUT COMPROMISING THE SOIL OF THE PLANT IF SOILS ARE EXTREMELY LOOSE. LEAVE BOTTOM HALF OF BURLAP INTACT AND CUT AND REMOVE TOP HALF OF WIRE BASKET. BACKFILL SOIL JUST BELOW ROOT COLLAR. SOAK PEST PIT IMMEDIATELY WITH 5 GALLONS FOR EVERY INCH OF TRUNK DIAMETER.
  - 17.2. CONTAINER PLANTS: SHALL HAVE THE CONTAINER AND TAGS REMOVED BEFORE INSTALLATION. ROOTS SHALL BE CUT THROUGH THE SURFACE IN AN \"X\" FORMATION AT BASE OF BALL AND CUT ALONG ALONG THE SIDES OF THE BALL AT LEAST SIX TIMES TO FREE ROOTS AND ENCOURAGE NEW GROWTH, ESPECIALLY IF IT IS ROOT BOUND. FINE ROOTS OF SMALLER CONTAINER PLANTS SHOULD BE TEASED DELICATELY WITH BY HAND OR WITH A HAND CULTIVATOR.
  - 17.3. STAKING OF ANY INSTALLED TREE IS NOT NEEDED.
- 18. SEEDING:
  - 18.1. SPREAD SEED EVENLY OVER ENTIRE AREA OR SEED WITH BROADCAST SEEDER FOLLOWED BY A RAKE OR CULTIPACKER. SEED CAN ALSO BE SPREAD BY HYDROSEEDING FROM A HOSE AT GROUND LEVEL, NOT THROUGH THE USE OF A TURRET. IF HYDROSEEDING IS SELECTED, SEEDING WILL REQUIRE A TACKIFIER AND A COLORED MULCH.
  - 18.2. THERE SHALL BE NO SEED SUBSTITUTIONS UNLESS AUTHORIZED BY THE LANDSCAPE ARCHITECT.
  - 18.3. GENERALLY SEED APPLICATION RECOMMENDED PER SPECIFIED APPLICATION RATE TO NO MORE THAN 1/2 INCH DEPTH (OR APPROPRIATE DEPTH FOR SELECTED SPECIES). REFER TO LANDSCAPE PLAN FOR SPECIES, PERCENTAGES AND APPLICATION RATES.
- 19. INSTALLED PLANTINGS SHALL BE IN PROPER HEALTH AND HAVE A 80% SURVIVAL RATE OVER THE FIRST TWO YEARS FOLLOWING ACCEPTANCE BY THE OWNER. PLANT MATERIAL FOUND TO BE DEAD, DYING OR IN POOR HEALTH SHALL BE REMOVED AND REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.
- 20. LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN COMPLIANCE WITH THE TOWN OF OYSTER BAYS REGULATIONS AND SITE IMPROVEMENT SPECIFICATIONS AND ADDENDA

LAYOUT NOTES

- 1. VERIFY LOCATION OF ALL BUILDINGS, WALLS, ROADS AND CURBS AFFECTING LANDSCAPE SCOPE OF WORK WITH RELEVANT ARCHITECTURAL AND ENGINEERING DRAWINGS PRIOR TO COMMENCING SITE WORK.
- 2. WHERE NOT SHOWN ON LANDSCAPE DRAWINGS, SEE CIVIL ENGINEERS DRAWINGS FOR ROADWAY CENTERLINE, STATION POINTS, BENCHMARKS AND BUILDING SETBACKS.
- 3. VERIFY LOCATION OF ALL VAULTS, ELECTRICAL DUCT BANKS, MANHOLES, CONDUIT, PIPING, DRAINAGE STRUCTURES, LIGHTING, AND OTHER UTILITIES WITH THE APPROPRIATE ENGINEERS DRAWINGS.
- 4. ALL DIMENSIONS CALLED OUT AS \"EQUAL\" OR \"EQ\" ARE EQUIDISTANT MEASUREMENTS BETWEEN THE REFERENCE POINTS SHOWN.
- 5. ALL ITEMS DESIGNATED AS \"SIM\" OR \"TYP\" ARE TO BE CONSTRUCTED IN THE MANNER OF THE DETAIL REFERENCED, WITH MINOR ADJUSTMENT FOR SPECIFIC CONDITION.
- 6. ALL ANGLES ARE 90 DEGREES AND ALL LINES ARE TO BE HELD PARALLEL, UNLESS OTHERWISE NOTED ON THE DRAWINGS. MAINTAIN HORIZONTAL ALIGNMENT FOR ALL ADJACENT ELEMENTS SO REFERENCED ON THE DRAWINGS.
- 7. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE APPARENT ON DRAWINGS. DO NOT SCALE FROM DRAWINGS. SEE ENLARGED PLANS AND SPECIFIC DETAILS FOR ADDITIONAL INFORMATION.
- 8. INDIVIDUAL NOTES AND SPECIFIC DETAILS TAKE PRECEDENCE OVER GENERAL NOTES AND GENERIC DETAILS.

UTILITY NOTES:

- 1. THE CONTRACTOR IS HEREBY NOTIFIED THAT UNDERGROUND UTILITIES EXIST AT THE SITE. VERIFICATION OF LOCATION OF EXISTING UTILITIES IS REQUIRED PRIOR TO COMMENCEMENT OF WORK.
- 2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE ACCURACY OF ALL EXISTING UTILITY INFORMATION.
- 3. ANY DAMAGE OR DISTURBANCE TO EXISTING UTILITIES DURING THE DURATION OF THE CONTRACT IS TO BE REPAIRED/REPLACED \"IN KIND\" BY THE CONTRACTOR AT HIS OWN EXPENSE.

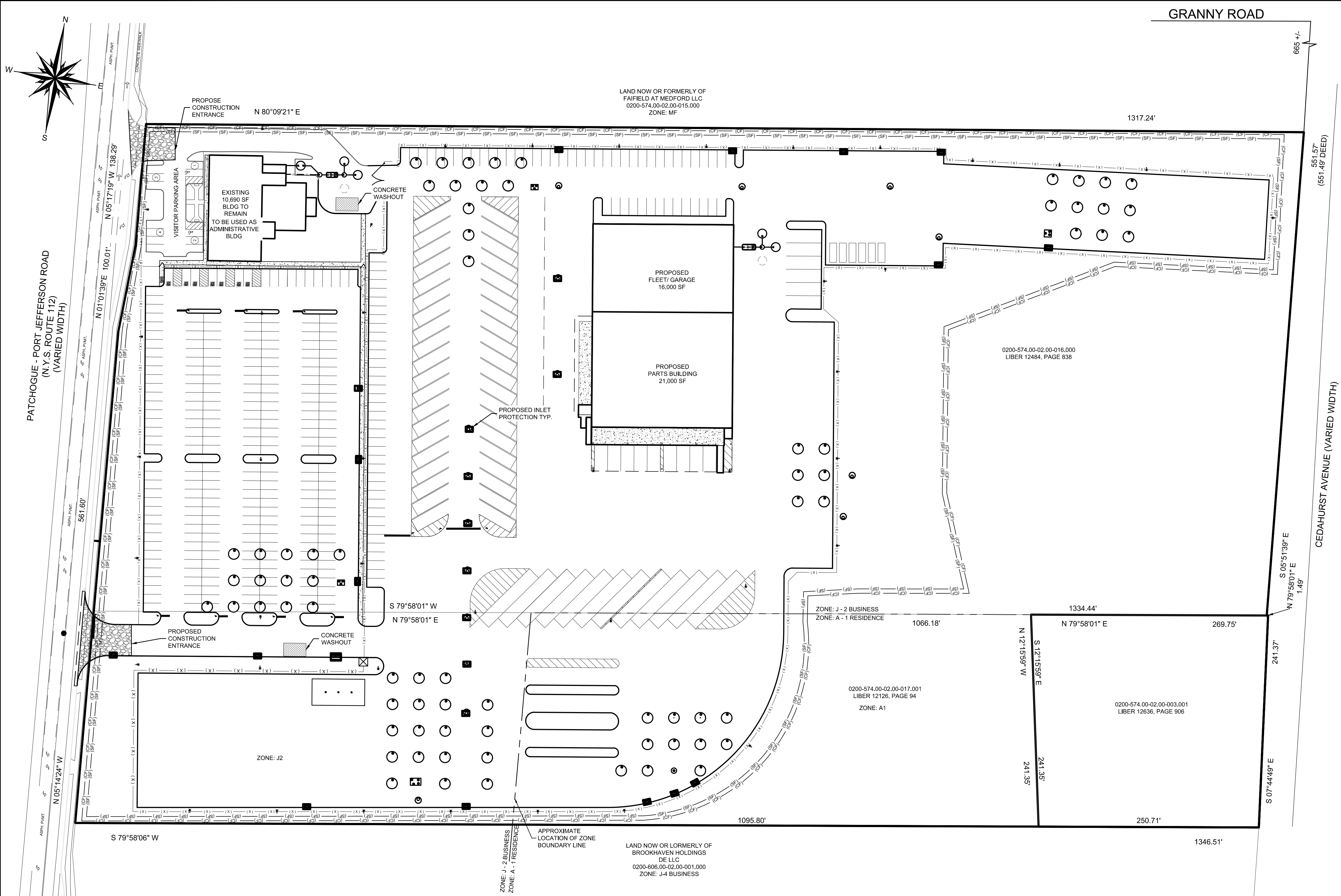
BOUNDARY FROM SURVEY PREPARED BY NELSON AND POPE DATED SEPTEMBER 02, 2022.

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OWNER:		LANDSCAPE DETAILS	
APPLICANT:		PROPOSED LIPA/PSEGLI OPERATION CENTER SITUATED AT MEDFORD TOWN OF BROOKHAVEN, SUFFOLK COUNTY, NEW YORK S.C.T.M.: DISTRICT: 200, SECTION: 574, BLOCK : 02, LOT: 3.001, 16 & 17.1	
Nelson + Pope		engineers • architects • surveyors	
70 Maxess Road, Melville, NY 11747 • 631.427.5665 • nelsonpoppe.com			
DRAWN BY: KK	CADD: 08204-LAND.DWG	SCALE:	LA-102
CHECKED BY: CCV	FILE NO.:	AS NOTED	
DATE: JULY 2023	PROJECT NO.: 08204		
SHEET NO.: 9 OF 11			





### SEDIMENT AND EROSION CONTROL NOTES

1. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, THE CONTRACTOR SHALL IMPLEMENT, MAINTAIN AND MODIFY AS CONDITIONS WARRANT, SEDIMENT AND CONTROL MEASURES IN GENERAL CONFORMANCE TO THE LATEST EDITION OF THE NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL (THE "BLUE BOOK"), AS ORDERED BY THE JURISDICTIONAL ENTITY(S) FOR THE DURATION OF CONSTRUCTION ACTIVITIES AND THE SITE IS STABILIZED, AS SHOWN ON THE SEDIMENT AND CONTROL PLANS AND MEASURES CONTAINED HEREIN AND IF APPLICABLE THE APPROVED STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
2. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE IMPLEMENTATION OF AND COMPLIANCE WITH THE SEDIMENT AND EROSION CONTROL REQUIREMENTS AND REGULATIONS.
3. ALL DISTURBED AREAS SHALL BE STABILIZED UTILIZING APPROVED MEASURES IF INACTIVE FOR GREATER THAN 2 WEEKS.

### EROSION CONTROL NOTES

1. A - EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AND REMAIN UNDISTURBED.
2. B - CLEARING AND GRADING SHALL BE SCHEDULED SO AS TO MINIMIZE THE SIZE OF EXPOSED AREAS AND THE LENGTH OF TIME THAT AREAS ARE EXPOSED.
3. C - THE LENGTH AND STEEPNESS OF CLEARED SLOPES SHALL BE MINIMIZED TO REDUCE RUN-OFF VELOCITIES.
4. D - RUN-OFF SHALL BE DIVERTED AWAY FROM CLEARED SLOPES.
5. E - SEDIMENT SHALL BE TRAPPED ON-SITE.
6. SPECIFIC METHODS AND MATERIALS EMPLOYED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES SHALL CONFORM TO THE NEW YORK GUIDELINES FOR EROSION AND SEDIMENT CONTROL, LATEST EDITION.
7. SEDIMENT BARRIERS (SILT FENCES, HAY BALES OR APPROVED EQUAL) SHALL BE INSTALLED AS REQUIRED ALONG LIMITS OF DISTURBANCE FOR THE DURATION OF THE WORK. NO SEDIMENT FROM THE SITE SHALL BE PERMITTED TO WASH ON TO ADJACENT PROPERTIES, WETLANDS OR ROADS.
8. GRADED AND STRIPPED AREAS AND STOCKPILES SHALL BE KEPT STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AS REQUIRED. SEED MIXTURE SHALL BE IN ACCORDANCE WITH SOIL CONSERVATION SERVICE RECOMMENDATIONS.
9. DRAINAGE INLETS INSTALLED AS PART OF THE PROJECT SHALL BE PROTECTED FROM SEDIMENT BUILD-UP THROUGH THE USE OF SEDIMENT BARRIERS, SEDIMENT TRAPS, ETC., AS REQUIRED.
10. INSPECTION AND MAINTENANCE OF EROSION CONTROL MEASURES IS TO BE PERFORMED DAILY BY CONTRACTOR PRIOR TO THE START OF CONSTRUCTION FOR THE DAY AND AFTER HEAVY OR PROLONGED STORMS. MAINTENANCE MEASURES INCLUDE, BUT NOT LIMITED TO, CLEANING OF SEDIMENT BASINS OR TRAPS, CLEANING OR REPAIR OF SEDIMENT BARRIERS, CLEANING AND REPAIR OF BERMS AND DIVERSIONS, AND CLEANING AND REPAIR OF OF INLET PROTECTION.
11. APPROPRIATE MEANS SHALL BE USED TO CONTROL DUST DURING CONSTRUCTION. SEE DUST CONTROL NOTES, THIS SHEET.
12. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO PREVENT SOIL AND LOOSE DEBRIS FROM BEING TRACKED ONTO LOCAL ROADS. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED.
13. SEDIMENT BARRIERS AND OTHER EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL UPLAND DISTURBED AREAS ARE PERMANENTLY STABILIZED. AFTER PERMANENT STABILIZATION, PAVED AREAS SHALL BE CLEANED AND DRAINAGE SYSTEM FLUSHED AS NECESSARY.
14. DURING THE COURSE OF CONSTRUCTION, CERTAIN EROSION AND SEDIMENT CONTROL MEASURES MAY BECOME NECESSARY TO PREVENT THE TRANSPORT OF SEDIMENT TO OFF-SITE AREAS, PONDS, WATER COURSES, DRAINAGE INLETS, RECHARGE BASINS, ETC. ACTUAL EROSION CONTROL MEASURES WILL BE DICTATED BY FIELD CONDITIONS AS CONSTRUCTION PROGRESSES BUT THE GENERAL CONDITIONS IN NOTES 1 THROUGH 9 SHALL BE OBSERVED.

### DUST CONTROL NOTES

**DEFINITION**  
THE CONTROL OF DUST RESULTING FROM LAND-DISTURBING ACTIVITIES.

**PURPOSE**  
TO PREVENT SURFACE AND AIR MOVEMENT OF DUST FROM DISTURBED SOIL SURFACES THAT MAY CAUSE OFF-SITE DAMAGE, HEALTH HAZARDS AND TRAFFIC SAFETY PROBLEMS.

**CONDITIONS WHERE PRACTICE APPLIES**  
ON CONSTRUCTION ROADS, ACCESS POINTS, AND OTHER DISTURBED AREAS SUBJECT TO SURFACE DUST MOVEMENT AND DUST BLOWING WHERE OFF-SITE DAMAGE MAY OCCUR IF DUST IS NOT CONTROLLED.

**DESIGN CRITERIA**  
CONSTRUCTION OPERATIONS SHOULD BE SCHEDULED TO MINIMIZE THE AMOUNT OF AREA DISTURBED AT ONE TIME. BUFFER AREAS OF VEGETATION SHOULD BE LEFT WHERE PRACTICAL. TEMPORARY OR PERMANENT STABILIZATION MEASURES SHOULD BE INSTALLED. NO SPECIFIC DESIGN CRITERIA ARE GIVEN; SEE CONSTRUCTION SPECIFICATIONS BELOW FOR COMMON METHODS OF DUST CONTROL.

WATER QUALITY MUST BE CONSIDERED WHEN MATERIALS ARE SELECTED FOR DUST CONTROL. WHERE THERE IS POTENTIAL FOR THE MATERIAL TO WASH OFF TO A STREAM OR WATER BODY, INGREDIENT INFORMATION MUST BE PROVIDED TO THE LOCAL PERMITTING AUTHORITY.

#### CONSTRUCTION SPECIFICATIONS

A. NON-DRIVING AREAS - THESE AREAS USE PRODUCTS AND MATERIALS APPLIED OR PLACED ON SOIL SURFACES TO PREVENT AIRBORNE MIGRATION OF SOIL PARTICLES.

VEGETATIVE COVER - FOR DISTURBED AREAS NOT SUBJECT TO TRAFFIC, VEGETATION PROVIDES THE MOST PRACTICAL METHOD OF DUST CONTROL. TEMPORARY SEEDING SHALL BE AS FOLLOWS:

RYE GRASS (ANNUAL OR PERENNIAL) AT 30 LBS. PER ACRE (0.7 LBS./1,000 S.F.)

CERTIFIED "AROSTOOK" WINTER RYE (CEREAL RYE) AT 100 LBS. PER ACRE (2.5 LBS./S.F.)

USE WINTER RYE IF SEEDING IN OCTOBER / NOVEMBER.

MULCH (INCLUDING GRAVEL MULCH) - MULCH OFFERS A FAST, EFFECTIVE MEANS OF CONTROLLING DUST. THIS CAN ALSO INCLUDE ROLLED EROSION CONTROL BLANKETS.

SPRAY ADHESIVES - THESE ARE PRODUCTS GENERALLY COMPOSED OF POLYMERS IN A LIQUID OR SOLID FORM THAT ARE MIXED WITH WATER TO FORM AN EMULSION THAT IS SPRAYED ON THE SOIL SURFACE WITH TYPICAL HYDROSEEDING EQUIPMENT. THE MIXING RATIOS AND APPLICATION RATES WILL BE IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS FOR THE SPECIFIC SOILS ON THE SITE. IN NO CASE SHOULD THE APPLICATION OF THESE ADHESIVES BE MADE ON WET SOILS OR IF THERE IS A PROBABILITY OF PRECIPITATION WITHIN 48 HOURS OF ITS PROPOSED USE. MATERIAL SAFETY DATA SHEETS WILL BE PROVIDED TO ALL APPLICATORS AND OTHERS WORKING WITH THE MATERIAL.

EXAMPLES OF SPRAY ADHESIVES FOR USE ON MINERAL SOILS ARE SHOWN IN THE FOLLOWING TABLE.

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS ACRE
ACRYLIC POLYMER	9:1	COURSE SPRAY	500
LATEX EMULSION	12.5:1	FINE SPRAY	235
RESIN IN WATER	4:1	FINE SPRAY	300

B. DRIVING AREAS - THESE AREAS UTILIZE WATER, POLYMER EMULSIONS AND BARRIERS TO PREVENT DUST MOVEMENT FROM THE TRAFFIC SURFACE INTO THE AIR.


SPRINKLING - THIS SITE MAY BE SPRAYED UNTIL THE SURFACE IS WET. THIS IS ESPECIALLY EFFECTIVE ON HAUL ROADS AND ACCESS ROUTES.

POLYMER ADDITIVES - THESE POLYMERS ARE MIXED WITH WATER AND APPLIED TO THE DRIVING SURFACE BY A WATER TRUCK WITH A GRAVITY FEED DRIP BAR, SPRAY BAR OR AUTOMATED DISTRIBUTOR TRUCK. THE MIXING RATIOS AND APPLICATION RATES WILL BE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. INCORPORATION OF THE EMULSION INTO THE SOIL WILL BE DONE TO THE APPROPRIATE DEPTH BASED ON EXPECTED TRAFFIC, COMPACTION AFTER INCORPORATION WILL BE BY VIBRATORY ROLLER. THE PREPARED SURFACE SHALL BE MOIST AND NO APPLICATION OF THE POLYMER WILL BE MADE IF THERE IS A PROBABILITY OF PRECIPITATION WITHIN 48 HOURS OF ITS PROPOSED USE. MATERIAL SAFETY DATA SHEETS WILL BE PROVIDED TO ALL APPLICATORS WORKING WITH THE MATERIAL.

BARRIERS - WOVEN GEOTEXTILES CAN BE PLACED ON THE DRIVING SURFACE TO EFFECTIVELY REDUCE DUST THROW AND PARTICLE MIGRATION ON HAUL ROADS. STONE CAN ALSO BE USED FOR CONSTRUCTION ROADS FOR EFFECTIVE DUST CONTROL.

WINDBREAK - A SILT FENCE OR SIMILAR BARRIER CAN CONTROL AIR CURRENTS AT INTERVALS EQUAL TO TEN TIMES THE BARRIER HEIGHT. PRESERVE EXISTING WIND BARRIER VEGETATION AS MUCH AS PRACTICAL.

**MAINTENANCE**  
MAINTAIN DUST CONTROL MEASURES THROUGH DRY WEATHER PERIODS UNTIL ALL DISTURBED AREAS ARE STABILIZED.

2	ISSUED FOR CPBC SUBMISSION	9-8-2023
1	REVISE LANDSCAPE PLAN AS PER CLIENT COMMENTS	7-27-2023
#	REVISION	DATE
<b>OWNER:</b> -		
<b>APPLICANT:</b> -		
<b>EROSION CONTROL PLAN</b>		
<b>PROPOSED LIPA/PSEGLI OPERATION CENTER</b>		
<b>SITUATED AT</b>		
<b>MEDFORD</b>		
TOWN OF BROOKHAVEN, SUFFOLK COUNTY, NEW YORK		
S.C.T.M.; DISTRICT: 200, SECTION: 574, BLOCK : 02, LOT: 3.001, 16 & 17.1		
		
70 Maxess Road, Melville, NY 11747 • 631.427.5665 • nelsonpoppe.com		
DRAWN BY:	KK	CADD: 08204-GR.DWG
CHECKED BY:	CCV	FILE NO.:
DATE:	JULY 2023	PROJECT NO.: 08204
SCALE:		1" = 60'
C-107		SHEET NO.: 10 OF 11

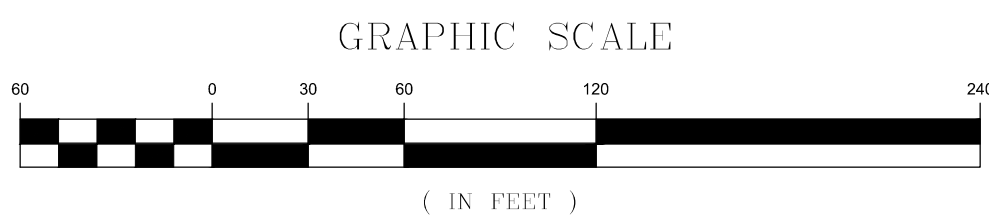
BOUNDARY FROM SURVEY PREPARED BY NELSON AND POPE  
DATED SEPTEMBER 02, 2022.

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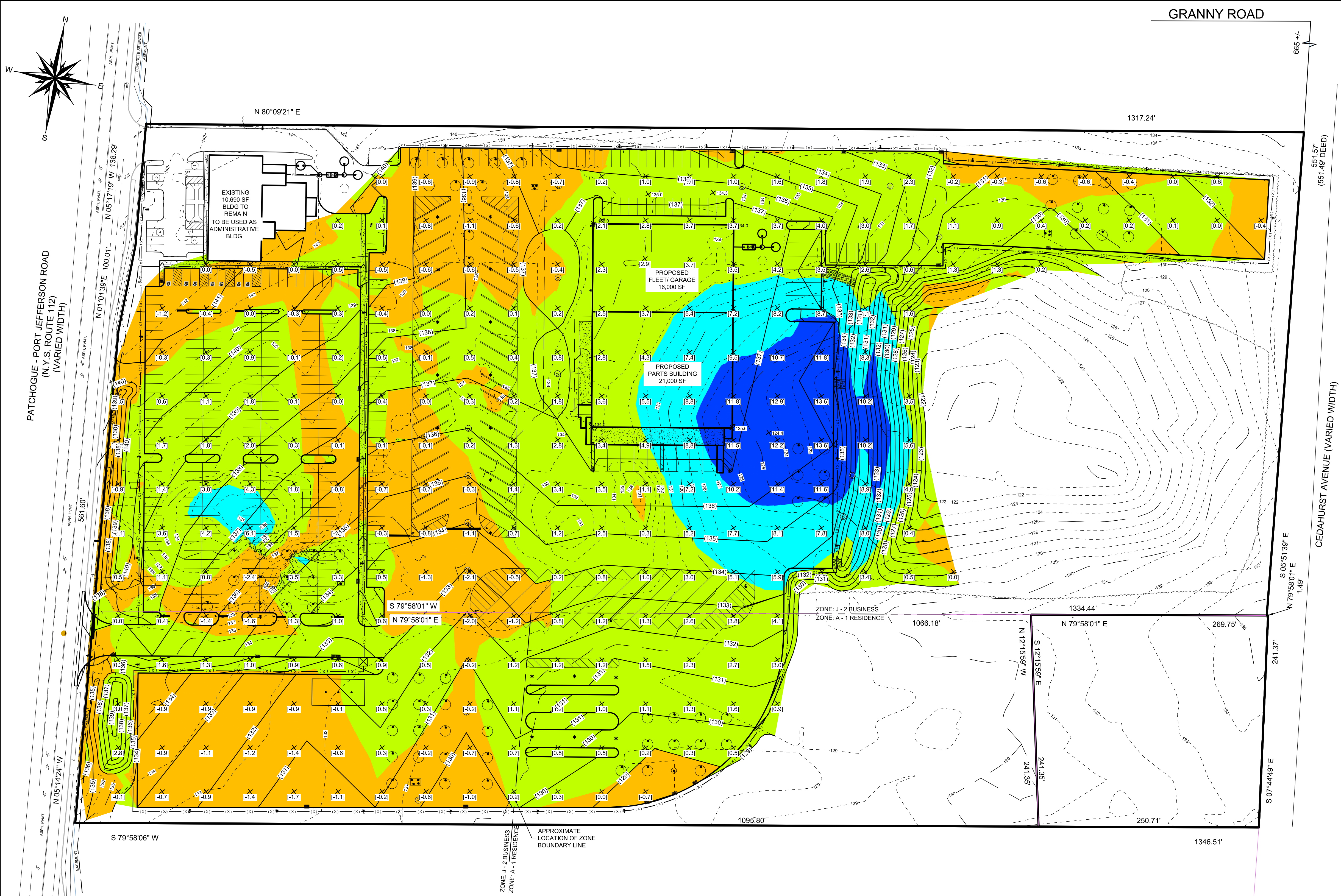
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### EROSION CONTROL MEASURES LEGEND

- SILT FENCE
- GATOR GRATE PROTECTION
- CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT
- CONSTRUCTION FENCE







**EARTHWORK ANALYSIS**

**CUT CALCULATIONS:**

CUT: - 10,050 CY (BUILDING MATERIALS)  
CUT: - 4,000 CY (DRAINAGE AND SANITARY STRUCTURES)  
CUT: - 5,205 CY (GRADING)  
SUBTOTAL: - 19,255 CY

**FILL CALCULATIONS:**

FILL: + 51,030 CY (GRADING)

**NET CALCULATION**

CUT: 19,255 CY  
FILL: 51,030 CY  
NET: 31,775 CY (FILL)

**NOTES / ASSUMPTIONS**

1. SOIL CUT AND FILL CALCULATIONS ACCOUNT FOR BUILDING FOUNDATION BUILDING MATERIALS.
2. BUILDING PERIMETER FOUNDATION ASSUMED TO BE 4 CF PER LF
3. BUILDING SLAB THICKNESS ASSUMED TO BE 10" (INCLUDING SUBBASE)
4. PAVEMENT THICKNESS ASSUMED TO BE 5" (DOES NOT INCLUDING SUBBASE)
5. QUANTITIES ARE BASED ON BULK CY MEASUREMENTS

Elevations Table			
Number	Minimum Elevation	Maximum Elevation	Color
1	-20.00	-15.00	Red
2	-15.00	-10.00	Orange
3	-10.00	-5.00	Yellow
4	-5.00	0.00	Light Green
5	0.00	5.00	Green
6	5.00	10.00	Light Blue
7	10.00	15.00	Blue
8	15.00	20.00	Dark Blue

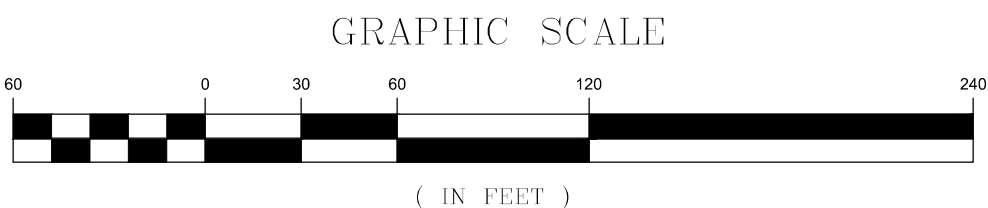
**LEGEND**

- X [4.2] PROPOSED FILL  
X [4.2] PROPOSED CUT

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2	ISSUED FOR CPBC SUBMISSION	9-8-2023
1	REVISE LANDSCAPE PLAN AS PER CLIENT COMMENTS	7-27-2023
#	REVISION	DATE
OWNER:		
APPLICANT:		
<b>EARTH WORK PLAN</b>		
PROPOSED LIPA/PSEGLI OPERATION CENTER SITUATED AT MEDFORD TOWN OF BROOKHAVEN, SUFFOLK COUNTY, NEW YORK S.C.T.M.; DISTRICT: 200, SECTION: 574, BLOCK : 02, LOT: 3.001, 16 & 17.1		
<b>NELSON + POPE</b> engineers • architects • surveyors 70 Maxxess Road, Melville, NY 11747 • 631.427.5665 • nelsonpoppe.com		
DRAWN BY: KK	CADD: 08204-GR.DWG	SCALE: 1" = 60'
CHECKED BY: CCV	FILE NO.: 08204	EA-101
DATE: JULY 2023	PROJECT NO.: 08204	SHEET NO.: 11 OF 11





SITE DATA	
ADDRESS:	3351 NY-112, MEDFORD, NY 11763
CTM:	200 - 574 - 02 - 3.001, 16 & 17.1
CURRENT USE:	AMUSEMENT PARK
PROPOSED USE:	LIPA/PSEGLI OPERATION CENTER
ZONING:	J2 (BUSINESS) / A1 (RESIDENTIAL)
SITE AREA:	LOT 3.001: 1.44 AC LOT 16: 16.83 AC LOT 17.1: 5.99 AC
BUILDING AREA:	47,690 SF
FIRE DISTRICT:	MEDFORD
SCHOOL DISTRICT:	LONGWOOD CSD
WATER DISTRICT:	SUFFOLK COUNTY WATER AUTHORITY

PARKING CALCULATION

PROVIDED PARKING:	
STANDARD PARKING:	252 STALLS
10' X 20' FLEET PARKING:	90 STALLS
15' X 40' FLEET PARKING:	55 STALLS
15' X 80' FLEET PARKING:	12 STALLS
TOTAL PARKING PROVIDED:	409 STALLS

BUILDING LOT COVERAGE

EXISTING (ADMINISTRATIVE):	10,690 SF
PROPOSED FLEET/GARAGE:	16,000 SF
PROPOSED PARTS BUILDING:	21,000 SF
TOTAL COVERAGE:	47,690 SF

EXISTING LOT COVERAGES

BUILDING	44,745 SF
IMPERVIOUS	212,280 SF
LANDSCAPE	585,374 SF
WOODS	214,349 SF
TOTAL	1,056,748 SF

PROPOSED LOT COVERAGES

PAVEMENT	548,239 SF
BUILDING	47,690 SF
MIXED NATIVE SPECIES	
AND LAWN	18,370 SF
NATURAL WOODS	192,774 SF
MEADOW RE-VEGETATION	129,445 SF
WOODLAND RE-VEGETATION	120,230 SF
TOTAL	1,056,748 SF

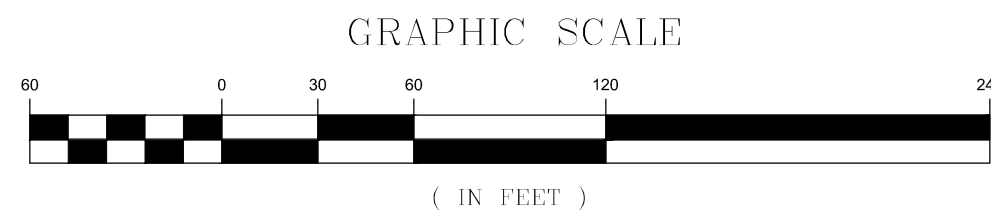


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LEGEND

	PROPOSED WOODLAND REVEGETATION (±120,230 SF)
	PROPOSED MEADOW REVEGETATION (±129,445 SF)
	PROPOSED MIXED NATIVE SPECIES AND LAWN (± 7,325 SF)
	EXISTING NATURAL VEGETATION TO REMAIN (±192,774 SF)
	EXISTING VEGETATION TO BE REMOVED (±21,575 SF)
	PROPOSED GUARD BOOTH
	PROPOSED FENCE
	PROPOSED SIGN
	PROPOSED SIDEWALK
	PROPOSED PAVEMENT MARKING
	PROPOSED CURB
	PROPOSED EVERGREEN SCREENING BUFFER



2	ISSUED FOR CPBC SUBMISSION	9-8-2023
1	REVISED LANDSCAPE PLAN PER CLIENT COMMENTS	7-27-2023
#	REVISION	DATE

SITE PLAN WITH VEGETATION FIGURE  
PROPOSED LIPA/PSEGLI OPERATION CENTER  
SITUATED AT  
MEDFORD  
TOWN OF BROOKHAVEN, SUFFOLK COUNTY, NEW YORK  
S.C.T.M.; DISTRICT: 200, SECTION: 574, BLOCK : 02, LOT: 3.001, 16 & 17.1

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engineers • architects • surveyors		70 Maxess Road, Melville, NY 11747 • 631.427.5665 • nelsonpoppe.com	
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DATE:	MAY 2023	PROJECT NO.:	08204
C-101			SHEET NO.: 1 OF 1