



# Town of Brookhaven Long Island

DATE: 09-29-2023

TO: Central Pine Barrens Joint Planning & Policy Commission

FROM: Michael Albano  
Planning Division

RE: Site Plan: CLANCY STREET FOOD COURT , Log Number: 22SP0058 **Revised Submission**  
Construction of a proposed 3293 sf take out restaurant w/outdoor seating, no basement, with proposed site improvements, parking with striping, drainage, lighting & curbing. e Side of EASTPORT MANOR RD, ' of , Manorville  
Suffolk County Tax Map #: 0200-462.00-02.00-005.001, 1.16 acres.

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Please be advised that the Planning Board of the Town of Brookhaven has received a **revised submission** for the above referenced action. For your review and consideration, please find enclosed a copy of the revised site plan.

The Planning Board would like to encourage your agency to make any comments or suggest mitigation measures, particularly with respect to your areas of expertise and jurisdiction, which would enhance the utilization of this site or provide additional protection to the community.

It is requested that any comment letter be sent directly to the applicant with a copy to this office. Your reply is kindly requested within 30 days of the date of this mailing.

Thank you for your continued cooperation. If you have any questions or need any further information, please contact this Division.

**Planning, Environment and Land Management**  
**James M. Tullo, Commissioner**

One Independence Hill · Farmingville · NY 11738 · Phone (631) 451-6400 · Fax (631) 451-6419  
www.brookhavenny.gov

# **Labcrew Engineering, P.C.**

ENGINEER, PLANNER, SITE DESIGN

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**RECEIVED**

**By PLANNING at 12:12 pm, Sep 29, 2023**

September 5, 2023

Town of Brookhaven  
Planning Department  
1 Independence Hill  
Farmingville, NY 11738

**RE: Clancy Street Food Court  
s/e/c LIE service road and Coun ty Road 111  
Manorville, NY 11949  
SCTM No. 0200 46200 0200 005001  
Log Number: 22SP0058**

To whom it may concern,

The following is in response to the Town's comments in regard to the aforementioned site plan.

**Engineering Review – 2/22/2023**

1. Scale:
  - A. All drawings are to scale where needed.
2. Grading and Drainage
  - 1) Drainage area #3 was recalculated for a 5" rainfall.
  - 2) Drainage increased, storage area increased.
  - 3) Proposed One-foot grading contours depicted.
  - 4) Spot grade elevations added to all critical points.
  - 5) Finish grades adjacent to building corners and entrances have been added.
  - 6) Top of curb elevations have been added.
  - 7) All entrances and exits to the building with grades added.
  - 8) Grade rates have been added.
  - 9) Minimum clearance from utilities shown.
  - B. 6" roof drain connector pipe depicted.
3.
  - A. Added asphalt pavement detail to DET-1
  - B. 2% slopes added to walkways.
6. Stormwater Pollution Protection Plan, (SWPPP):
  - A. ADA access aisle and parking stalls dimensioned. – Sheet AL-1

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460 Hawkins Avenue  
Ronkonkoma, New York 11779  
Tel: 631-676-4881  
Email: labcrew@optonline.net

**Planning Department – 1/19/2023**

a) Site Plans:

i) Alignment Plans

- (1) Primary Frontage is along County Route 111, Secondary Frontage is along LIE Service Road.
- (2) Building repositioned for front facing along CR 111.
- (3) Town variance chart updated to show that 12 feet requested from property line.
- (4) Signage setback required is 22 feet from property line.
- (5) Outside seating and loudspeakers notes added to plan.

**Suffolk County DWP – 1/24/2023**

Add specifications for Full depth asphalt pavement, 35' curb radii, monolithic concrete directional island and pedestrian ramps.

Add proposed concrete sidewalk for entire frontage along CR 111.

Add proposed signage for “One Way”, “Stop”, “No Left Turn” and “Keep Right”.

If you have any questions or need additional information, please do not hesitate to contact me at my office, (631) 676-4881.

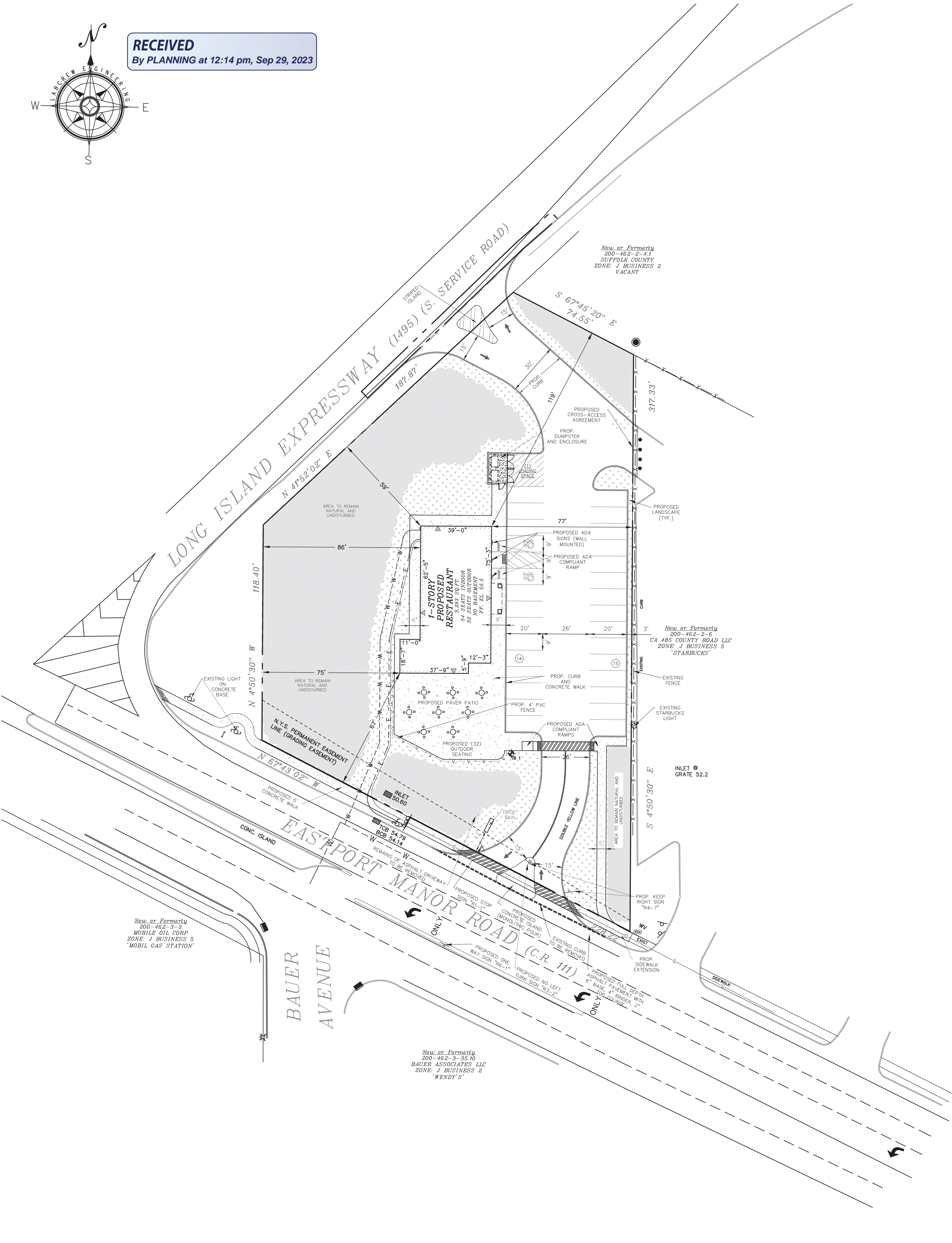
Yours Truly,

Christopher Labate, P.E.  
Principal





**RECEIVED**  
By PLANNING at 12:14 pm, Sep 29, 2023



**SYMBOL KEY**

N.T.S.

- CATCH BASIN
- GAS VALVE
- WATER VALVE
- MANHOLE COVER
- DRAINAGE MANHOLE COVER
- SEWER MANHOLE COVER
- LIGHT POST
- MONUMENT
- STAKE
- PIPE
- DRILL HOLE
- HYDRANT
- WATER METER
- BOLLARD
- PROP. PAVEMENT ELEV.
- EXISTING ELEVATION
- EXISTING TREE TO BE REMOVED

**SPECIAL LINES**

- OH - OVERHEAD WIRES
- T - TELEPHONE LINE
- W - WATER MAIN
- E - UNDER GROUND ELECTRIC
- G - GAS LINE
- F - FENCE
- X - STONE WALL
- S - SILT FENCE
- EXISTING CONCRETE
- PROPOSED CONCRETE

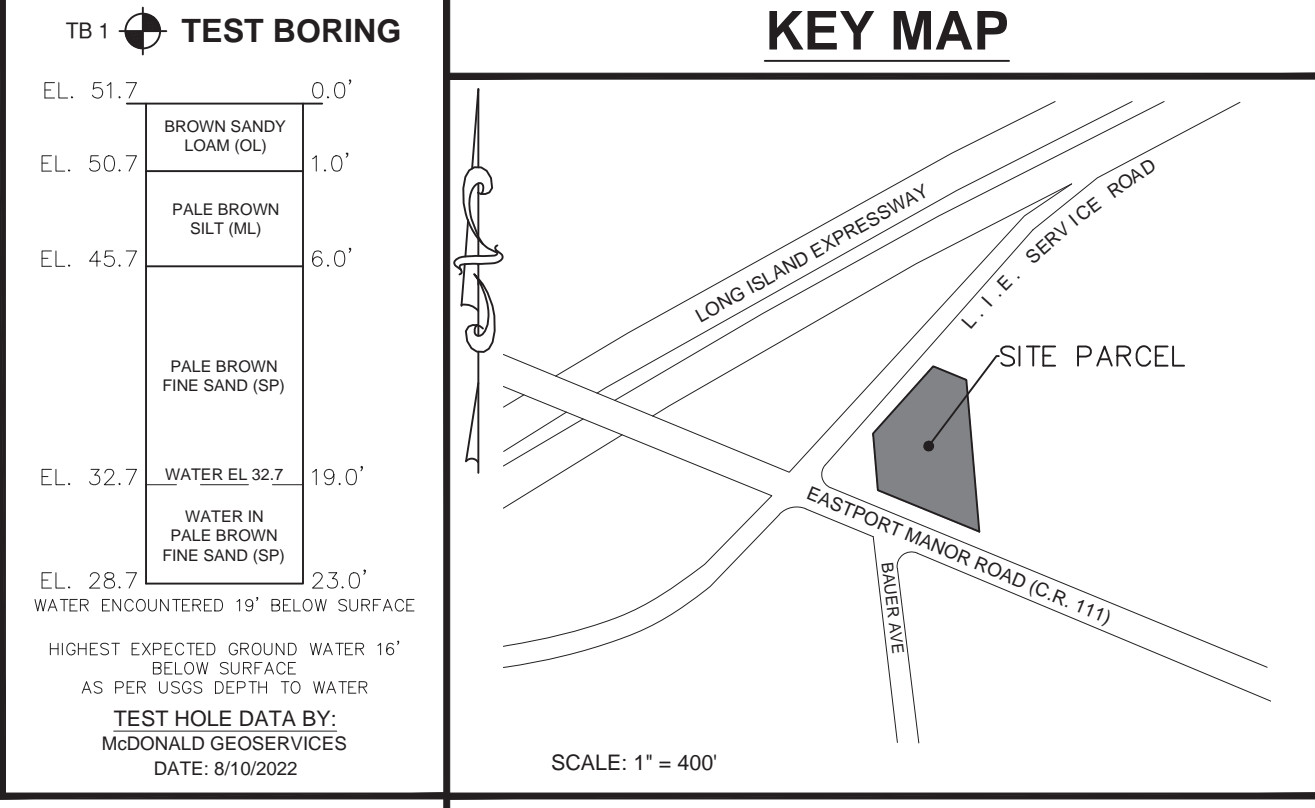
**TEST BORING**

TB 1

EL. 51.7	0.0'
EL. 50.7	1.0'
EL. 45.7	6.0'
EL. 32.7	19.0'
EL. 28.7	23.0'

WATER ENCOUNTERED 19' BELOW SURFACE  
HIGHEST EXPECTED GROUND WATER 16' BELOW SURFACE AS PER USGS DEPTH TO WATER

TEST HOLE DATA BY:  
MCDONALD GEOSERVICES  
DATE: 9/12/2022



**LABCREW ENGINEERING, P.C.**  
SITE DESIGN/PLANNING/CIVIL ENGINEERING

460 HAWKINS AVENUE  
ROCKY HILL, CT 06381  
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LABCREW@OPTONLINE.NET

STATE OF NEW YORK  
LABCREW ENGINEERING, P.C.  
088475  
PROFESSIONAL ENGINEER

SEAL

SESSION OF NOVEMBER 8, 1995  
BROOKHAVEN TOWN OFFICES

RESOLUTION ON CLANCY FOOD COURT/RESTAURANT PRESERVATION AREA HARDSHIP

WHEREAS, ON MAY 25, 1995, DAVID KEPNER, THROUGH HIS ATTORNEY, PHILIP SANDERMAN, SUBMITTED A CORE BOUNDARY CHANGE REQUEST TO CONSTRUCT A 5,915 SQUARE FOOT FAST FOOD OR OTHER RESTAURANT ON A 1.17 ACRE PARCEL IN MANORVILLE, AND, THE COMMISSION COORDINATED LEAD AGENCY REVIEW AND,

WHEREAS, ON AUGUST 17, 1995, PURSUANT TO THE NEW YORK STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEGRA) PART 617.6, THE COMMISSION COORDINATED LEAD AGENCY REVIEW AND,

WHEREAS, ON AUGUST 23, 1995, A PUBLIC HEARING ON THE CORE BOUNDARY CHANGE REQUEST WAS HELD BY THE COMMISSION AND A SEGRA DETERMINATION AND DECIDE THE CORE BOUNDARY CHANGE REQUEST IN ORDER THAT THE APPLICANT MAY SEEK A CORE PRESERVATION AREA HARDSHIP EXEMPTION FOR THE SAME PROPOSAL, AND,

WHEREAS, ON SEPTEMBER 20, 1995, PURSUANT TO THE NEW YORK STATE ENVIRONMENTAL QUALITY REVIEW ACT (SEGRA) PART 617.6 THE COMMISSION DESIGNATED ITSELF LEAD AGENCY AND ACCEPTED AN EXTENSION FROM THE APPLICANT ON THE TIME IN WHICH THE COMMISSION HAS TO MAKE A SEGRA DETERMINATION UNTIL OCTOBER 11, 1995, AND,

WHEREAS, ON OCTOBER 11, 1995, THE COMMISSION ACCEPTED AN EXTENSION OF TIME IN WHICH THE COMMISSION MUST MAKE A SEGRA DETERMINATION AND DECIDE THE CORE BOUNDARY CHANGE REQUEST IN ORDER THAT THE APPLICANT MAY SEEK A CORE PRESERVATION AREA HARDSHIP EXEMPTION FOR THE SAME PROPOSAL, AND,

WHEREAS, ON OCTOBER 25, 1995, DAVID KEPNER, THROUGH HIS ATTORNEY, PHILIP SANDERMAN, SUBMITTED AN APPLICATION FOR A CORE PRESERVATION AREA HARDSHIP EXEMPTION FOR ALL USES PERMITTED IN THE TOWN OF BROOKHAVEN J2 ZONING DISTRICT, EXCEPT DRY CLEANERS, LAUNDRIES, PUBLIC GARAGES AND AUTOMOBILE BODY SHOPS ON 1.17 ACRES, AND,

WHEREAS, ON OCTOBER 25, 1995, A PUBLIC HEARING ON THE CORE PRESERVATION AREA HARDSHIP EXEMPTION WAS HELD BY THE COMMISSION AND A TRANSCRIPT WAS THEREAFTER MADE AVAILABLE TO THE COMMISSION, AND,

WHEREAS, THE COMMISSION HAS CONSIDERED ALL MATERIALS SUBMITTED IN CONNECTION WITH THE CORE BOUNDARY CHANGE REQUEST AND THE CORE PRESERVATION AREA HARDSHIP EXEMPTION, NOW, THEREFORE, BE IT

RESOLVED, THE COMMISSION HEREBY MAKES A DETERMINATION OF NON-SIGNIFICANCE PURSUANT TO ENVIRONMENTAL CONSERVATION LAW ARTICLE 8 AND BE IT FURTHER

RESOLVED, THAT THE COMMISSION HEREBY DETERMINES THAT THE APPLICATION, AS SUBMITTED, DOES MEET ALL OF THE REQUIREMENTS FOR EXTRAORDINARY HARDSHIP PURSUANT TO NEW YORK STATE ENVIRONMENTAL CONSERVATION LAW §7-0121 (15)(a) AND BE IT FURTHER

RESOLVED, THAT THE APPLICATION FOR A CORE PRESERVATION AREA HARDSHIP EXEMPTION IS GRANTED SUBJECT TO THE FOLLOWING CONDITIONS:

1. THE USE OF THE PREMISES IS LIMITED TO THE RETAIL SALE OF FOOD AND FOOD SERVICE AND/OR THE SALE AT RETAIL OF DRY GOODS.
2. THE PHYSICAL DEVELOPMENT OF THE SITE SHALL BE IN ACCORDANCE WITH THE COMMISSION'S STANDARDS FOR LAND USE AS SET FORTH IN CHAPTER 5 OF THE PLAN AND THE FEES FOR PROJECTS LOCATED IN THE COMPATIBLE GROWTH AREA.
3. THE HEIGHT OF ANY DETACHED GROUND SIGNS SHALL NOT EXCEED THE HEIGHT OF THE DETACHED GROUND SIGN FOUND AT THE GASOLINE FILLING STATION AT THE SOUTHWEST CORNER OF THE INTERSECTION OF COUNTY ROAD 111 AND THE LONG ISLAND EXPRESSWAY.

**SITE CRITERIA**

**SITE DATA:**

SITE AREA	1.167 ACRES	50,848.9	SQ.FT.
PROPOSED BUILDING AREA		3,293	SQ.FT.
PROP. F.A.R.		6.5	%
PARKING REQUIRED		29	STALLS
PARKING PROVIDED w/LOADING		30	STALLS
DATUM		NAVD 1988	
ZONING		J BUSINESS 2	
USE		RESTAURANT w/OUTDOOR SEATING	

**J BUSINESS 2 ZONING REQUIREMENTS:**

SETBACK	REQUIRED	PROPOSED	
LOT AREA	15,000.00	50,848.9	SQ.FT.
FRONT YARD SETBACK	25.0	67	FEET
SIDE YARD SETBACK	10.0	75	FEET
REAR YARD SETBACK	25.0	59	FEET
MAX BUILDING HEIGHT	35 / 2.5	32	FT. / STY
MAX FLOOR AREA RATIO	35.0	6.5	%
MIN FRONTAGE	100.0	228.2	FEET
MAXIMUM LOT COVERAGE	65	49.5	%

**PARKING CALCULATIONS:**

RESTAURANT: 86 SEATS / 3 SEATS/STALL	29	STALLS
TOTAL REQUIRED	29	STALLS
LOADING STALLS	1	STALLS
TOTAL PROVIDED w/LOADING STALL	30	STALLS
ADA STALLS	2	STALLS

**LANDSCAPE REQUIREMENTS:**

	REQ.	PROP.	
MIN. NATURAL TREE AREA/ LANDSCAPE (35% OF TOTAL SITE)	17,797.1	18,221.9	SQ.FT.
MIN. FRONT YARD NATURAL TREE AREA/ LANDSCAPE (10% OF TOTAL)	5,084.9	9804.9	SQ.FT.
		PROP. SQ.FT.	% OF SITE
NATIVE GRASS AREA		7,480.7	14.7
NATURAL TREE AREA		18,221.9	35.8
NATURAL TREE AREA AND NATIVE GRASS AREA		25,702.6	50.5

**ON SITE QUANTITIES:**

	EXIST.	PROP.	
CONCRETE CURB	N/A	888	LIN.FT.
CONCRETE SIDEWALK	N/A	2406	SQ.FT.
CATCH BASINS	N/A	0	UNITS
DRAINAGE POOLS	N/A	11	POOLS
FENCE	N/A	0	LIN.FT.
15' CONNECTOR PIPES	N/A	200	LIN.FT.
6" CONNECTOR PIPES	N/A	105	LIN.FT.
PAVER PATIO	N/A	2695.1	SQ.FT.
PAVED AREA	N/A	15,395.4	SQ.FT.

**GENERAL SITE NOTES:**

- ALL CONCRETE CURBING, SIDEWALK, AND DRAINAGE STRUCTURE SHALL CONFORM TO PLANNING BOARD STANDARD DETAIL AND SPECIFICATIONS.
- TOWN OF BROOKHAVEN ENGINEERING INSPECTOR IN THE DEPARTMENT OF PLANNING, ENVIRONMENT AND LAND MANAGEMENT SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ALL CONSTRUCTION AT 631-451-6400 BETWEEN THE HOURS OF 9:00am-4:30pm MONDAY THROUGH FRIDAY.
- PLEASE CONTACT THE DIVISION OF ENGINEERING AT 631-451-6400 TO SCHEDULE A PRE-CONSTRUCTION MEETING 48 HOURS PRIOR TO COMMENCEMENT OF ANY AND ALL CONSTRUCTION ACTIVITIES.
- LOCATION AND GRADES FOR CURBS AND WALKS TO BE VERIFIED WITH THE TOWN OF BROOKHAVEN HIGHWAY DEPARTMENT, SCDPW OR NYSOT PRIOR TO CONSTRUCTION.
- ALL TRAFFIC CONTROL DEVICES, I.E. SIGNALS, SIGNS, AND PAVEMENT MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH THE GUIDELINES OF THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND AS DIRECTED BY THE TOWN OF BROOKHAVEN, DIVISION OF TRAFFIC SAFETY.
- THE CONTRACTORS PERFORMING ANY AND ALL TRAFFIC CONTROL DEVICES LAYOUT AND INSTALLATION WORK SHALL NOTIFY THE TOWN OF BROOKHAVEN DIVISION OF TRAFFIC SAFETY, 48 HOURS IN ADVANCE OF BEGINNING SUCH WORK ALONG A TOWN ROAD.
- ALL PAVEMENT MARKINGS REQUIRED SHALL BE THERMOPLASTIC (SUFFOLK COUNTY SPECIFICATIONS) UNLESS OTHERWISE NOTE ON PLAN.
- STOP LINE SIGHT DISTANCE SHALL BE MAINTAINED AT ALL INTERSECTIONS IN ACCORDANCE WITH AASHTO REQUIREMENTS.

**TOWN OF BROOKHAVEN LOG #22SP0058**

TOWN OF BROOKHAVEN VARIANCES/SPECIAL PERMIT:		TABLE OF CONTENTS:	
SHEET #:	SHEET TITLE:	SHEET #:	SHEET TITLE:
1	AL-1	1	ALIGNMENT PLAN
2	SAN-1	2	SANITARY & DRAINAGE PLAN
3	LAN-1	3	LANDSCAPE PLAN
4	LIG-1	4	LIGHTING PLAN
5	MRP-1	5	MATERIALS REMOVAL PLAN
6	ECP-1	6	EROSION CONTROL PLAN
7	DET-1	7	SITE DETAILS
8	DOT-1	8	NYSOT PLAN
9	DOT-2	9	NYSOT PLAN 2

THE FOLLOWING VARIANCES/SPECIAL PERMITS ARE REQUESTED FROM THE TOWN OF BROOKHAVEN TOWN BOARD, PLANNING BOARD AND ZONING BOARD:

- § 85-427 (M) MAJOR RESTAURANT
- § 85-430 (F) OUTDOOR SEATING AS AN ACCESSORY USE
- § 574-12 FREESTANDING SIGN: SETBACK OF ABUTTING ROADWAY 22' REQUIRED, 12' PROVIDED, 40% RELAXATION.

LABCREW ENGINEERING, P.C.

THIS DRAWING, PREPARED FOR THE SPECIFIC PROJECT INDICATED IS AN INSTRUMENT OF SERVICE AND THE PROPERTY OF LABCREW ENGINEERING P.C. INFRINGEMENT OR ANY USE OF THIS PROJECT IS PROHIBITED. ANY ALTERATION OR REPRODUCTION OF THIS DOCUMENT IS ALSO PROHIBITED WITHOUT THE WRITTEN CONSENT OF THE ENGINEER

**CLANCY STREET FOOD COURT**  
EASTPORT MANOR RD (C.R. 111)  
MANORVILLE, NY 11949

**ALIGNMENT PLAN**

SCTM#: 0200 - 462.00 - 02.00 - 005.001

PROJECT	TITLE

NO.	DATE	REVISION
1	1/3/23	SCDHS COMMENTS
2	1/18/23	SCDHS COMMENTS
3	3/27/23	FLP BUILDING COMMENTS
4	6/20/23	NYSOT COMMENTS

PROJECT No: 21-084

DRAWN BY: CTN

CHECKED: CTL

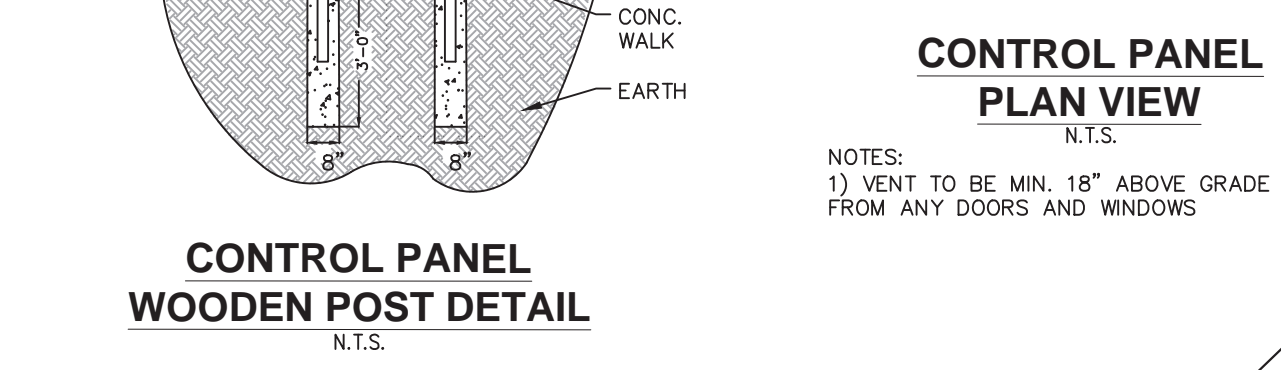
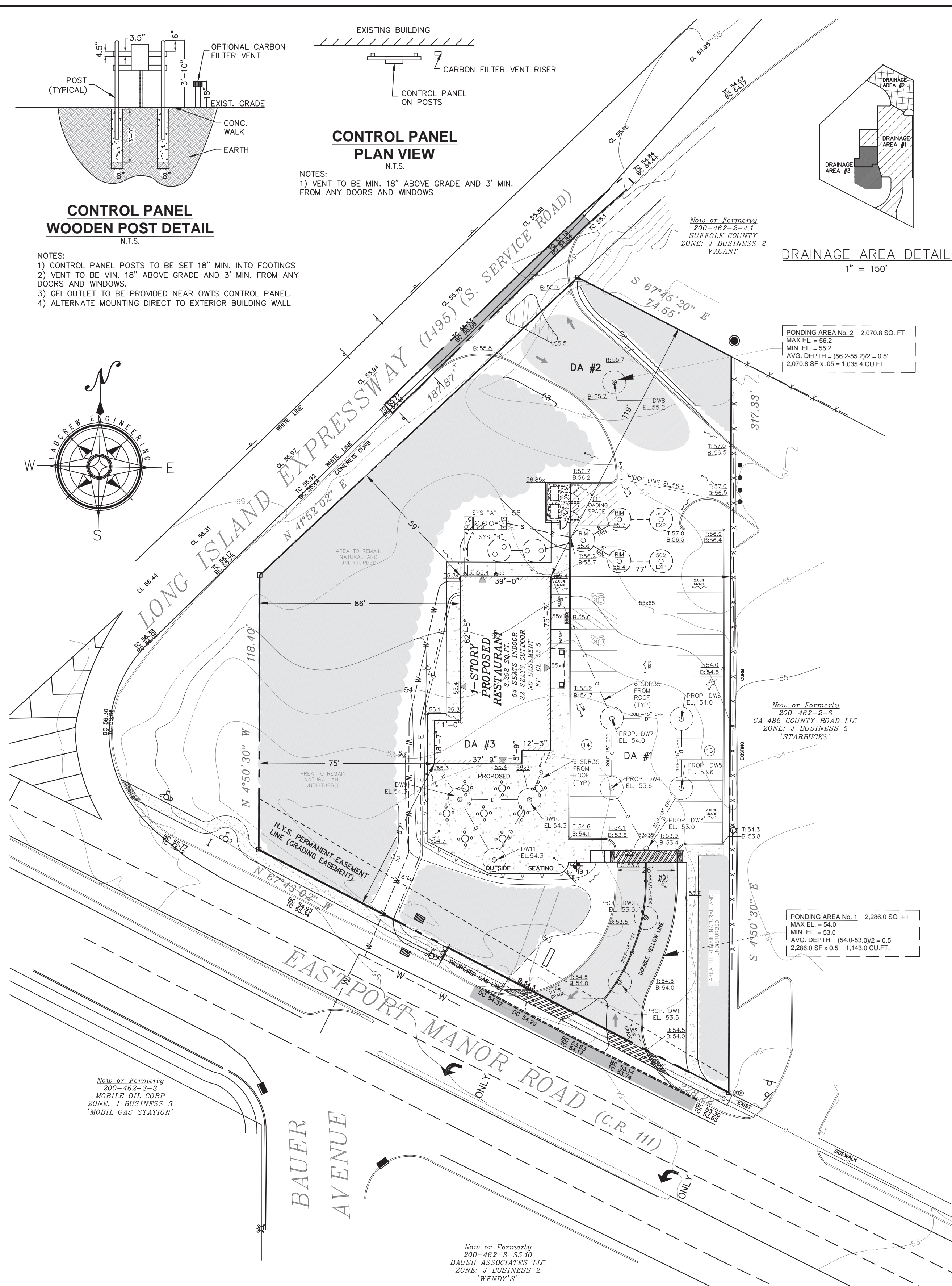
DATE: August 2022

SCALE: 1" = 30'

**AL-1**

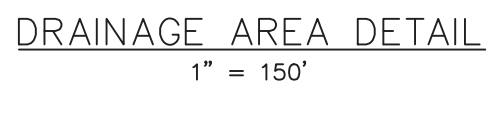
SHEET NO. 1 OF 9



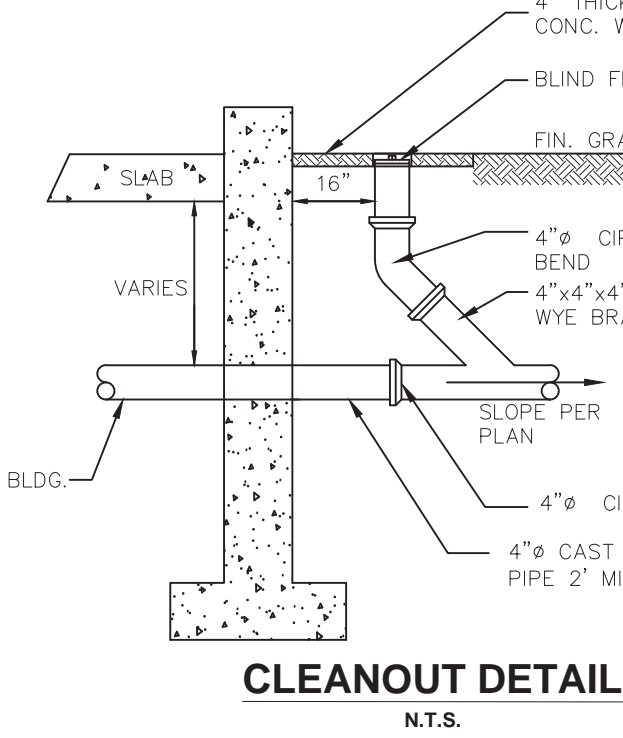


**CONTROL PANEL WOODEN POST DETAIL**  
N.T.S.

NOTES:  
1) CONTROL PANEL POSTS TO BE SET 18" MIN. INTO FOOTINGS  
2) VENT TO BE MIN. 18" ABOVE GRADE AND 3' MIN. FROM ANY DOORS AND WINDOWS.  
3) GFI OUTLET TO BE PROVIDED NEAR OWT'S CONTROL PANEL.  
4) ALTERNATE MOUNTING DIRECT TO EXTERIOR BUILDING WALL



**DRAINAGE AREA DETAIL**  
1" = 150'



**CLEANOUT DETAIL**  
N.T.S.

**SYMBOL KEY**

N.T.S.

- CATCH BASIN
- GAS VALVE
- WATER VALVE
- MANHOLE COVER
- DRAINAGE MANHOLE COVER
- LIGHT POST
- MONUMENT
- STAKE
- DRILL HOLE
- HYDRANT
- WATER METER
- BOLLARD
- PROP. PAVEMENT ELEV.
- EXISTING ELEVATION
- EXISTING TREE TO BE REMOVED

**SPECIAL LINES**

N.T.S.

- OH - OVERHEAD WIRES
- T - TELEPHONE LINE
- W - WATER MAIN
- E - UNDER GROUND ELECTRIC
- G - GAS LINE
- X - FENCE
- STONE WALL

**TB 1 TEST BORING**

EL. 51.7	BROWN SANDY LOAM (CL)	0.0'
EL. 50.7	PALE BROWN SILT (ML)	1.0'
EL. 45.7	PALE BROWN FINE SAND (SP)	6.0'
EL. 32.7	GROUND WATER	19.0'
EL. 28.7	WATER IN PALE BROWN FINE SAND (SP)	23.0'

WATER ENCOUNTERED 19' BELOW SURFACE  
HIGHEST EXPECTED GROUND WATER EL. 28.4  
USCG WELL 549546.1

TEST HOLE DATA BY:  
MCDONALD GEOSERVICES  
DATE: 8/10/2022

**KEY MAP**

SCALE: 1" = 400'

**SITE CRITERIA**

**SITE DATA:**

SITE AREA	1.167 ACRES	50,848.9	SQ.FT.
PROPOSED BUILDING AREA		3,293	SQ.FT.
PROP. F.A.R.		6.5	%
PARKING REQUIRED		29	STALLS
PARKING PROVIDED w/LOADING		30	STALLS
DATUM	NAVD 1988		
ZONING	J BUSINESS 2		
USE	RESTAURANT w/OUTDOOR SEATING		

**SANITARY CALCULATIONS:**

GW MANAGEMENT ZONE III: 300 GPD/ACRE x 1.167 ACRES = 350.1 GPD  
NO PRIVATE WELLS WITHIN 150' OF SUBJECT PARCEL.  
NO SURFACE WATER WITHIN 300' OF SUBJECT PARCEL.  
NO BASEMENT

USE	RATE	SAN	KIT	GPD
RESTAURANT (64 SEATS)	10 GPD/SEAT	540.0		GPD
RESTAURANT (64 SEATS)	20 GPD/SEAT		1080.0	GPD
RESTAURANT (32 SEATS) SEASONAL	5 GPD/SEAT	160.0		GPD
RESTAURANT (32 SEATS) SEASONAL	10 GPD/SEAT		320.0	GPD
		700.0	1400.0	GPD

**SYSTEM DESIGN:**

TOTAL FLOW = 700.0 + 1400.0 = 2,100.0 GPD  
700.0 GPD = 350.1 GPD + 349.9 GPD REQ.  
1.2 PB CREDITS TO BE ADDED  
349.9 GPD + 350.1 GPD = 700.0 GPD  
700.0 GPD ALLOWABLE = 700.0 GPD PROVIDED - OK

**SANITARY LOAD:**

SEPTIC: 700 GPD REQUIRED (TO BE VENTED THROUGH PROPOSED BLDG PLUMBING)  
PROP. (1) HYDROKINETIC 800 FEU (IA OWT'S) = 750 GPD PROV.

**KITCHEN LOAD:**

SEPTIC: 1400 GPD x 2 DAY FLOW = 2800 GAL. REQ.  
PROP. (1) 10' x 6' EFFECTIVE DEPTH SEPTIC TANK = 3000 GAL. PROV.

GREASE TRAP: 1 DAY FLOW = 1400 GAL. REQ.  
PROP. (1) 10' x 5' EFFECTIVE DEPTH GREASE TRAP = 2500 GAL. PROV.

**LEACHING POOL LOAD:**

700 GPD (SYS A) + 1400 GPD (SYS B) = 2100.0 GAL. REQ.  
PROP. (3) 10' x 15' DP LEACHING POOL - (3) 15 x 1.5 x 31.4 = 2119.5 GAL. PROV.  
TOTAL VOLUME CAPACITY = 2119.5 GAL. PROV.

**DRAINAGE CALCULATIONS:**

**DRAINAGE AREA #1 - 16,487.2 SQ.FT.**

DRYWELL STORAGE:  
P.V.M./T.WALKS AREA (16,487.2 S.F.) x 33 x 1.0 = 4,360.9 CU.FT.  
LANDSCAPE (1,626 S.F.) x 33 x 1.5 RUN OFF = 80.5 CU.FT.  
ROOF AREA (1,646.5 S.F.) x 33 x 1.0 = 543.3 CU.FT.  
TOTAL REQUIRED VOLUME = 4,984.6 CU.FT.  
TOTAL PROVIDED VOLUME = 729.9 LIN. FT. REQ.  
PROPOSED (7) 10' x 10' EFFECTIVE DEPTH TANKS = 70 LIN. FT. PROV.  
TOTAL VOLUME PROVIDED = 6,020.9 CU.FT.  
6025.5 - 6020.9 ADDITIONAL VOLUME REQUIRED = 4.6 CU.FT.

**PONDING STORAGE:**  
P.V.M./T.WALKS AREA (16,487.2 S.F.) x .08 x 1.0 = 1,318.2 CU.FT.  
LANDSCAPE (901.8 S.F.) x .08 x 1.5 RUN OFF = 108.0 CU.FT.  
ROOF AREA (3,293.0 S.F.) x .08 x 1.5 RUN OFF = 131.7 CU.FT.  
DOME VOLUME: (8) x 108.0 CU.FT./DOME = 870.4 CU.FT.  
TOTAL REQUIRED VOLUME = 590.3 CU.FT.  
TOTAL PROVIDED VOLUME = 1,143.0 CU.FT.

**DRYWELL STORAGE:**  
PAVEMENT AREA (3,620.3 S.F.) x .17 x 1.0 = 615.5 CU.FT.  
LANDSCAPE (1,323.8 S.F.) x .17 x 1.5 RUN OFF = 38.8 CU.FT.  
TOTAL REQUIRED VOLUME = 649.3 CU.FT.  
PROPOSED (3) 10' x 9' EFFECTIVE DEPTH TANKS = 9.48 LIN. FT. REQ.  
PROPOSED (1) 10' x 10' x 9' EFFECTIVE DEPTH TANK = 684.2 CU.FT. PROV.  
TOTAL VOLUME PROVIDED = 684.2 CU.FT.

**PONDING STORAGE:**  
PAVEMENT AREA (3,620.3 S.F.) x .25 = 905.1 CU.FT.  
LANDSCAPE (1,323.8 S.F.) x .25 x 1.5 RUN OFF = 49.6 CU.FT.  
SURPLUS DW: 10 - 9.48 = 0.52 FT. x 68.42 = 35.6 CU.FT.  
DOME VOLUME: (1) x 108.0 CU.FT./DOME = 108.0 CU.FT.  
TOTAL REQUIRED VOLUME = 810.3 CU.FT.  
TOTAL PROVIDED VOLUME = 1,035.4 CU.FT.

**DRAINAGE AREA #2 - 4,944.1 SQ.FT.**

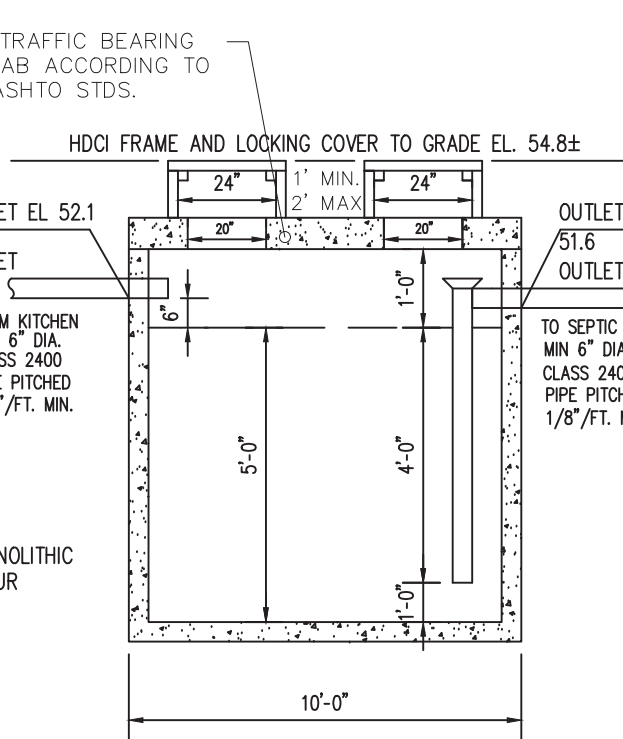
**DRYWELL STORAGE:**  
PAVEMENT AREA (3,620.3 S.F.) x 1.0 x 0.42 = 691.5 CU.FT.  
BUILDING AREA (1,646.5 S.F.) x 1.0 x 0.42 = 1,131.9 CU.FT.  
PATIO AREA (2,695.1 S.F.) x 1.0 x 0.42 = 1,823.4 CU.FT.  
TOTAL REQUIRED VOLUME = 1,847.3 CU.FT.  
PROPOSED (3) 10' x 9' EFFECTIVE DEPTH TANKS = 1,847.3 CU.FT. PROV.

**DRAINAGE AREA #3 - 1,646.5 SQ.FT.**

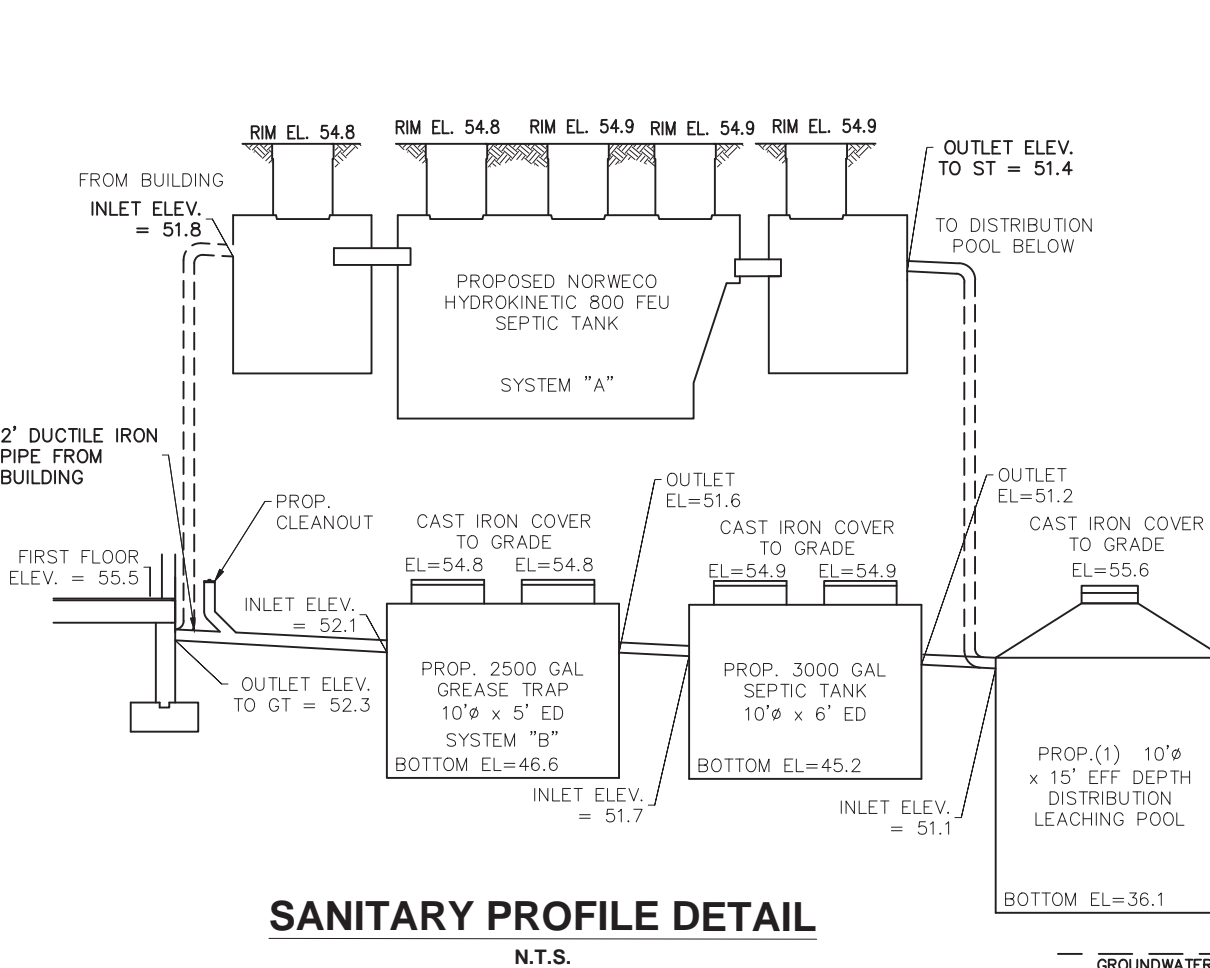
**DRYWELL STORAGE:**  
BUILDING AREA (1,646.5 S.F.) x 1.0 x 0.42 = 691.5 CU.FT.  
TOTAL REQUIRED VOLUME = 691.5 CU.FT.  
PROPOSED (3) 10' x 9' EFFECTIVE DEPTH TANKS = 691.5 CU.FT. PROV.

**DRAINAGE STRUCTURE SCHEDULE:**

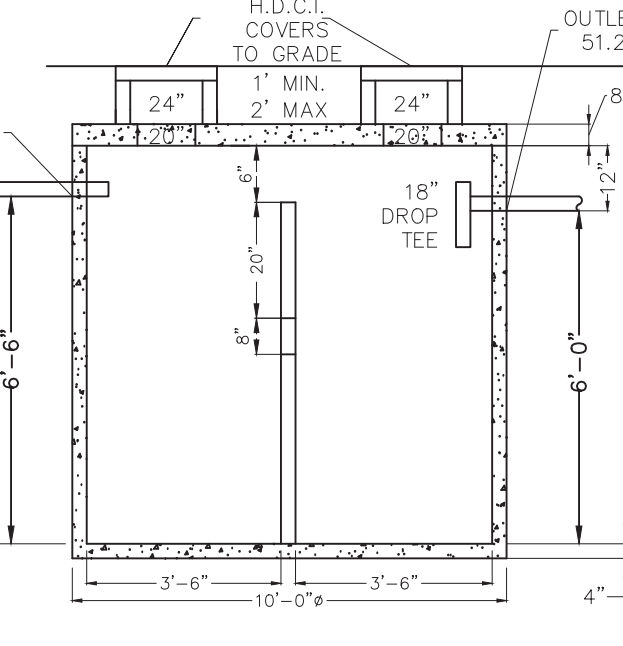
ID	EXIST. / PROP.	COVER TYPE	RIM ELV.	TOP OF RING ELV.	BOT OF POOL ELV.	Ø	EFF. DEPTH	INVERT ELV.
DW1	PROPOSED	INLET	53.5	48.75	37.4	10'	10'	47.45
DW2	PROPOSED	INLET	53.0	48.75	37.4	10'	10'	47.45
DW3	PROPOSED	SOLID	53.0	48.75	37.4	10'	10'	47.45
DW4	PROPOSED	SOLID	53.6	48.75	37.4	10'	10'	47.45
DW5	PROPOSED	SOLID	53.6	48.75	37.4	10'	10'	47.45
DW6	PROPOSED	SOLID	54.0	48.75	37.4	10'	10'	47.45
DW7	PROPOSED	SOLID	54.0	48.75	37.4	10'	10'	47.45
DW8	PROPOSED	INLET	55.2	50.95	39.1	10'	10'	49.1
DW9	PROPOSED	INLET	54.3	49.55	40.3	10'	9'	49.3
DW10	PROPOSED	INLET	54.3	49.55	40.3	10'	9'	49.3
DW11	PROPOSED	INLET	54.3	49.55	40.3	10'	9'	49.3



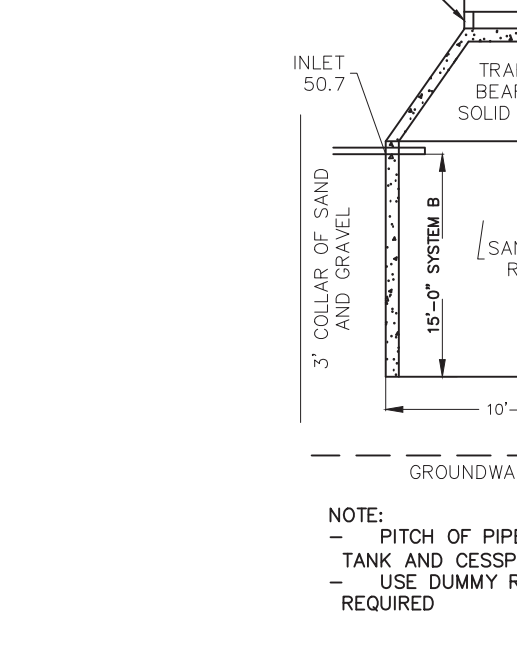
**GREASE TRAP DETAIL**  
N.T.S.



**SANITARY PROFILE DETAIL**  
N.T.S.



**SEPTIC TANK DETAIL**  
N.T.S.



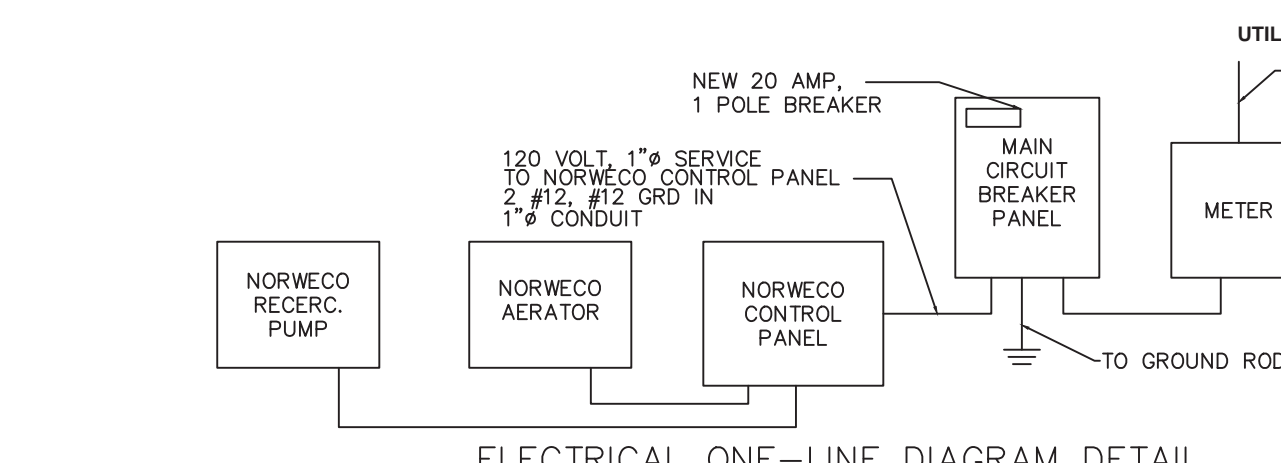
**SANITARY LEACHING POOL DETAIL**  
N.T.S.

NOTE: INVERT EL. AT BUILDING = 52.7  
NOTE: PROVIDE DUMMY RINGS TO GRADE (IF REQUIRED)

NOTE:  
- CAPACITY OF SEPTIC TANK 3000 GALLONS  
- PITCH OF PIPE BETWEEN BUILDING AND SEPTIC TANK IS 1/4" / FT.  
- USE DUMMY RINGS TO GRADE WHERE REQUIRED

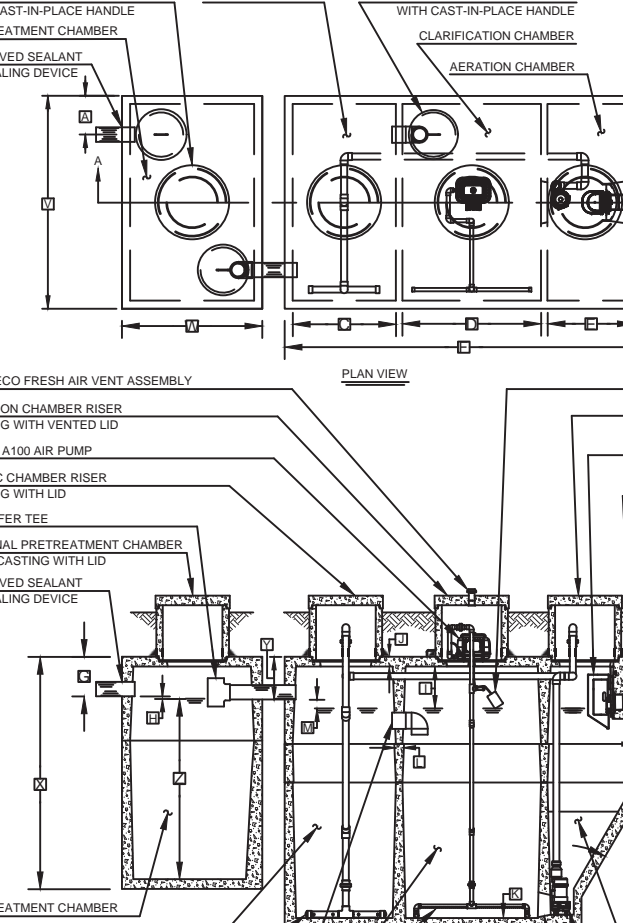
TOWN OF BROOKHAVEN LOG #22SP0058

DEPARTMENT OF HEALTH SERVICES REF No. C-22-0360

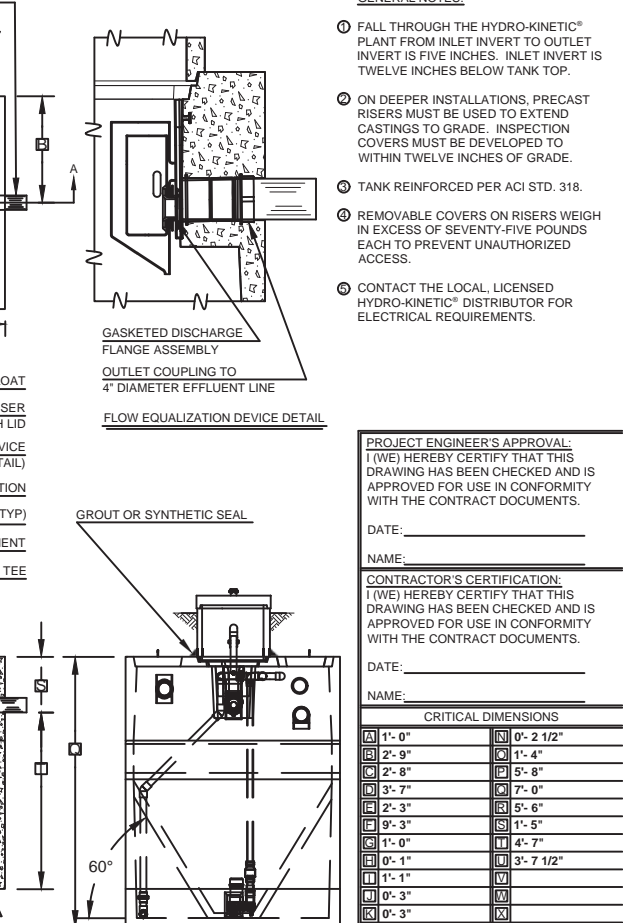


**ELECTRICAL ONE-LINE DIAGRAM DETAIL**  
N.T.S.

NOTE:  
1) BURIED ELECTRICAL POWER CONDUITS SHALL BE A MINIMUM OF 24 INCHES BELOW GRADE.  
2) ALL ELECTRICAL WORK TO BE PERFORMED IN ACCORDANCE WITH NFA70 NEC



**NORWECO SEPTIC TANK (HYDROKINETIC 800 FEU) DETAIL**  
SYSTEM "A"  
N.T.S.



**DEPARTMENT OF HEALTH SERVICES REF No. C-22-0360**

**TOWN OF BROOKHAVEN LOG #22SP0058**

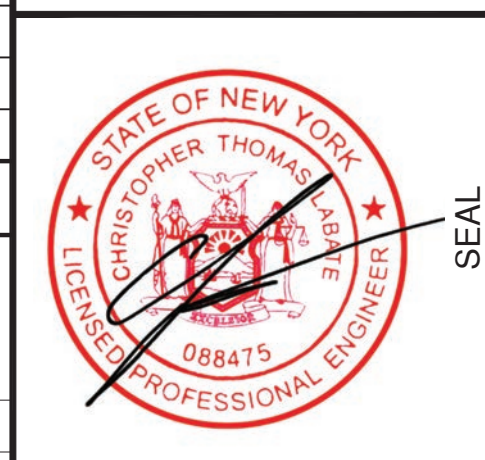
**DEPARTMENT OF HEALTH SERVICES REF No. C-22-0360**

**DEPARTMENT OF HEALTH SERVICES REF No. C-22-0360**

**SURVEY PREPARED BY:**  
RUSSELL H. LEWIS CO. LAND SURVEYOR  
57 CONKLIN AVENUE, WHEATLEY HEIGHTS, NY 11798  
PHONE: (516) 474-3665 DATE: JUNE 22, 2021

**LABCREW ENGINEERING, P.C.**  
SITE DESIGN/PLANNING/CIVIL ENGINEERING

460 HAWKINS AVENUE  
ROCKY HILL, NEW YORK 11779  
TELEPHONE: (631) 678-4881  
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**CLANCY STREET FOOD COURT**  
EASTPORT MANOR RD (C.R. 111)  
MANORVILLE, NY 11949

**SANITARY, DRAINAGE & GRADING PLAN**

SCTM#: 0200 - 462.00 - 02.00 - 005.001

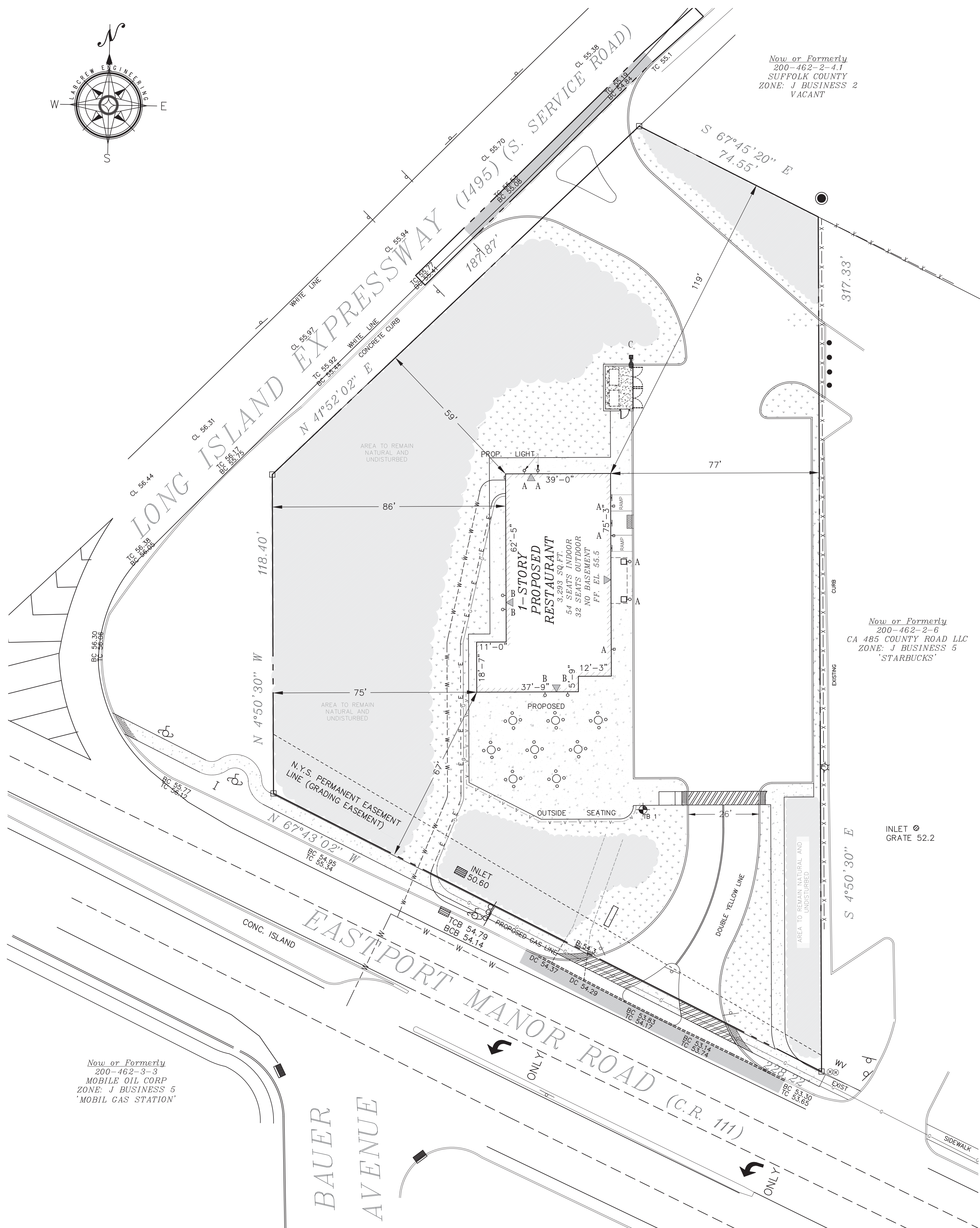
PROJECT	TITLE	
NO.	DATE	REVISION
1	1/3/23	SCDHS COMMENTS
2	1/16/23	SCDHS COMMENTS
3	3/27/23	FLP BUILDING COMMENTS
4	6/20/23	NYS DOT COMMENTS

PROJECT No.	21-084
DRAWN BY	CTL
CHECKED	CTL
DATE	August 2022
SCALE	1" = 30'

**SAN-1**

SHEET NO. 2 OF 9

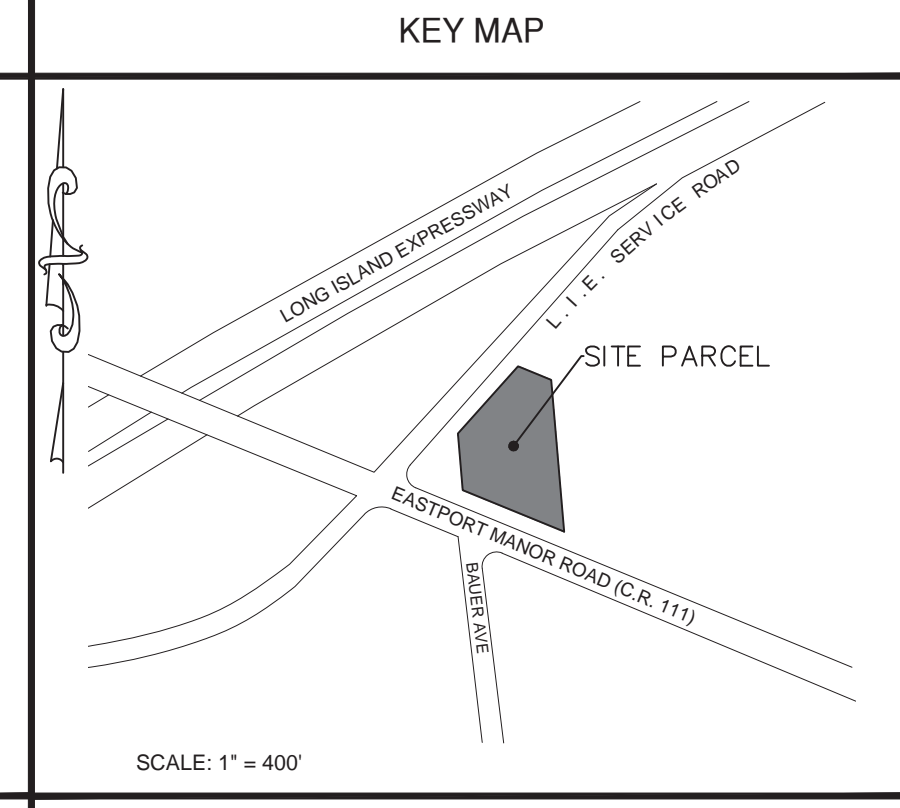




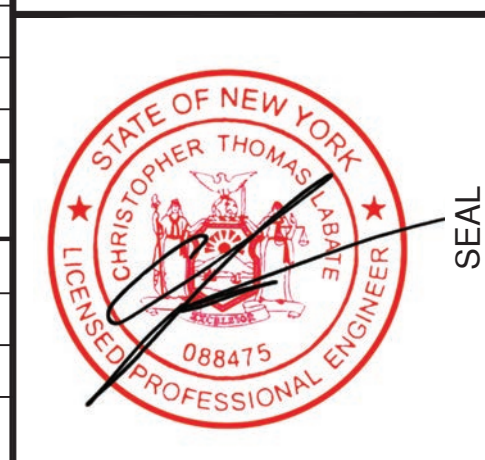
SYMBOL KEY		SPECIAL LINES	
NTS	UTILITY POLE WITH LIGHT	OH	OVERHEAD WIRES
+	CATCH BASIN	T	TELEPHONE LINE
+	GAS VALVE	W	WATER MAIN
+	WATER VALVE	E	UNDER GROUND ELECTRIC
+	MANHOLE COVER	GAS	GAS LINE
+	DRAINAGE MANHOLE COVER	X	FENCE
+	SEWER MANHOLE COVER	---	STONE WALL
+	LIGHT POST		
+	MONUMENT		
+	STAKE		
+	PIPE		
+	DRILL HOLE		
+	HYDRANT		
+	WATER METER		
+	BOLLARD		
+100.0	PROP. PAVEMENT ELEV.		
-100.0	EXISTING ELEVATION		
TC	TOP OF CURB		
BC	BOTTOM OF CURB		

TEST BORING	
EL. 51.7	0.0' BROWN SANDY LOAM (OL)
EL. 50.7	1.0' PALE BROWN SILT (OK)
EL. 45.7	6.0' PALE BROWN FINE SAND (SP)
EL. 32.7	19.0' G.W. EL.
EL. 28.7	23.0' WATER ENCOUNTERED 19' BELOW SURFACE

TEST HOLE DATA BY:  
MCDONALD GEOSERVICES  
DATE: 9/10/2022



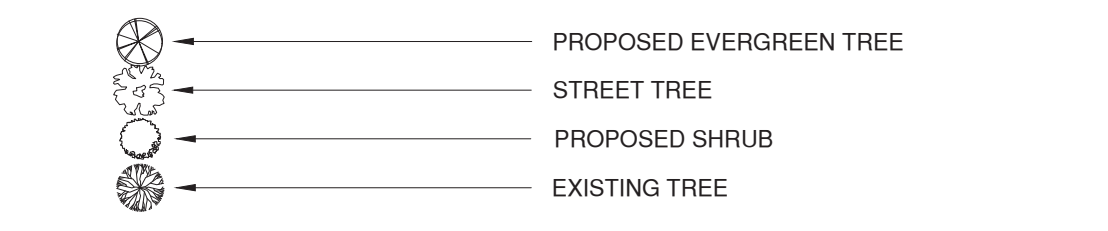
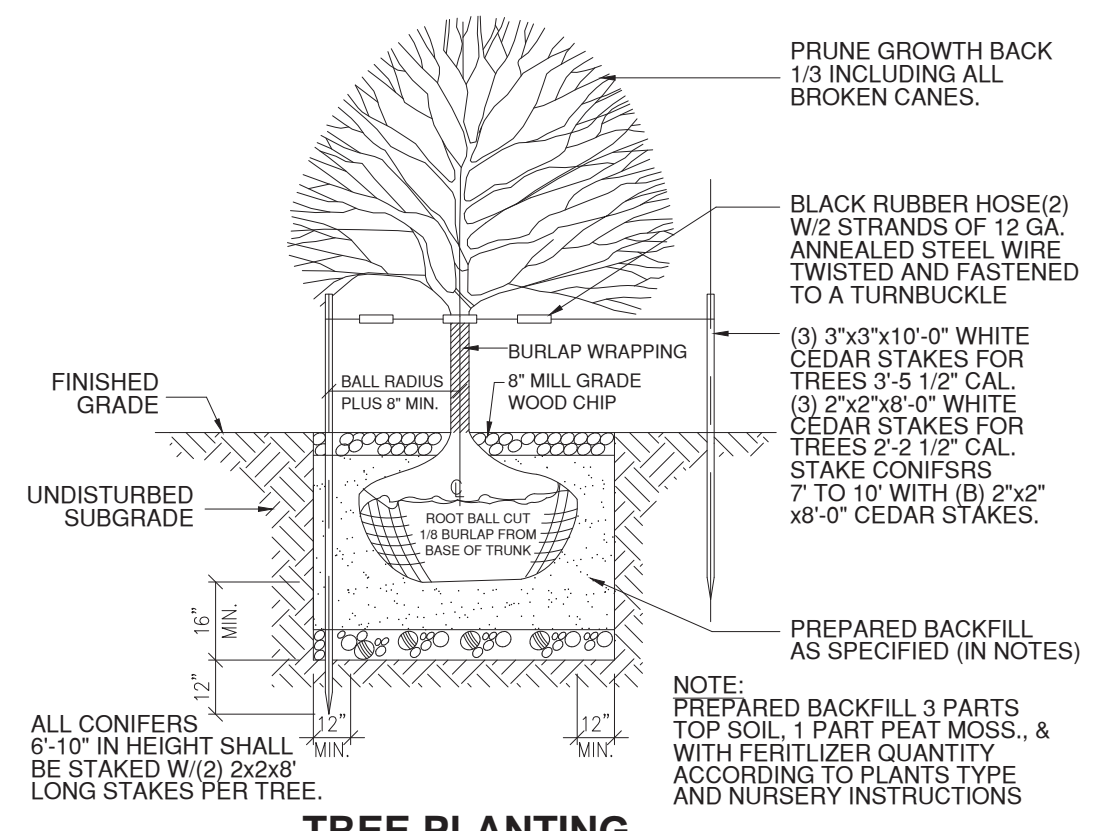
**LABCREW ENGINEERING, P.C.**  
SITE DESIGN/PLANNING/CIVIL ENGINEERING  
460 HAWKINS AVENUE  
ROCKY HILL, CT 06109  
PHONE: (860) 678-4881  
LABCREW@OPTONLINE.NET



**SITE CRITERIA**

SITE DATA:			
SITE AREA	1.167 ACRES	50,848.9	SQ.FT.
PROPOSED BUILDING AREA		3,293	SQ.FT.
PROP. F.A.R.		6.5	%
PARKING REQUIRED		29	STALLS
PARKING PROVIDED w/LOADING		30	STALLS
DATUM	NAVD 1988		
ZONING	J BUSINESS 2		
USE	RESTAURANT w/OUTDOOR SEATING		

LANDSCAPE REQUIREMENTS:			
MIN. NATURAL AREA/ LANDSCAPE (35% OF TOTAL SITE)	REQ.	PROP.	SQ.FT.
MIN. FRONT YARD NATURAL AREA/ LANDSCAPE (10% OF TOTAL)	5,084.9	9,804.9	SQ.FT.



**LANDSCAPING CHART**

SYM	BOTANICAL NAME	COMMON NAME	QTY	CALIPER/BALL	HEIGHT/SPREAD
TREE AREA TO REMAIN NATURAL = 18,221.9 SQ. FT. = 35.8% OF SITE					
NATIVE GRASS AREA = 7,480.7 SQ. FT. = 14.7% OF SITE					
TOTAL NATURAL TREE AREA AND NATIVE GRASS AREA = 25,702.6 SQ. FT. = 50.5% OF SITE					
TOTAL FRONT YARD NATURAL TREE AREA AND NATIVE GRASS AREA = 9,804.9 SQ. FT. = 19.3% OF SITE					

**LANDSCAPE PLAN NOTES:**

NOTE: ALL PLANTINGS ARE TO BE MAINTAINED WITH A DRIP IRRIGATION SYSTEM, FERTILIZER & OTHER REQUIRED MATERIALS AS TO MAINTAIN A NEAT HEALTHY APPEARANCE.

IRRIGATION SHALL CONSERVE NATURAL RESOURCES THROUGH THE USE OF WATER CONSERVATION METHODS, INCLUDING AUTOMATIC TIMERS, RAIN SENSORS AND MOISTURE METERS

SURVIVORSHIP SHALL BE MAINTAINED FOR 5 YEARS. ANY PLANTS THAT ARE NO LONGER MAINTAINABLE SHALL BE REPLACED

ALL OF THE PROPOSED PLANT SPECIES ARE NATIVE TO THIS AREA, DROUGHT RESISTANT AND WILL MAINTAIN THE NATURAL ECOLOGICAL SPECIES.

TEMPORARY FENCING IS TO BE INSPECTED PRIOR TO ANY CONSTRUCTION OR DISTURBANCE ON-SITE

LABCREW ENGINEERING, P.C.

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**CLANCY STREET FOOD COURT**  
EASTPORT MANOR RD (C.R. 111)  
MANORVILLE, NY 11949

**LANDSCAPE PLAN**

SCTM#: 0200 - 462.00 - 02.00 - 005.001

NO.	DATE	REVISION
1	1/3/23	SCDHS COMMENTS
2	1/18/23	SCDHS COMMENTS
3	3/27/23	FLIP BUILDING COMMENTS
4	6/20/23	NYS DOT COMMENTS

PROJECT	TITLE

PROJECT No.	21-084
DRAWN BY	CTN
CHECKED	CTL
DATE	August 2022
SCALE	1" = 20'

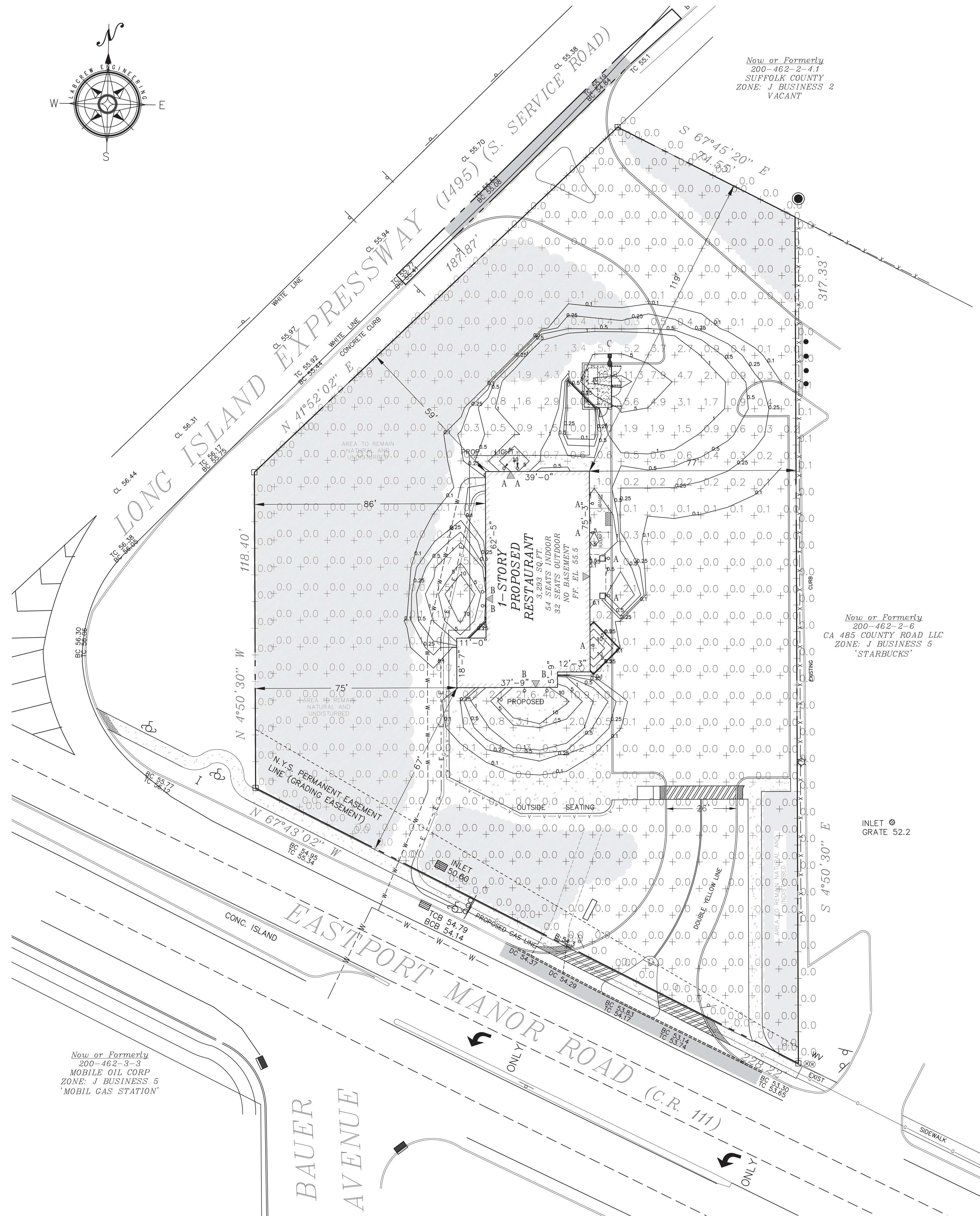
**LAN-1**

SHEET NO. 3 OF 9

TOWN OF BROOKHAVEN LOG #22SP0058

SURVEY PREPARED BY:  
RUSSELL H. LEWIS CO. LAND SURVEYOR  
57 CONKLIN AVENUE,  
WHEATLEY HEIGHTS, NY 11798  
PHONE: (516) 474-3665 DATE:  
JUNE 22, 2021

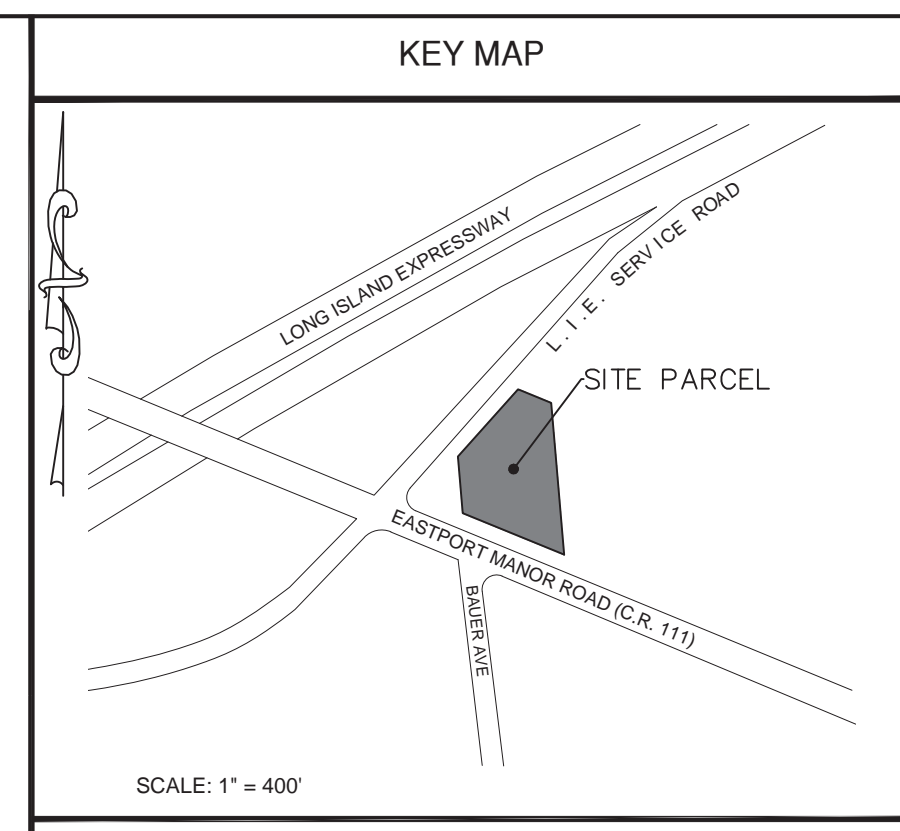




Now or Formerly  
200-462-2-41  
SUFFOLK COUNTY  
ZONE: J BUSINESS 2  
VACANT

Now or Formerly  
200-462-2-6  
CA 485 COUNTY ROAD LLC  
ZONE: J BUSINESS 5  
'STARBUCKS'

Now or Formerly  
200-462-3-3  
MOBILE OIL CORP  
ZONE: J BUSINESS 5  
'MOBIL GAS STATION'



### SITE CRITERIA

SITE DATA:			
SITE AREA	1.167 ACRES	50,848.9	SQ.FT.
PROPOSED BUILDING AREA		3,293	SQ.FT.
PROP. F.A.R.		6.5	%
PARKING REQUIRED		24	STALLS
PARKING PROVIDED w/LOADING		30	STALLS
DATUM	NAVD 1988		
ZONING	J BUSINESS 2		
USE	RESTAURANT w/OUTDOOR SEATING		
LUMINARY SCHEDULE:			
SYM.	TAG	QTY.	MOUNT HEIGHT
○	A	8	7'
□	B	3	7'
○	C	1	18'

#### CDLED2W-20W-WW930-K RAB

Project: \_\_\_\_\_ Type: **A**

Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_

**Driver Info**

Type	Constant Current	Watts	20W
120V	0.58A	Color Temp	3000K (Warm)
200V	0.11A	Color Accuracy	93 CRI
240V	0.10A	RP	62
277V	0.08A	L70 Life Expectancy	50,000 Hours
Input Watts	21.1W	Lumens	1,719 lm
		Efficiency	85.5 lm/W

**LED Info**

Watts: 20W  
Color Temp: 3000K (Warm)  
Color Accuracy: 93 CRI  
RP: 62  
L70 Life Expectancy: 50,000 Hours  
Lumens: 1,719 lm  
Efficiency: 85.5 lm/W

**Technical Specifications**

<b>Compliance</b> UL Listed: Suitable for wet locations.	<b>Power Factor</b> 98.5% at 120V, 98.1% at 277V	<b>Construction</b> Cold Weather Starting: The minimum starting temperature is -30°C (-22°F)
<b>IESNA LM-79 &amp; LM-80 Testing:</b> RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.	<b>Optical</b> Beam Spread: 119°	<b>Maximum Ambient Temperature</b> Suitable for use in up to 40°C (104°F)
<b>Driver:</b> Constant Current, Class 2, 120-277V, 50/60 Hz, 120V: 0.58A, 200V: 0.11A, 240V: 0.10A, 277V: 0.08A	<b>Performance</b> LifeSpan: 50,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations.	<b>Lens:</b> T8 Polycarbonate (Total Internal Reflection)
<b>Dimming Driver:</b> 0-10V (at 120-277V), TRIAC and ELV (at 120V only)	<b>LED Characteristics</b> LEDs: Long-life, high-efficiency, surface-mount LEDs	<b>Reflector:</b> Vacuum-metallized polycarbonate
<b>TBD:</b> 13.2% at 120V, 25.5% at 277V	<b>Color Stability</b> LED color temperature is warranted to drift no more than 200K in color temperature over a 5-year period	

#### SLIMFC62Y RAB

Project: \_\_\_\_\_ Type: **B**

Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_

**Driver Info**

Type	Constant Current	Watts	62W
120V	0.52A	Color Temp	3000K (Warm)
200V	0.26A	Color Accuracy	72 CRI
240V	0.24A	L70 Life Expectancy	100,000 Hours
277V	0.21A	Lumens	5,631 lm
Input Watts	57.5W	Efficiency	88.3 lm/W

**LED Info**

Watts: 62W  
Color Temp: 3000K (Warm)  
Color Accuracy: 72 CRI  
L70 Life Expectancy: 100,000 Hours  
Lumens: 5,631 lm  
Efficiency: 88.3 lm/W

**Technical Specifications**

<b>Compliance</b> UL Listed: Suitable for use in up to 40°C (104°F)	<b>Maximum Ambient Temperature</b> Suitable for use in up to 40°C (104°F)	<b>Lens:</b> Microprismatic, diffusing glass lens, reduces glare and has smooth and even light distribution
<b>IP Rating:</b> Ingress protection rating of IP66 for dust and water	<b>Mounting:</b> Precision die-cast aluminum housing and door frame	<b>Reflector:</b> Specular, microprismatic
<b>IESNA LM-79 &amp; LM-80 Testing:</b> RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.	<b>Construction</b> Die-cast back box with four (4) conduct entry points and recessed positive junction box or direct wall mounting. Integral housing and tool-free for easy installation.	<b>Galvanic:</b> The unique design of the light lock gasket ensures no water or environmental elements will ever get inside the luminaire.
<b>Footcandle:</b> Designed to replace RAB HD-WP in wall packs, both in size and features complete in upgrading to LED in easy and seamless.	<b>Full-Cut-off:</b> Full-Cut-off meets dark sky requirements.	<b>Finish:</b> Formulated for high durability and long-lasting color
<b>Cold Weather Starting:</b> The minimum starting temperature is -40°C (-40°F)	<b>Recommended Mounting Height:</b> Up to 30'	

#### ALED3T125Y RAB

Project: \_\_\_\_\_ Type: **C**

Prepared By: \_\_\_\_\_ Date: \_\_\_\_\_

**Driver Info**

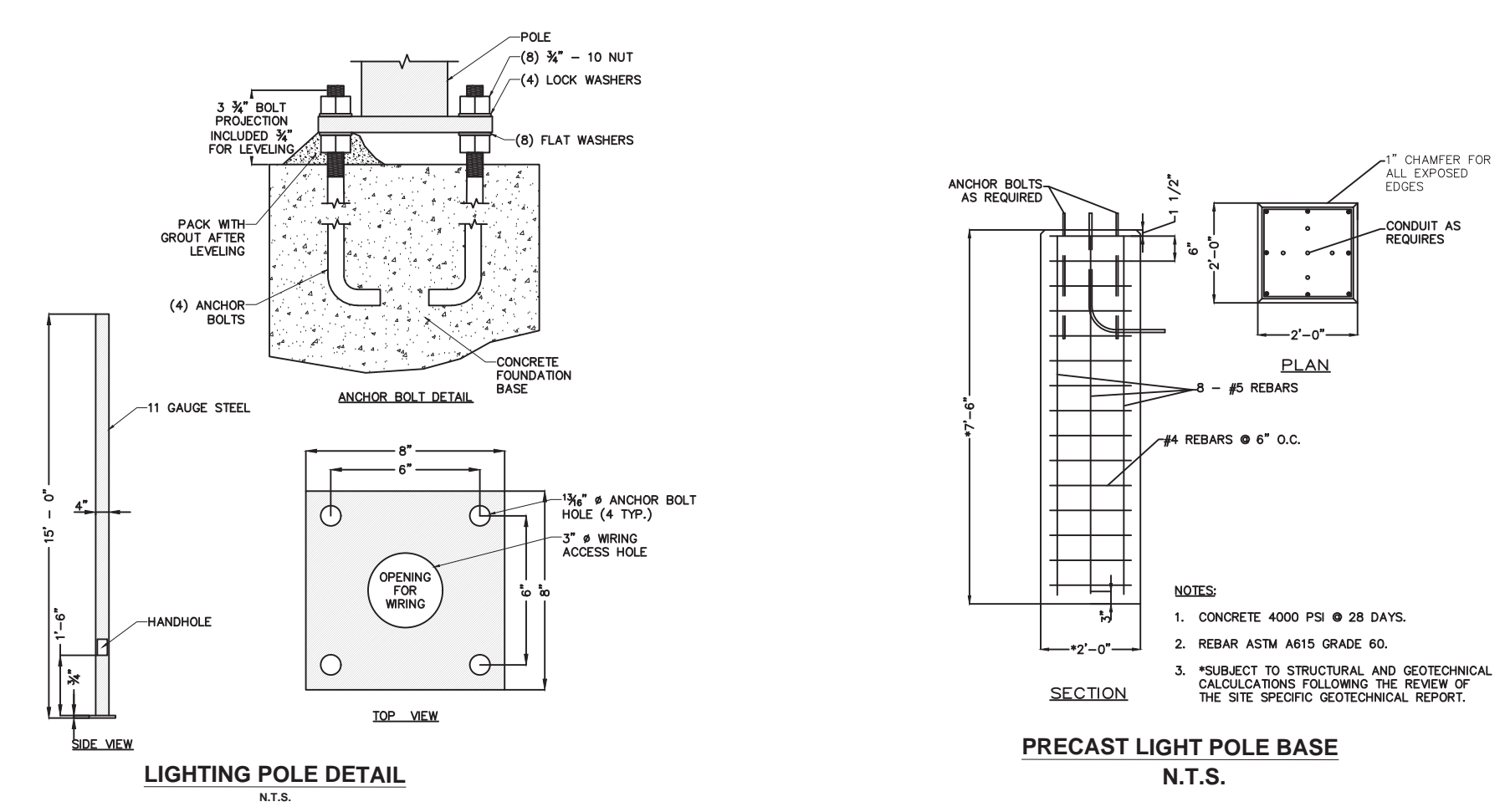
Type	Constant Current	Watts	125W
120V	1.12A	Color Temp	3000K (Warm)
200V	0.56A	Color Accuracy	72 CRI
240V	0.51A	L70 Life Expectancy	100,000 Hours
277V	0.45A	Lumens	11,119 lm
Input Watts	123.9W	Efficiency	106.3 lm/W

**LED Info**

Watts: 125W  
Color Temp: 3000K (Warm)  
Color Accuracy: 72 CRI  
L70 Life Expectancy: 100,000 Hours  
Lumens: 11,119 lm  
Efficiency: 106.3 lm/W

**Technical Specifications**

<b>Compliance</b> UL Listed: Suitable for wet locations	<b>Maximum Ambient Temperature</b> Suitable for use in up to 40°C (104°F)	<b>Lens:</b> Microprismatic, diffusing glass lens, reduces glare and has smooth and even light distribution
<b>IP Rating:</b> Ingress protection rating of IP66 for dust and water	<b>Mounting:</b> Precision die-cast aluminum housing and door frame	<b>Reflector:</b> Specular, microprismatic
<b>IESNA LM-79 &amp; LM-80 Testing:</b> RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.	<b>Construction</b> Die-cast back box with four (4) conduct entry points and recessed positive junction box or direct wall mounting. Integral housing and tool-free for easy installation.	<b>Galvanic:</b> The unique design of the light lock gasket ensures no water or environmental elements will ever get inside the luminaire.
<b>Footcandle:</b> Designed to replace RAB HD-WP in wall packs, both in size and features complete in upgrading to LED in easy and seamless.	<b>Full-Cut-off:</b> Full-Cut-off meets dark sky requirements.	<b>Finish:</b> Formulated for high durability and long-lasting color
<b>Cold Weather Starting:</b> The minimum starting temperature is -40°C (-40°F)	<b>Recommended Mounting Height:</b> Up to 30'	



TOWN OF BROOKHAVEN LOG #22SP0058

SURVEY PREPARED BY:  
RUSSELL H. LEWIS CO. LAND SURVEYOR  
57 CONKLIN AVENUE, WHEATLEY HEIGHTS, NY 11798  
PHONE: (516) 474-3665 DATE: JUNE 22, 2021

# LABCREW ENGINEERING, P.C.

SITE DESIGN/PLANNING/CIVIL ENGINEERING  
460 HAWKINS AVENUE  
ROCKY HILL, NEW YORK 11779  
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LIGHTING PLAN	
PROJECT	TITLE
CLANCY STREET FOOD COURT EASTPORT MANOR RD (C.R. 111) MANORVILLE, NY 11949	

NO.	DATE	REVISION
1	1/3/23	SCDHS COMMENTS
2	1/16/23	SCDHS COMMENTS
3	3/27/23	FLP BUILDING COMMENTS
4	6/20/23	NYS DOT COMMENTS

PROJECT No: 21-084  
DRAWN BY: DR  
CHECKED: CTL  
DATE: August 2022  
SCALE: 1" = 20'

# LIG-1

SHEET NO. 4 OF 9





**SYMBOL KEY**

- CATCH BASIN
- GAS VALVE
- WATER VALVE
- MANHOLE COVER
- DRAINAGE MANHOLE COVER
- SEWER MANHOLE COVER
- LIGHT POST
- MONUMENT
- STAKE
- PIPE
- DRILL HOLE
- HYDRANT
- WATER METER
- WELL
- RECT. DROP INLET
- DROP INLET
- ELECTRIC BOX
- CABLE BOX
- TELEPHONE BOX
- TRAFFIC SIGNAL BOX
- FLAG POLE
- WETLANDS FLAG
- HANDICAPPED PARKING
- DOOR LOCATION
- TOP OF CURB
- BOTTOM OF CURB

**SPECIAL LINES**

- OH - OVERHEAD WIRES
- T - TELEPHONE LINE
- W - WATER MAIN
- E - UNDER GROUND ELECTRIC
- GAS - GAS LINE
- X - FENCE
- STONE WALL

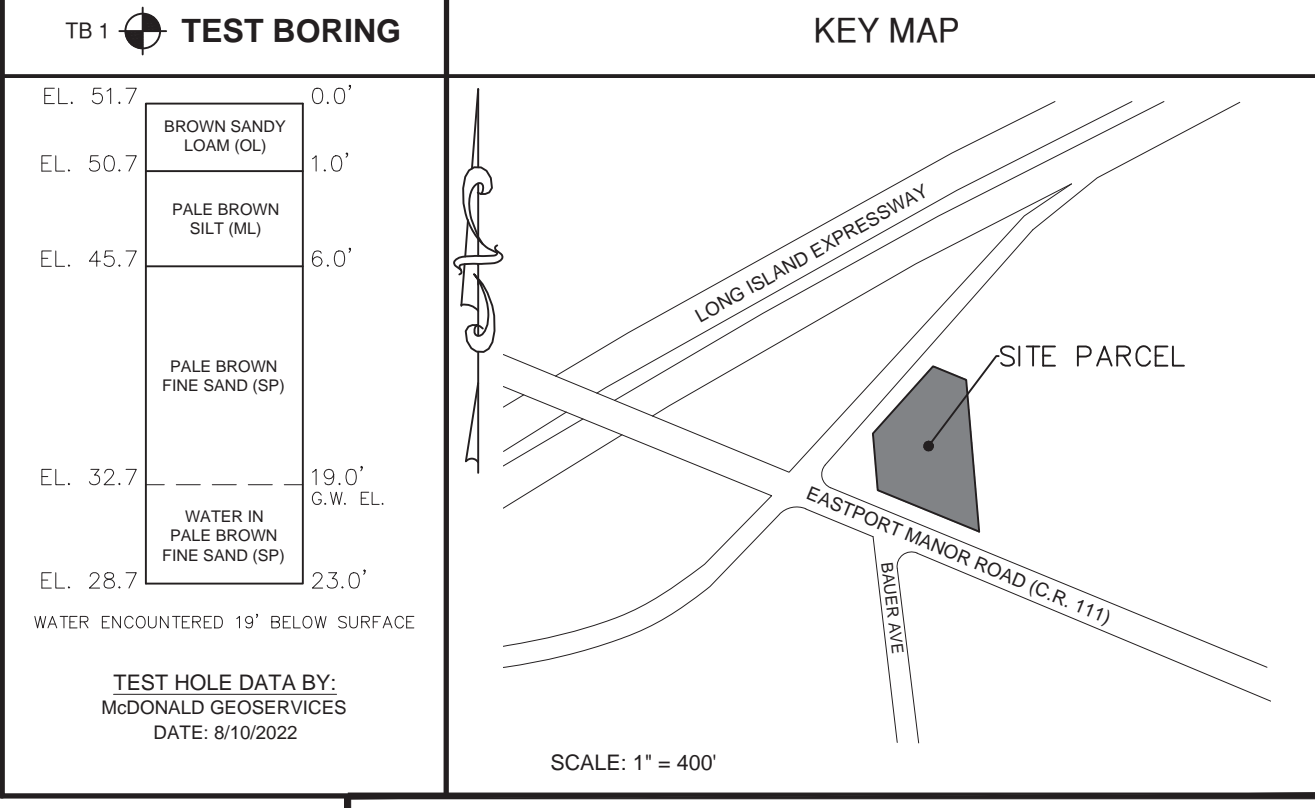
**TEST BORING**

EL. 51.7 0.0'  
EL. 50.7 1.0'  
EL. 45.7 6.0'  
EL. 32.7 19.0' G.W. EL.  
EL. 28.7 23.0'  
WATER ENCOUNTERED 19' BELOW SURFACE

TEST HOLE DATA BY:  
MCDONALD GEOSERVICES  
DATE: 9/10/2022

**KEY MAP**

SCALE: 1" = 400'



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ROCKY HILL, NEW YORK 11779  
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LABCREW@OPTONLINE.NET

**CUT / FILL KEY**

PROPOSED GRADE	EXISTING GRADE
DEPTH OF CUT	DEPTH OF FILL

**SITE CRITERIA**

**SITE DATA:**

ITEM	QUANTITY	UNIT
SITE AREA	1.167 ACRES	50,848.9 SQ.FT.
PROPOSED BUILDING AREA	3,293	SQ.FT.
PROP. F.A.R.	6.5	%
PARKING REQUIRED	29	STALLS
PARKING PROVIDED w/LOADING	30	STALLS
DATUM	NAVD 1988	
ZONING	J BUSINESS 2	
USE	RESTAURANT w/OUTDOOR SEATING	

**CUT / FILL CALCULATIONS:**

**VOLUME OF CUT/FILL FOR SITE GRADING**

AREA OF CELL = 25 FT. x 25.39 FT. = 634.75 SQ.FT.  
AVERAGE DEPTH OF IRREGULAR CELLS = 460 CU.YDS. FILL  
AREA OF CELL / 634.75 SQ.FT. x AVERAGE CUT/FILL OF CELL = AVERAGE OF IRREG. CELL

19,656 (FILL) x 634.75 SQ.FT. = 12,418.9 CU.FT. = 460 CU.YDS. FILL  
12,418.9 CU.FT. / 27 CU.FT./CU.YD.

**VOLUME OF MATERIAL REMOVED FOR BUILDING:**

3,293 SQ.FT. (BUILDING SLAB) x 0.5 FT. = 1,646.5 CU.FT.  
262 LIN.FT. (BUILDING FOUNDATION) = 1,137.1 CU.FT.  
TOTAL CU.FT. = 1,646.5 + 1,137.1 = 2,783.6 CU.FT.  
TOTAL CUT FOR BUILDING = 2,783.6 CU.FT. / 27 CU.FT./CU.YD. = 103.1 CU.YD. CUT

**VOLUME OF MATERIAL REMOVED FOR PAVING & SITE UTILITIES:**

PAVEMENT 15,392.7 SQ.FT. x 0.82 FT. = 14,161.3 CU.FT.  
SIDEWALK 4,300.2 SQ.FT. x 0.33 FT. = 1,419.1 CU.FT.  
CONC. CURB 801.5 LIN.FT. x 0.75 SQ.FT./FT. = 601.1 CU.FT.  
6" ROOF LEADER 105 LIN.FT. x 0.25" = 6.6 CU.FT.  
15" DRAINAGE PIPE 200 LIN.FT. x 6" = 76.9 CU.FT.  
DRYWELLS 8 x 5" x pi x 10' = 6,283.2 CU.FT.  
DRYWELLS 3 x 5" x pi x 9' = 2,120.6 CU.FT.  
TOTAL CU.FT. OF CUT FROM PAVING & SITE UTILITIES = 24,668.8 CU.FT.  
24,668.8 CU.FT. / 27 CU.FT./FT. = 913.6 CU.FT. CUT

**VOLUME OF MATERIAL REMOVED FOR SANITARY SYSTEMS:**

**SYSTEM A:**  
SEPTIC TANK 7' x 5.5' x 18.5' = 712.3 CU.FT.  
LEACHING POOL 8'0" x 5'2" x pi x 16' = 1,256.6 CU.FT.

**SYSTEM B:**  
8'0" SEPTIC TANK 42.24 CU.FT./FT x 7' = 295.7 CU.FT.  
10'0" LEACHING POOL 2' x 68.42 CU.FT./FT x 15 FT. = 2,052.6 CU.FT.  
PIPING FOR ALL SYSTEMS 76 LIN.FT. x 4" (0.16') = 1.9 CU.FT.  
TOTAL CU.FT. OF CUT FOR SANITARY SYSTEMS = 4,319.1 CU.FT.  
4,319.1 CU.FT. / 27 CU.FT./CU.YD. = 159.9 CU.YD. CUT

**VOLUME OF EXCESS MATERIAL TO BE REMOVED**

460.0 CU.YD. FILL - 913.6 CU.YD. CUT - 159.9 CU.YD. CUT = 613.5 CU.YD. FILL  
613.5 CUBIC YARDS OF MATERIAL TO BE REMOVED



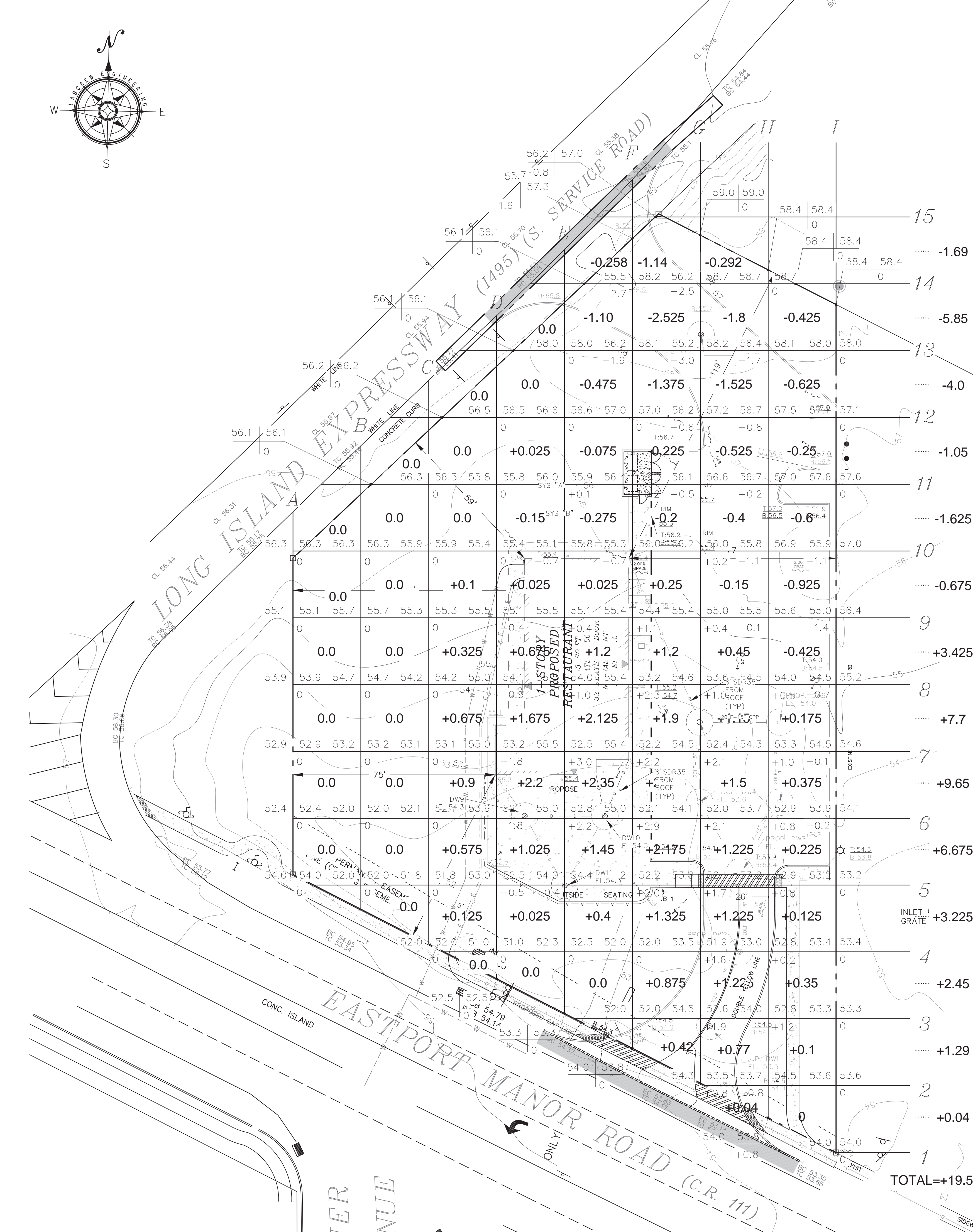
LABCREW ENGINEERING, P.C.  
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**CLANCY STREET FOOD COURT**  
EASTPORT MANOR RD (C.R. 111)  
MANORVILLE, NY 11949

**MATERIAL REMOVAL AND DEMOLITION PLAN**

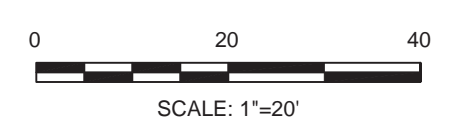
SCTM#: 0200 - 462.00 - 02.00 - 005.001

PROJECT	TITLE



TOTAL = +19.565

**SURVEY PREPARED BY:**  
RUSSELL H. LEWIS CO. LAND SURVEYOR  
57 CONKLIN AVENUE,  
WHEATLEY HEIGHTS, NY 11798  
PHONE: (516) 474-3665 DATE:  
JUNE 22, 2021



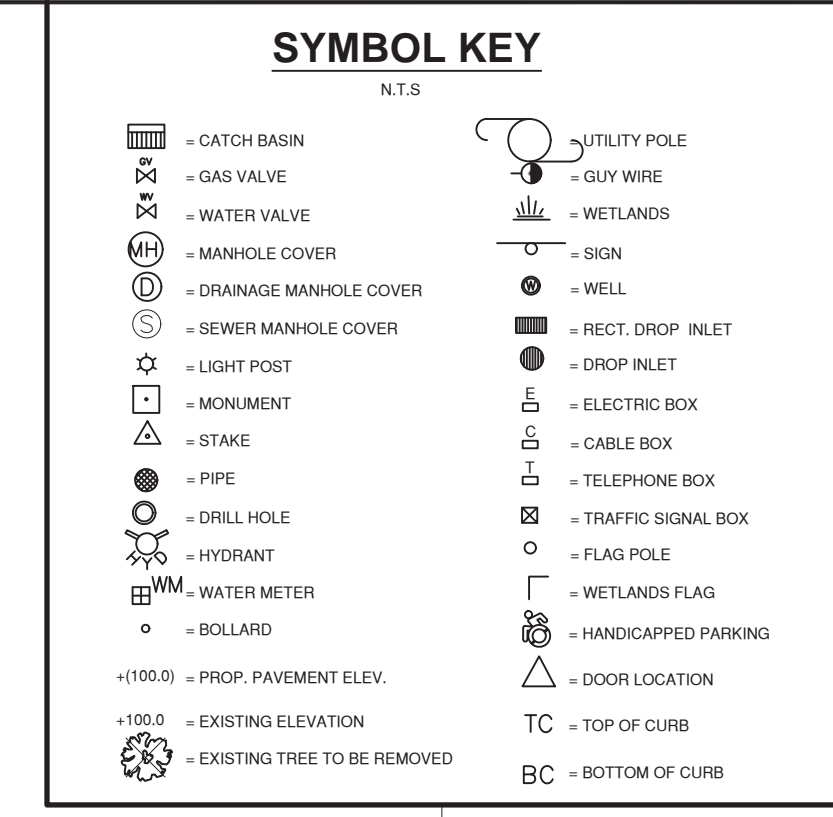
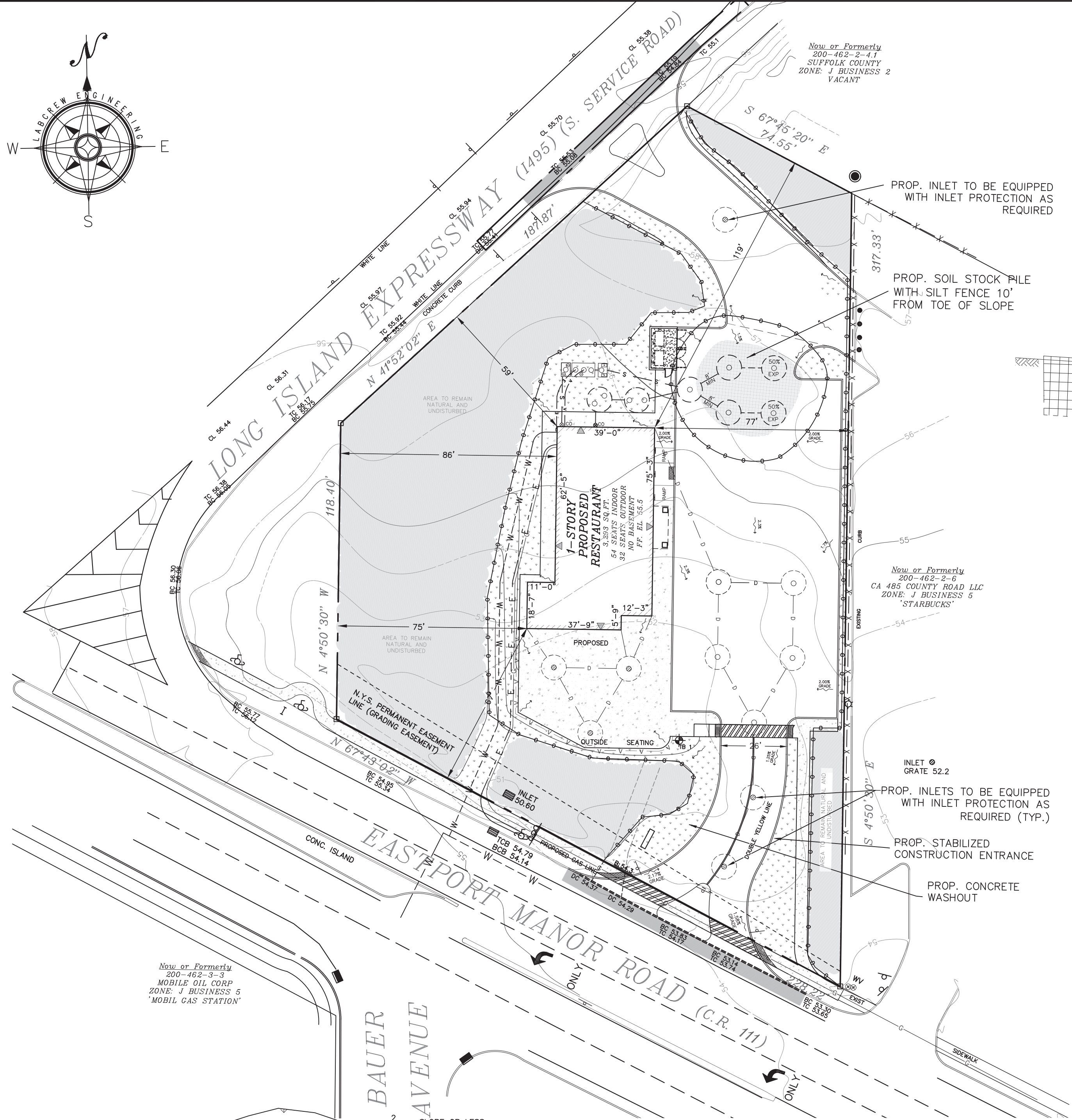
NO.	DATE	REVISION
1	1/3/23	SCDHS COMMENTS
2	1/16/23	SCDHS COMMENTS
3	3/27/23	FLP BUILDING COMMENTS
4	6/20/23	NYS DOT COMMENTS

PROJECT No.	21-084
DRAWN BY	DR
CHECKED	CTL
DATE	August 2022
SCALE	1" = 20'

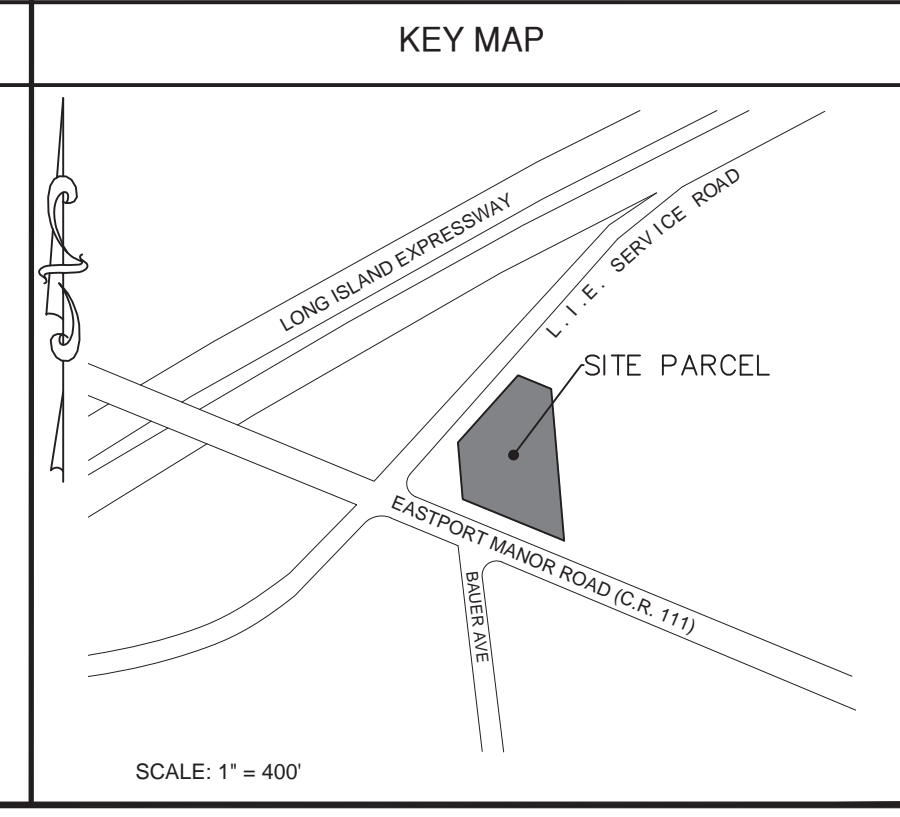
**MRP-1**

SHEET NO. 5 OF 9

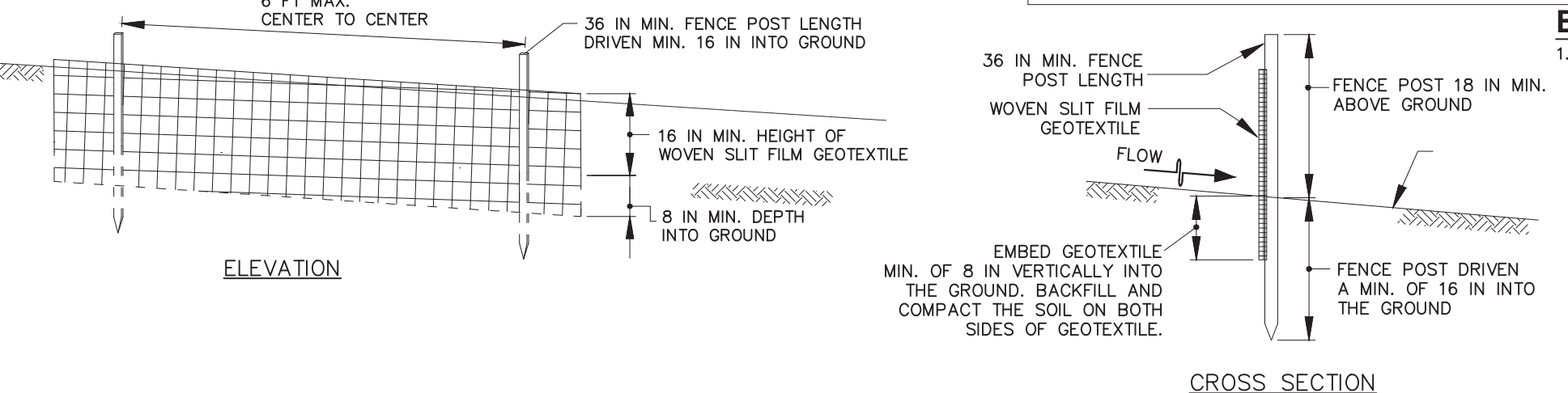




TEST BORING data table with columns for Elevation (EL.), Depth (0.0', 1.0', 6.0', 19.0', 23.0'), and Soil Type (BROWN SANDY LOAM (OL), PALE BROWN SILT (AL), PALE BROWN FINE SAND (SP), WATER IN PALE BROWN FINE SAND (SP)).



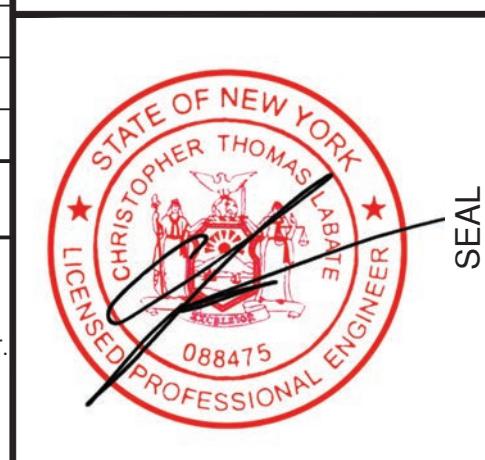
LABCREW ENGINEERING, P.C. SITE DESIGN/PLANNING/CIVIL ENGINEERING. 460 HAWKINS AVENUE, ROCKY HILL, NEW YORK 11779. TELEPHONE: (516) 678-4881. LABCREW@OPTONLINE.NET



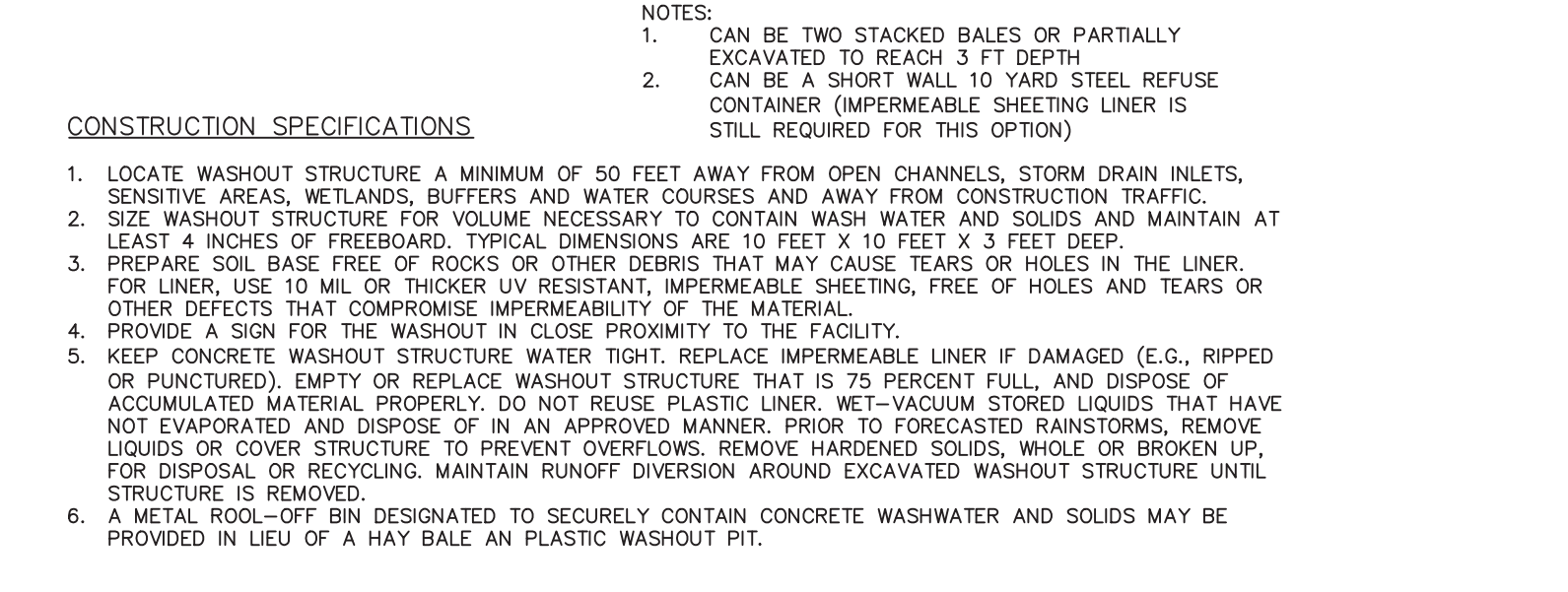
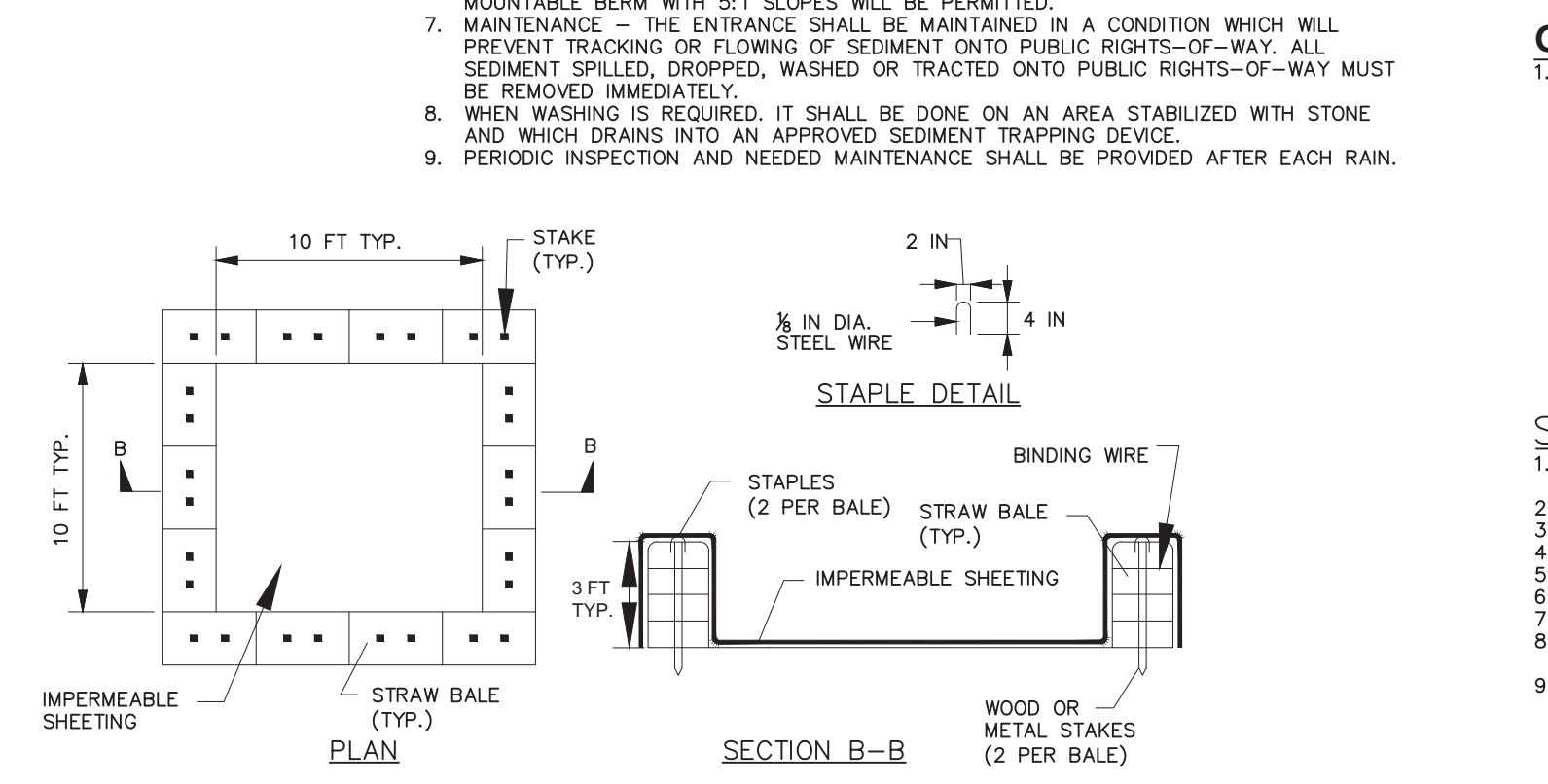
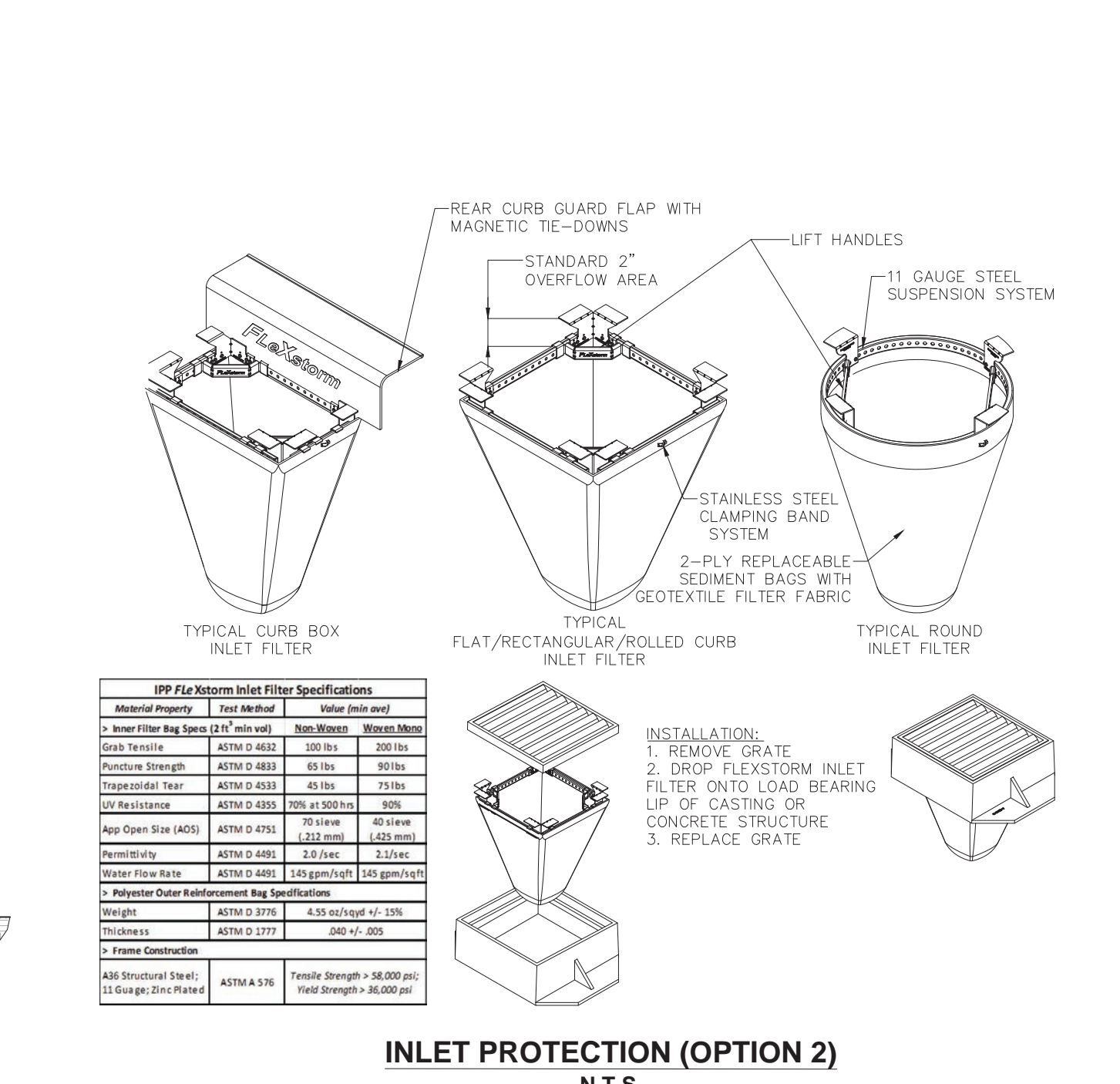
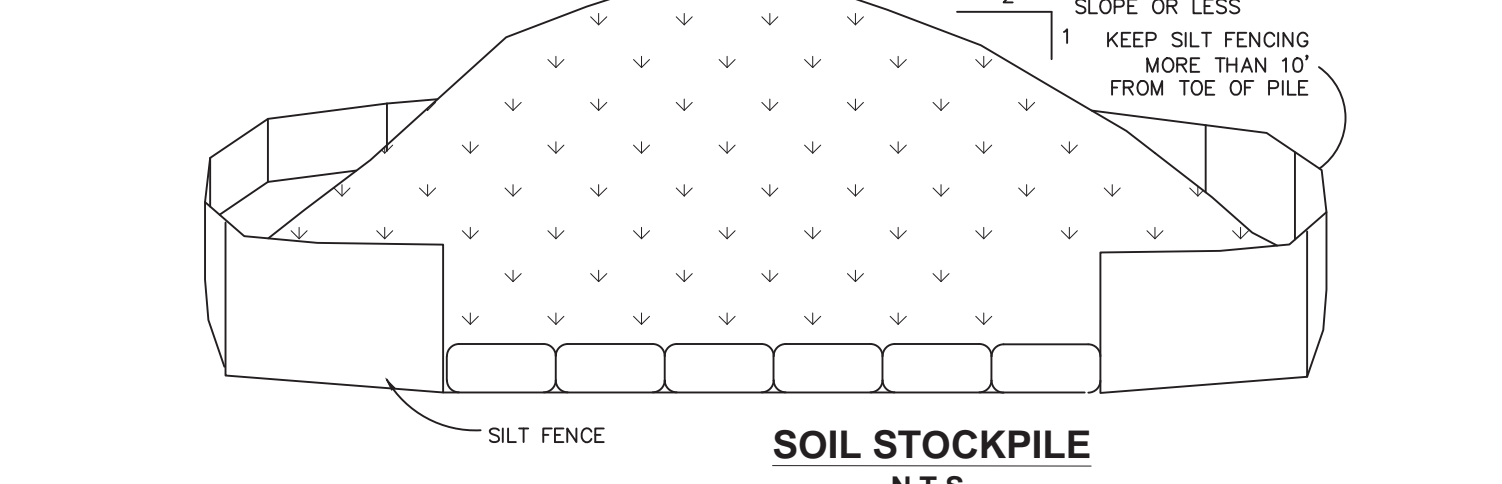
- CONSTRUCTION SPECIFICATIONS: 1. USE WOOD POSTS 1 3/4 X 1 3/4 X 1/16 INCH (MINIMUM) SQUARE CUT OF SOUND QUALITY HARDWOOD... 2. USE 36 INCH MINIMUM POSTS DRIVEN 16 INCH MINIMUM INTO GROUND... 3. USE WOVEN SILT FILM GEOTEXTILE AS SPECIFIED IN SECTION 11-1 MATERIALS AND FASTEN GEOTEXTILE SECURELY TO UPSLOPE SIDE OF FENCE POSTS WITH WIRE TIES OR STAPLES AT TOP AND MID-SECTION.

- EROSION CONTROL MEASURES: 1. THE PROPOSED EROSION CONTROL MEASURES SHOWN ON THIS PLAN SHALL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION... 2. SEDIMENT BARRIERS (SILT FENCE OR APPROVED EQUAL) SHALL BE INSTALLED PRIOR TO ANY GRADING WORK... 3. GRADED AND STRIPPED AREAS AND STOCKPILES SHALL BE KEPT STABILIZED THROUGH THE USE OF TEMPORARY MEASURES...

SITE CRITERIA table with columns for SITE DATA and CUT/FILL CALCULATIONS. Includes values for SITE AREA (1.167 ACRES), PROPOSED BUILDING AREA (3,293 SQ.FT.), and various cut/fill volumes.



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- GRADING NOTES: 1. ALL 1:2 & 3:1 SLOPE AREAS WILL BE PROTECTED AGAINST EROSION DURING CONSTRUCTION AND PERMANENT GROUND COVER SHALL BE SUCH THAT EROSION WILL BE PREVENTED... 2. SITE CLEARING AND EXCAVATION. 3. CONSTRUCTION ACTIVITIES. 4. ROUGH GRADING. 5. INSTALLATION OF NEW CONSTRUCTION. 6. INSTALLATION OF NEW TREES AND SHRUBS. 7. FINAL GRADING AND STABILIZATION. 8. REMOVAL OF SEDIMENT AND EROSION CONTROL MEASURES. 9. FINAL LANDSCAPING.

- SCHEDULE OF OPERATIONS: 1. INSTALLATION OF SEDIMENT AND EROSION CONTROL MEASURES. 2. SITE CLEARING AND EXCAVATION. 3. CONSTRUCTION ACTIVITIES. 4. ROUGH GRADING. 5. INSTALLATION OF NEW CONSTRUCTION. 6. INSTALLATION OF NEW TREES AND SHRUBS. 7. FINAL GRADING AND STABILIZATION. 8. REMOVAL OF SEDIMENT AND EROSION CONTROL MEASURES. 9. FINAL LANDSCAPING.

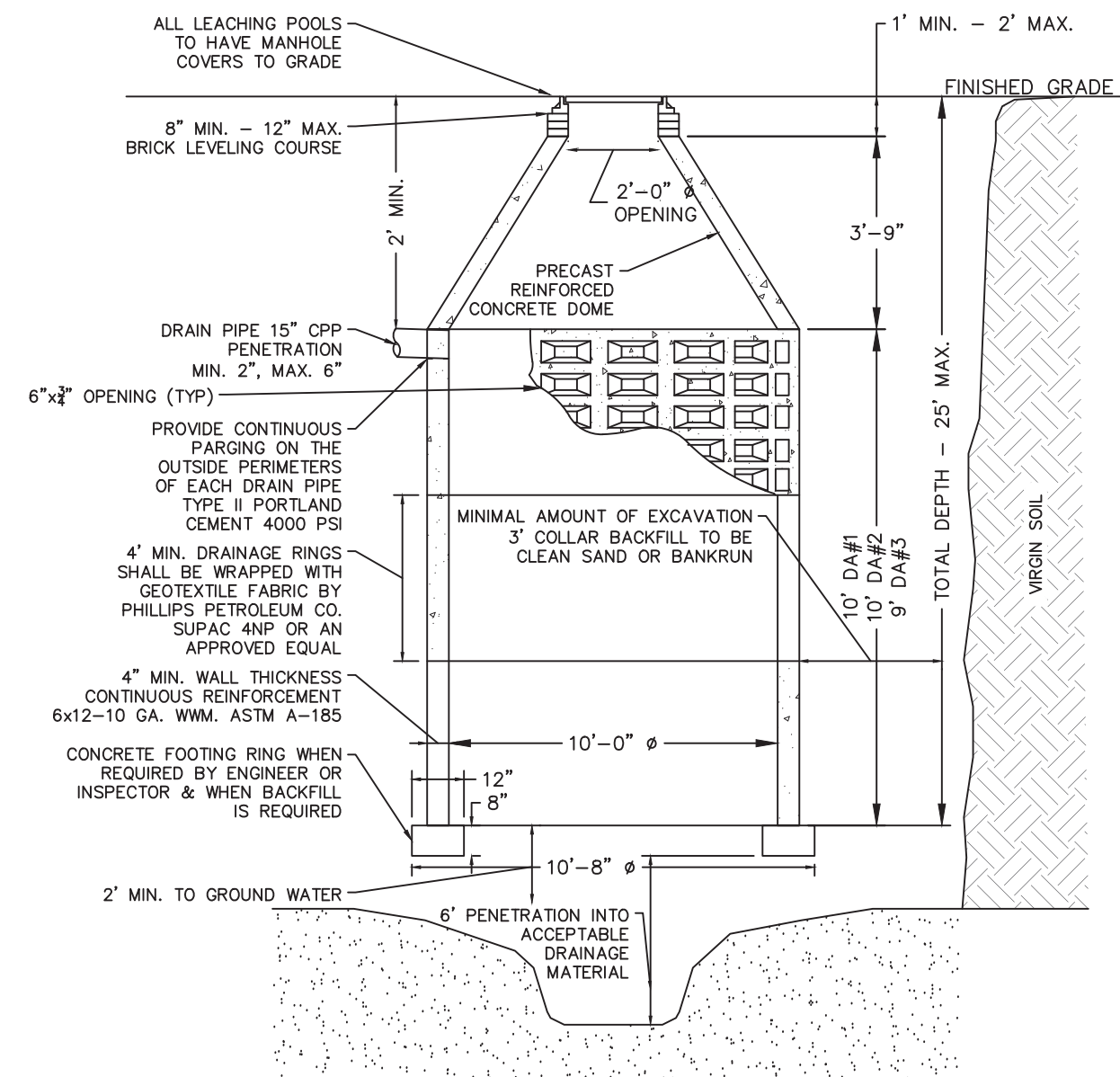
TOWN OF BROOKHAVEN LOG #22SP0058 SURVEY PREPARED BY: RUSSELL H. LEWIS CO. LAND SURVEYOR. 57 CONKLIN AVENUE, WHEATLEY HEIGHTS, NY 11798. PHONE: (516) 474-3665. DATE: JUNE 22, 2021.

INLET PROTECTION (OPTION 1) N.T.S. 1. DANDY CURB BAG TO BE USED IN CONJUNCTION WITH INLET BOX AND FILTER FOR CURB INLET AT STREET CORNER. 2. INLET PROTECTION TO BE MAINTAINED REGULARLY AND AFTER EACH RAINFALL EVENT DURING CONSTRUCTION.

Table with 4 columns: Material Property, Item Material, Unit, and Value (each unit used).

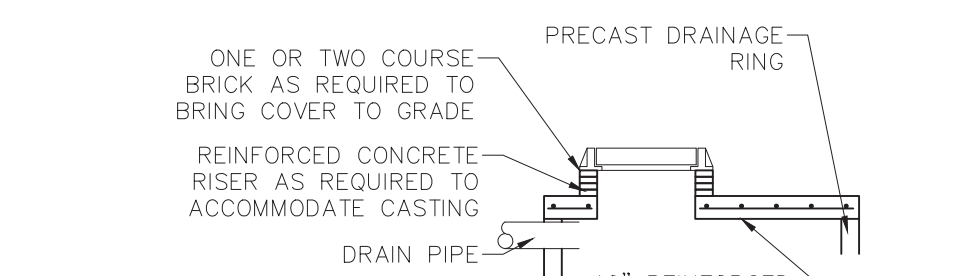
PROJECT TITLE table with columns for NO., DATE, REVISION, and TITLE. Includes project details like PROJECT No. 21-084, DRAWN BY CTN, CHECKED CTL, DATE August 2022, SCALE 1" = 30', and SHEET No. 6 OF 9.



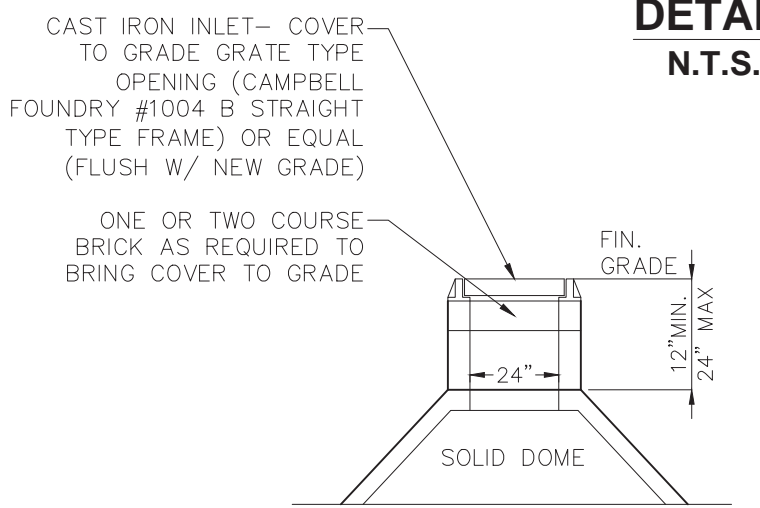


**DRAINAGE LEACHING POOL W/ DOME**  
N.T.S.

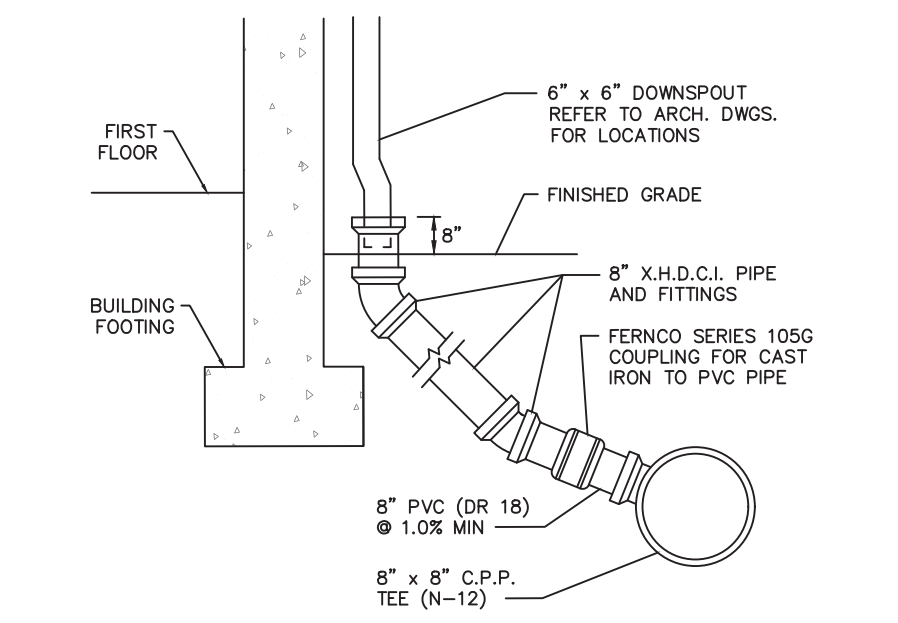
- NOTES:
1. SANITARY RINGS MAY NOT BE USED.
  2. ALL PRECAST CONCRETE STRUCTURES MUST MEET ACI CODE AND SPECIFICATIONS.
  3. MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 4000 PSI CONCRETE PRIOR TO INSTALLATION.
  4. ALL STRUCTURES MUST BE MANUFACTURED AT AN ACI CERTIFIED PLANT, A COPY OF CERTIFICATION MUST BE ON FILE WITH THE TOWN.



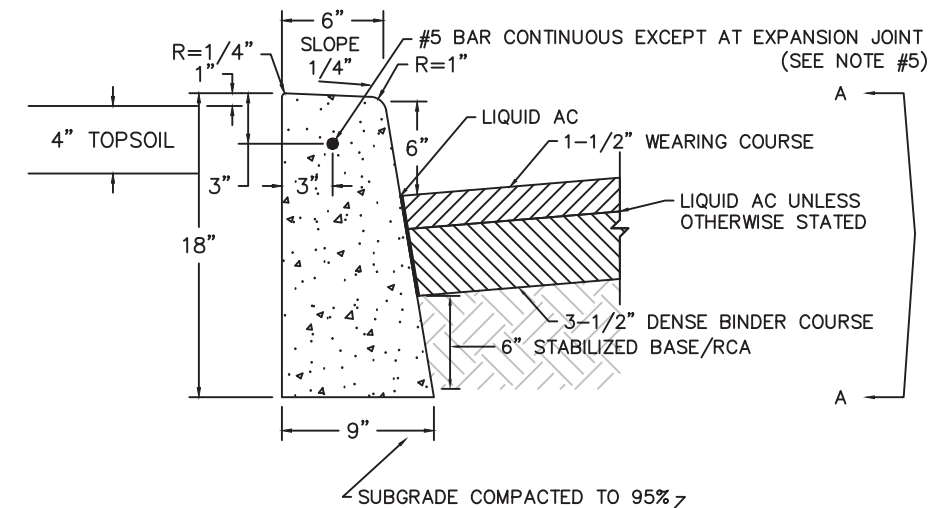
**CONCRETE SLAB TOP DETAIL**  
N.T.S.



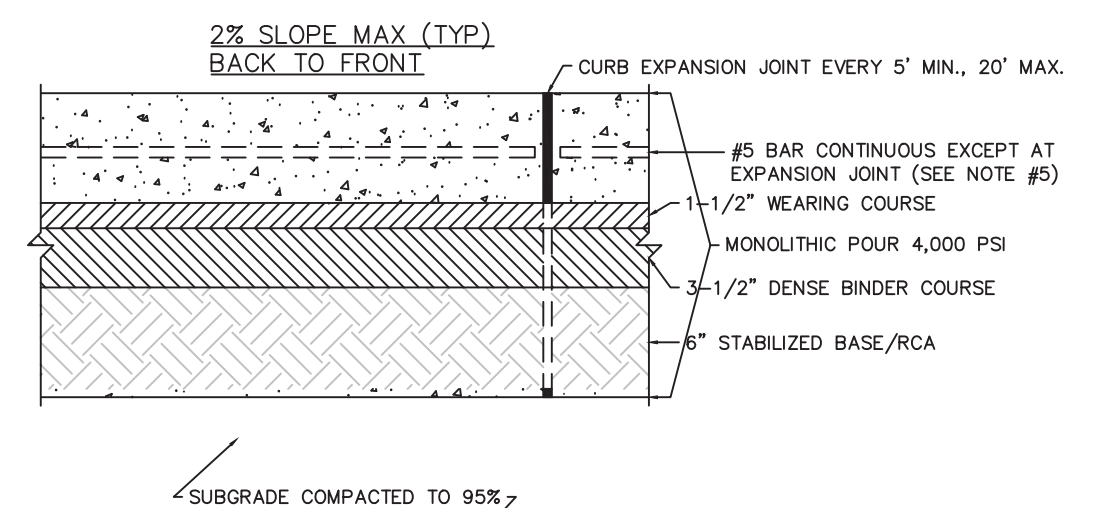
**DROP INLET DETAIL**  
N.T.S.



**DOWNSPOUT CONNECTION DETAIL**  
N.T.S.

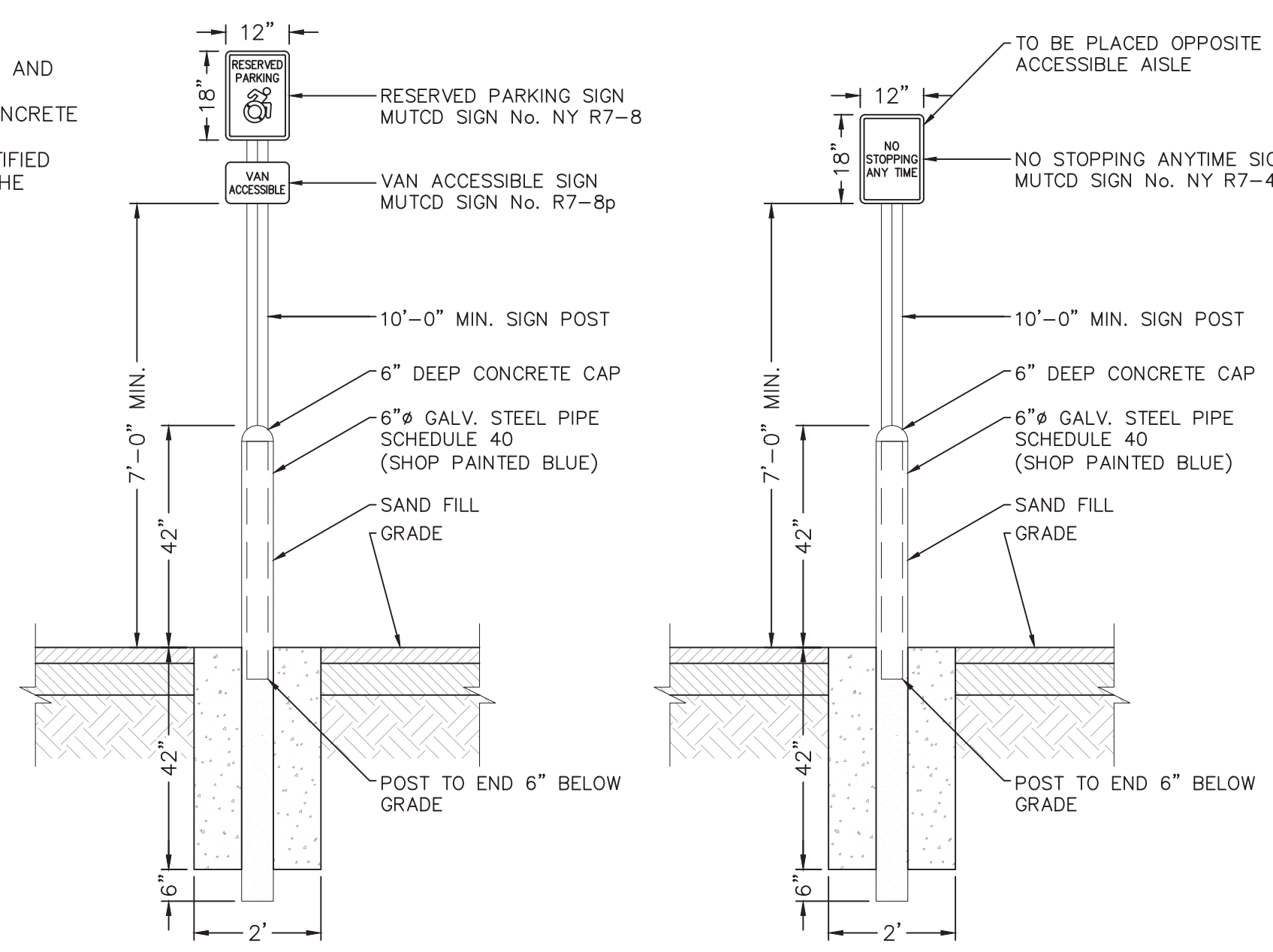
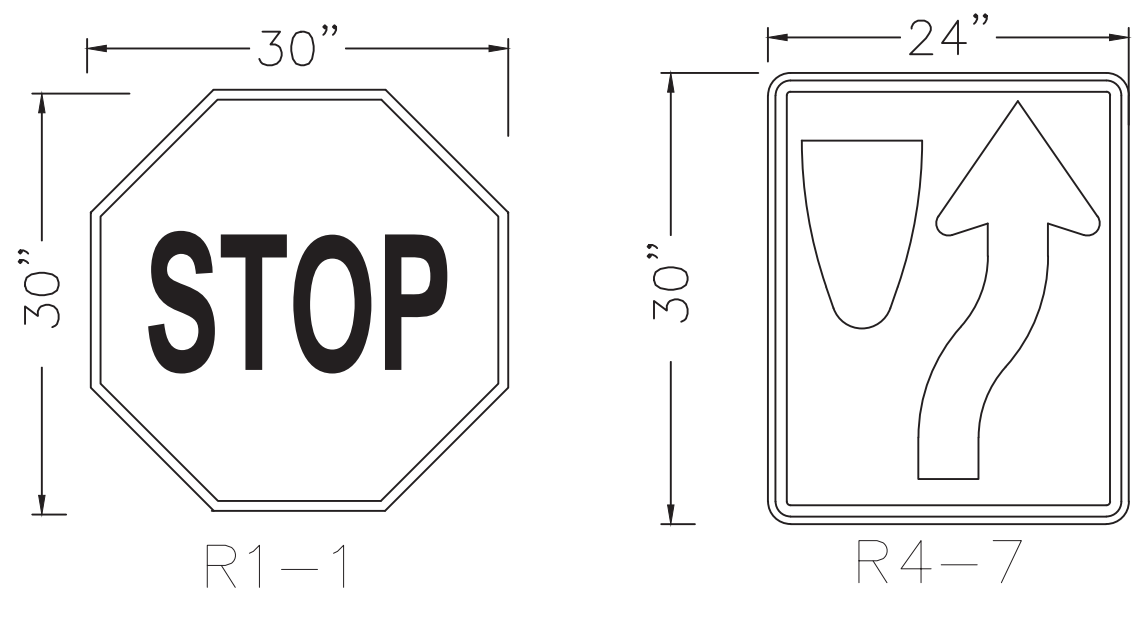


**CONCRETE CURB A-1**  
N.T.S.

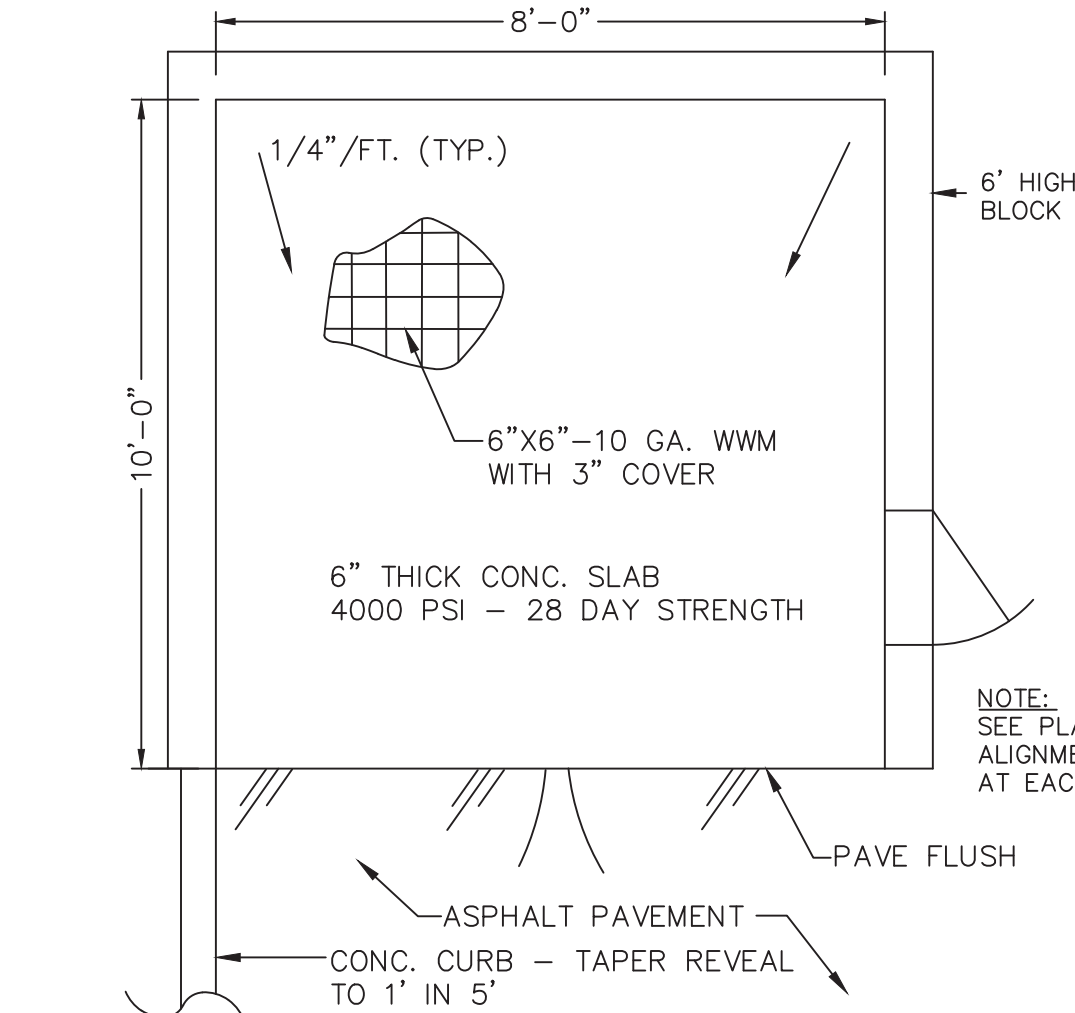


**SECTION A-A**  
N.T.S.

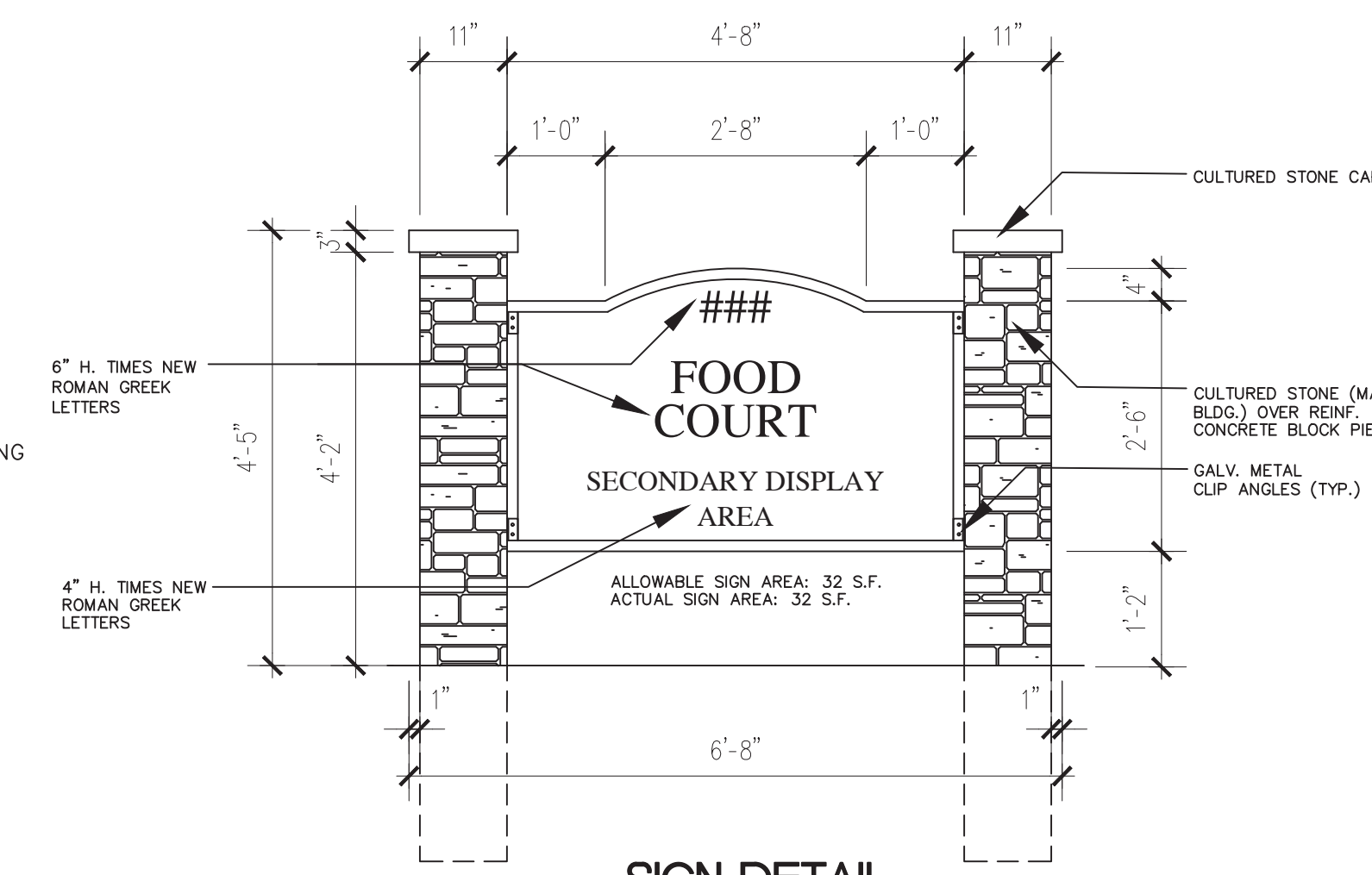
- NOTES:
1. CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS. (TEST CYLINDERS STRENGTH MAY BE REQUIRED, AS REQUESTED BY INSPECTOR OR TOWN ENGINEER)
  2. CONCRETE SHALL BE A MONOLITHIC POUR, MUST USE FORMS FRONT AND REAR.
  3. CONCRETE TO CURE 14 DAYS MIN. BEFORE ROADWAY PAVING CAN BEGIN.
  4. EXPANSION JOINTS TO BE 5' MIN., 20' MAX.
  5. REBAR IS OPTIONAL, EXCEPT IS REQUIRED IN INDUSTRIAL & COMMERCIAL ROADWAYS.



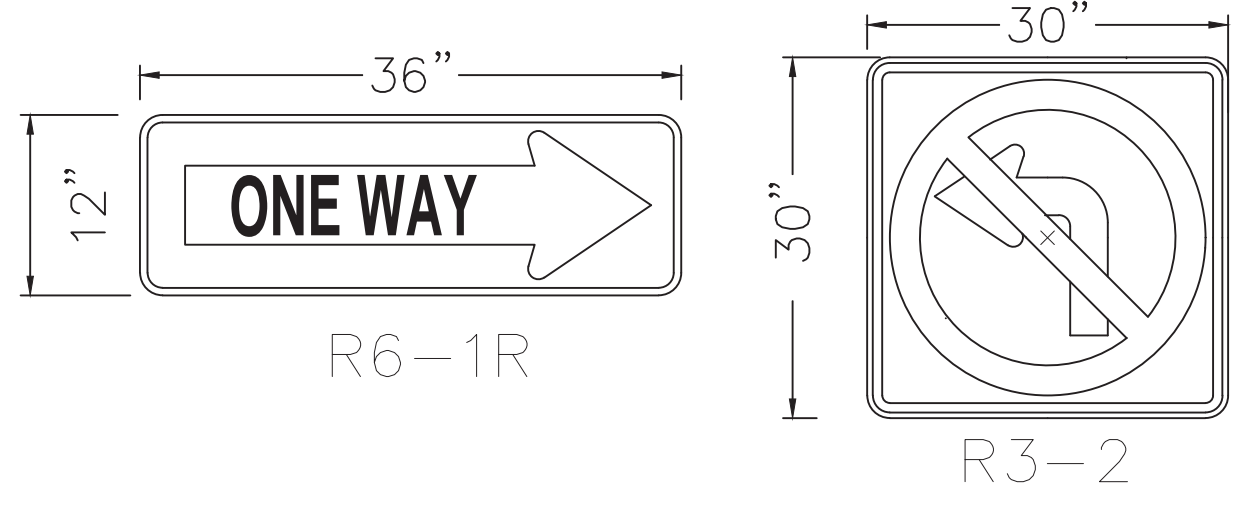
**ACCESIBLE PARKING SIGN**  
N.T.S.



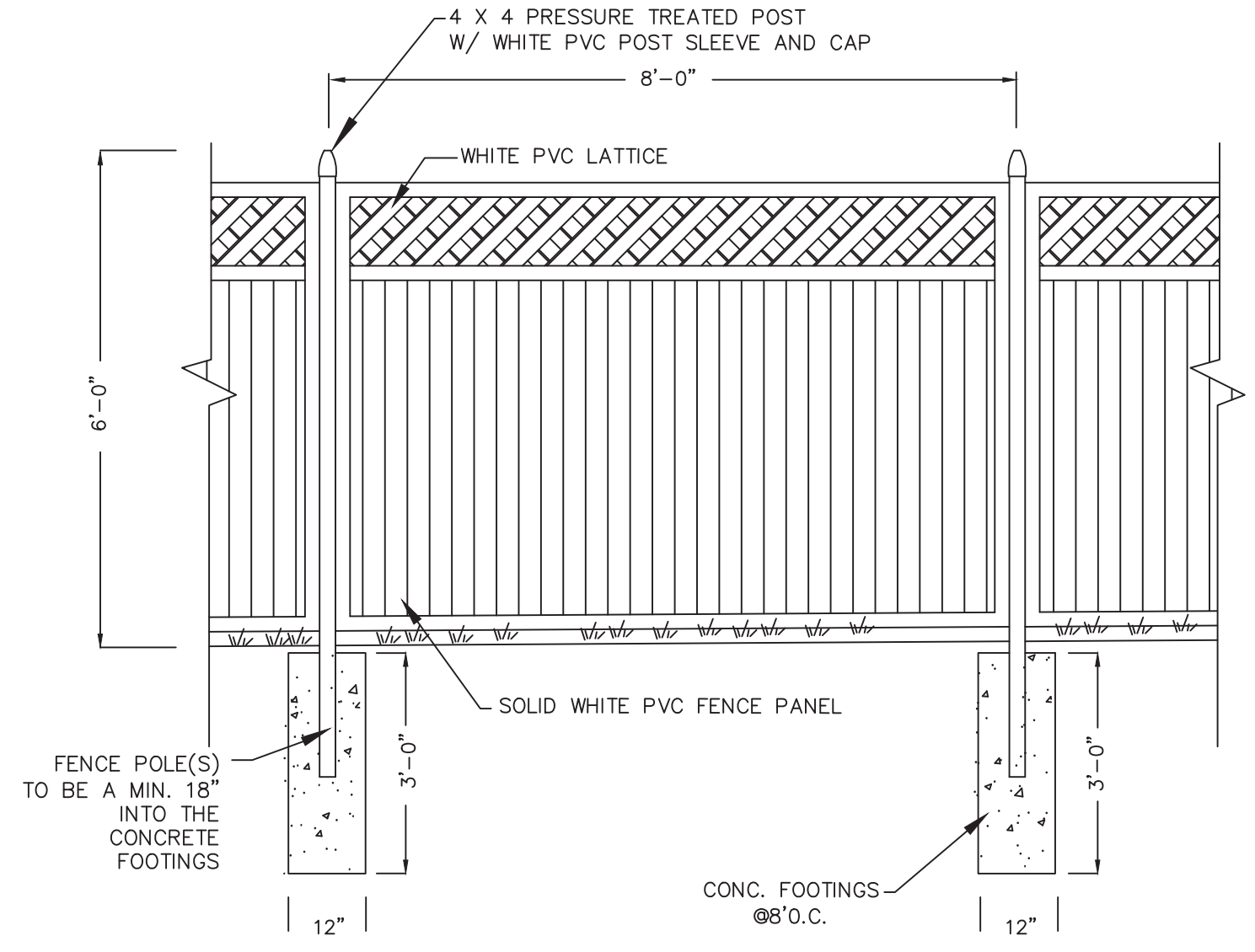
**ENCLOSED CONCRETE DUMPSTER PAD**  
N.T.S.



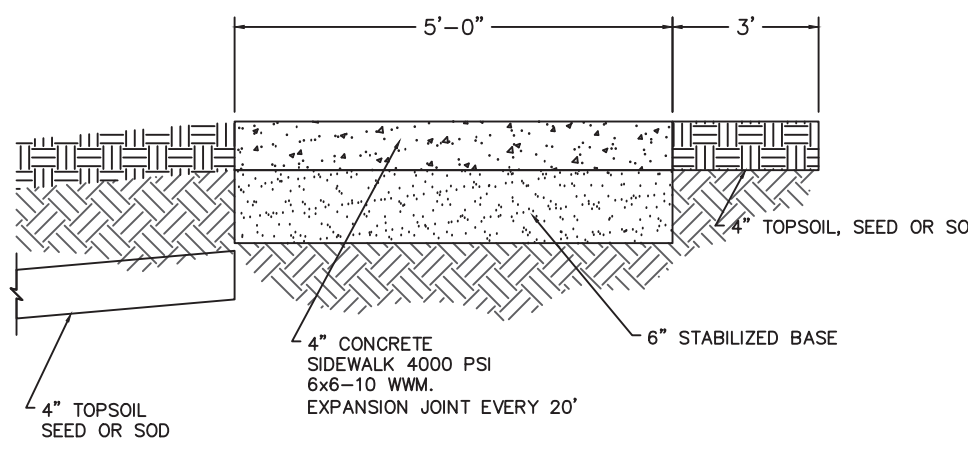
**SIGN DETAIL**  
N.T.S.



**SCDPW SIGNAGE**

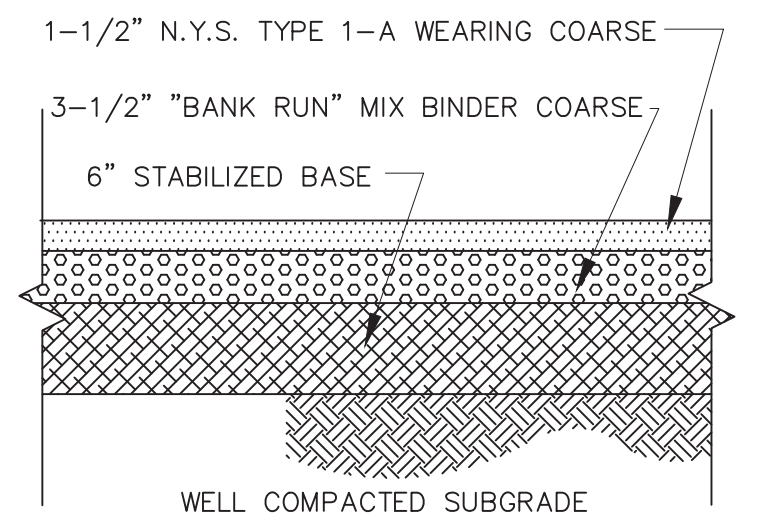


**DECORATIVE PVC FENCE DETAIL**  
N.T.S.

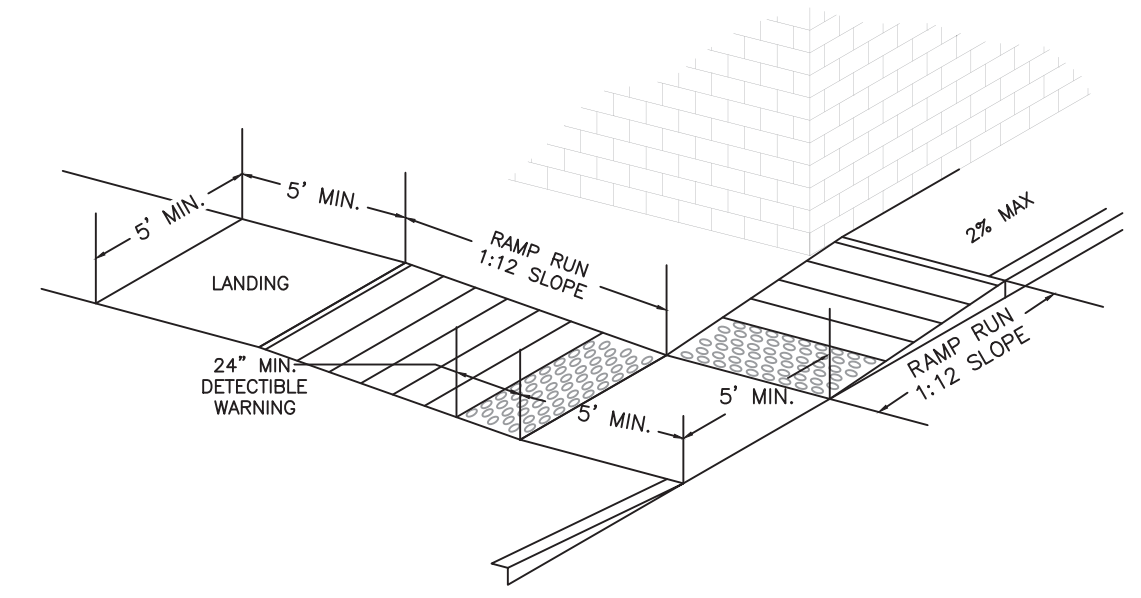


**CONCRETE WALK DETAIL**  
N.T.S.

- NOTES:
1. CONCRETE SIDEWALK SHALL BE A MONOLITHIC POUR AND HAVE A COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
  2. WHERE SIDEWALKS CROSS DRIVEWAYS OR FOR CURB CUTS, THE CONCRETE SHALL BE SIX (6") IN DEPTH WITH WIRE, 6"x6"-10 WWM.

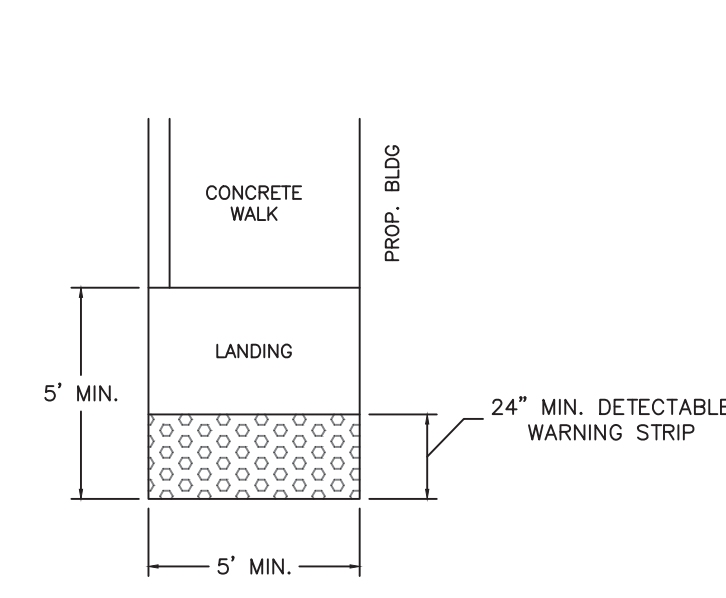


**BITUMINOUS PAVEMENT DETAIL**  
N.T.S.



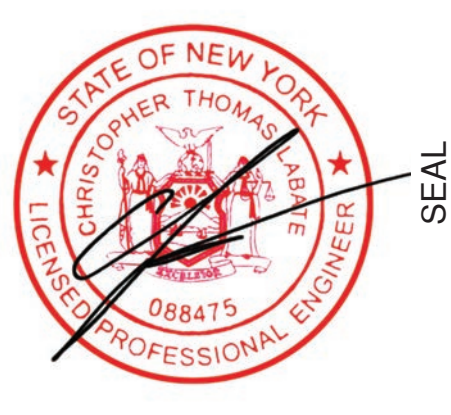
**SIDEWALK CURB RAMP**  
N.T.S.

- NOTES:
1. THE SLOPE OF THE CURB RAMP IS NOT TO EXCEED 1:12
  2. THE SIDEWALK CURB RAMP IS TO MEET THE SAME CONSTRUCTION STANDARDS AS THE CONCRETE WALK (SEE CONCRETE WALK DETAIL)
  3. THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OF FLUSH SURFACE.
  4. DETECTABLE WARNING SHALL BE LOCATED SO THAT THE EDGE OR CORNER OF THE WARNING FIELD NEAREST TO THE ROADWAY IS 5' TO 9" FROM THE FRONT OF THE CURB OR ROADWAY EDGE



**ADA COMPLIANT WALKWAY**  
N.T.S.

**LABCREW ENGINEERING, P.C.**  
SITE DESIGN/PLANNERS/CIVIL ENGINEERING  
460 HAWKINS AVENUE  
ROCKY HONKOMA NEW YORK 11779  
TELEPHONE: (631) 678-4881  
LABCREW@OPTONLINE.NET



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<b>CLANCY STREET FOOD COURT</b>	
EASTFORT MANOR RD (C.R. 111)	
MANORVILLE, NY 11949	
<b>PROJECT</b>	<b>TITLE</b>
NO.	DATE
1	1/3/23
2	1/18/23
3	3/27/23
4	6/20/23

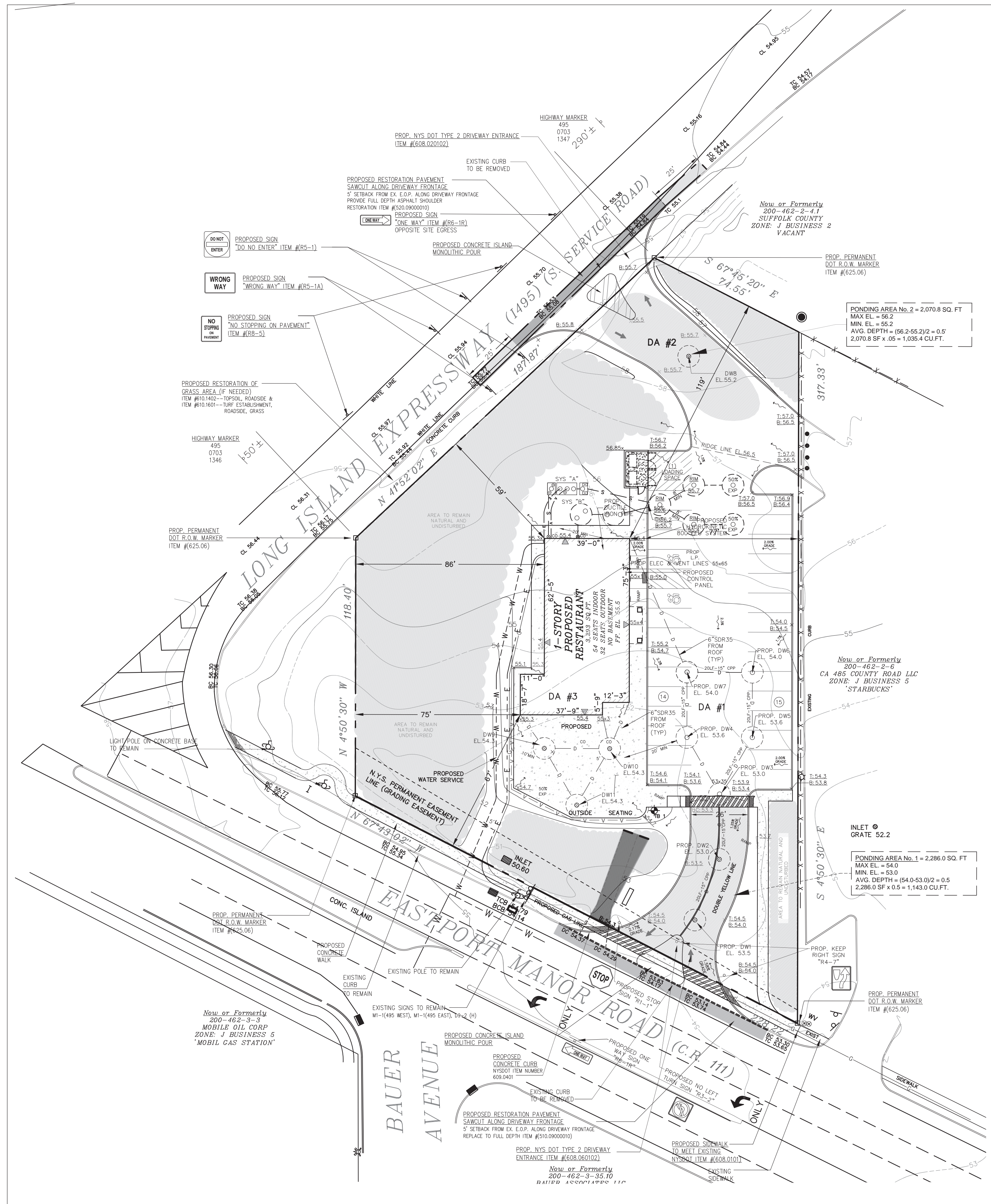
NO.	DATE	REVISION
1	1/3/23	SCDHS COMMENTS
2	1/18/23	SCDHS COMMENTS
3	3/27/23	FLIP BUILDING/COMMENTS
4	6/20/23	NYS DOT COMMENTS

PROJECT No.	21-084
DRAWN BY	CTN
CHECKED	CTL
DATE	August 2022
SCALE	1" = 20'

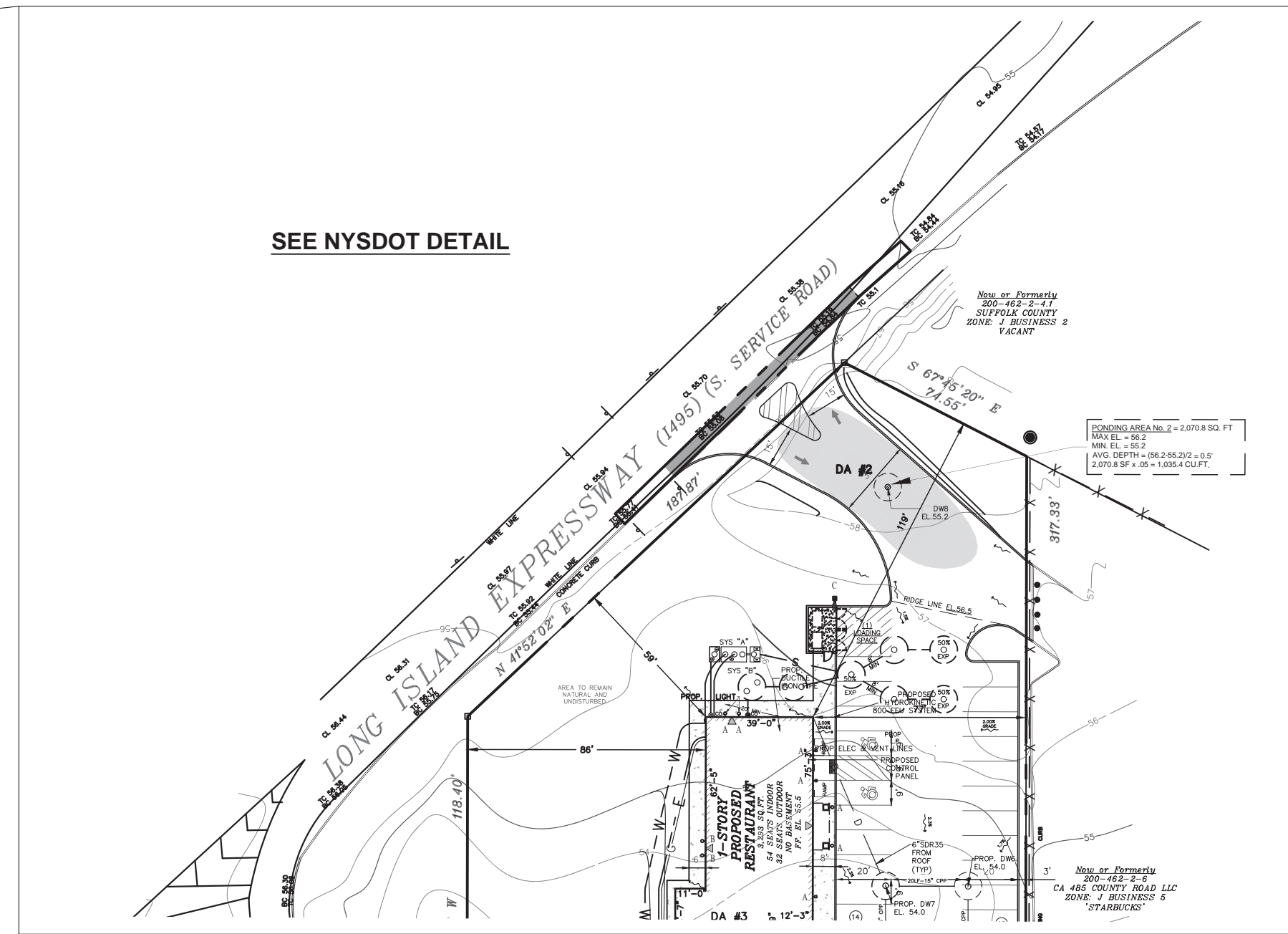
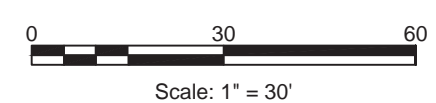
PROJECT No.	21-084
DRAWN BY	CTN
CHECKED	CTL
DATE	August 2022
SCALE	1" = 20'

**DET-1**

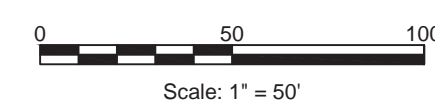




**NYSDOT DETAIL**



SEE NYSDOT DETAIL



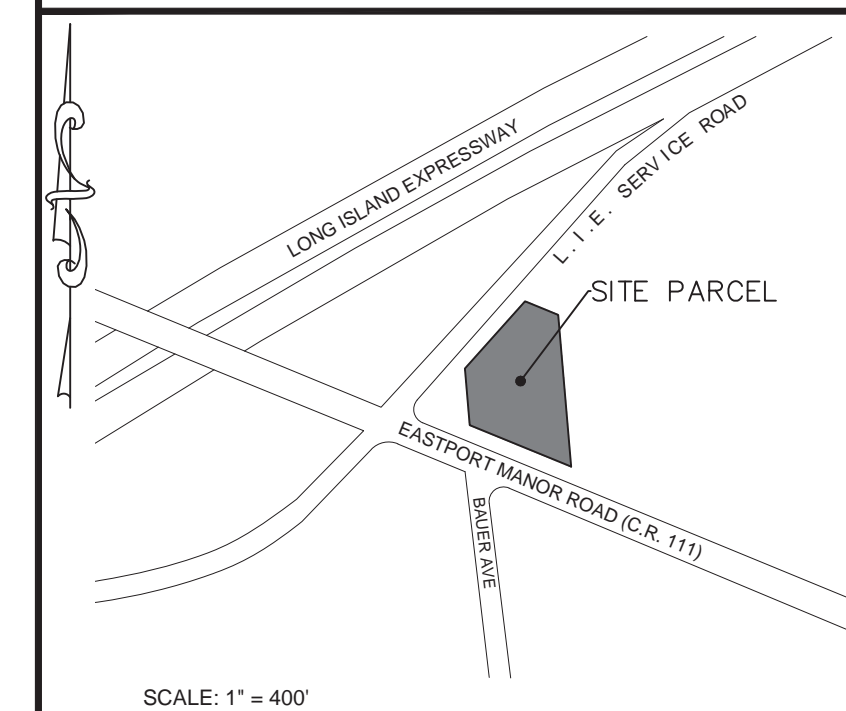
**NYSDOT CASE NUMBER 105143  
TOWN OF BROOKHAVEN LOG #22SP0058**

**TEST BORING**

EL. 51.7	BROWN SANDY LOAM (CL)	0.0'
EL. 50.7	PALE BROWN SILT (ML)	1.0'
EL. 45.7	PALE BROWN FINE SAND (SP)	6.0'
EL. 32.7	WATER EL 32.7	19.0'
EL. 28.7	WATER IN PALE BROWN FINE SAND (SP)	23.0'
WATER ENCOUNTERED 19' BELOW SURFACE		
HIGHEST EXPECTED GROUND WATER 16' BELOW SURFACE AS PER USGS DEPTH TO WATER		
TEST HOLE DATA BY: MEDONALD GEOSERVICES DATE: 8/10/2022		

**SURVEY PREPARED BY:**  
**RUSSELL H. LEWIS CO. LAND SURVEYOR**  
 57 CONKLIN AVENUE,  
 WHEATLEY HEIGHTS, NY 11798  
 PHONE: (516) 474-3665 DATE: JUNE 22, 2021

**KEY MAP**



SCALE: 1" = 400'

**SITE CRITERIA**

SITE DATA:			
SITE AREA	1.167 ACRES	50,848.9	SQ.FT.
PROPOSED BUILDING AREA		3,293	SQ.FT.
PROP. F.A.R.		6.5	%
PARKING REQUIRED		29	STALLS
PARKING PROVIDED w/LOADING		30	STALLS
DATUM		NAVD 1988	
ZONING		J BUSINESS 2	
USE		RESTAURANT w/OUTDOOR SEATING	

**DRAINAGE CALCULATIONS:**

<b>DRAINAGE AREA #1 - 19,025.8 SQ.FT.</b>			
DRYWELL STORAGE:			
PVMT/WALKS AREA (16,477.5 S.F.) x .33			= 4' RAINFALL = 5,437.6 CU.FT.
LANDSCAPE (901.8 S.F.) x .33 x .15 RUN OFF			= 44.6 CU.FT.
ROOF AREA (1,646.5 S.F.) x .33			= 543.3 CU.FT.
TOTAL REQUIRED VOLUME			= 6,025.5 CU.FT.
PROPOSED (1) 10' Ø x 11' EFFECTIVE DEPTH			= 88.1 LIN. FT. REQ.
6,025.5 CU.FT. / 68.42 CU.FT./ FT (10'Ø)			= 88.1 LIN. FT. PROV.
TOTAL VOLUME PROVIDED			= 88.1 LIN. FT. PROV.
6,025.5 - 6,020.9 ADDITIONAL VOLUME REQUIRED			= 4.6 CU.FT.
<b>PONDING STORAGE:</b>			
PVMT/WALKS AREA (16,477.5 S.F.) x .08			= 1,318.2 CU.FT.
LANDSCAPE (901.8 S.F.) x .08 x .15 RUN OFF			= 10.8 CU.FT.
ROOF AREA (3,293.0 / 2) = 1,646.5 x .08			= 131.7 CU.FT.
DOME VOLUME (8) x 108.8 CU.FT./DOME			= 870.4 CU.FT.
TOTAL REQUIRED VOLUME			= 590.3 CU.FT.
TOTAL PROVIDED VOLUME			= 1,183.7 CU.FT.
<b>DRAINAGE AREA #2 - 4,944.1 SQ.FT.</b>			
DRYWELL STORAGE:			
PAVEMENT AREA (3,620.3 S.F.) x .17			= 2' RAINFALL = 615.5 CU.FT.
LANDSCAPE (1323.8 SF.) x .17 x .15 RUN OFF			= 33.8 CU.FT.
TOTAL REQUIRED VOLUME			= 649.3 CU.FT.
PROPOSED (1) 10' Ø x 10' EFFECTIVE DEPTH			= 9.48 LIN. FT. REQ.
649.3 CU.FT. / 68.42 CU.FT./ FT (10'Ø)			= 68.4 LIN. FT. PROV.
TOTAL VOLUME PROVIDED			= 957.9 CU.FT.
<b>PONDING STORAGE:</b>			
PAVEMENT AREA (3,620.3 S.F.) x .25			= 905.1 CU.FT.
LANDSCAPE (1323.8 SF.) x .25 x .15 RUN OFF			= 49.6 CU.FT.
SURPLUS DW: 10' x 9.48' x 10' = 68.42			= 2.56 CU.FT.
DOME VOLUME: (1) x 108.8 CU.FT./DOME			= 108.8 CU.FT.
TOTAL REQUIRED VOLUME			= 810.3 CU.FT.
TOTAL PROVIDED VOLUME			= 1,035.4 CU.FT.
<b>DRAINAGE AREA #3 - 1,646.5 SQ.FT.</b>			
DRYWELL STORAGE:			
BUILDING AREA (1,646.5 S.F.) x .33			= 543.3 CU.FT.
PROPOSED (1) 10' Ø x 8' EFFECTIVE DEPTH			= 54.7 LIN. FT. REQ.
TOTAL VOLUME PROVIDED			= 547.0 CU.FT. PROV.

**NOTES**

- BEFORE CONSTRUCTION, THE CONTRACTOR SHALL COORDINATE WITH STATE PERMIT ENGINEER REGARDING APPROPRIATE LOCATION FOR SNOW STAKES SLEEVES.
- AFTER CONSTRUCTION, SIDEWALKS AND RAMPS MUST BE EVALUATED FOR COMPLIANCE WITH CURRENT ADA STANDARDS. THE PERMITTEE OR HIS DESIGNATED DESIGNER OF RECORD SHALL FIELD VERIFY THAT THE PEDESTRIAN FEATURES (RAMPS, SIDEWALK, ETC.) WERE CONSTRUCTED TO CURRENT ADA STANDARDS OUTLINED IN NYSDOT SPECS SECTION 608 AND RELATED STANDARD SHEETS. SUBMIT REQUIRED DOCUMENTATION TO THE STATE PERMIT ENGINEER BEFORE THE WORK CAN BE ACCEPTED AS COMPLETE AND THE PERMIT BE CLOSED. THE FEATURES THAT DO NOT COMPLY WITH ADA REQUIREMENTS UPON COMPLETION WILL REQUIRE REMOVAL AND RECONSTRUCTION.
- THE CONTRACTOR SHALL CLEAN EXISTING DRAINAGE BASINS ALONG AND IMMEDIATELY ADJACENT TO THE NY SITE FRONTAGE DURING AND AFTER CONSTRUCTION AS ORDERED BY THE STATE ENGINEER.
- REPAIR EXISTING SHOULDER, SIDEWALK AND CURBING AS ORDERED BY THE STATE ENGINEER.
- ANY SIDEWALK PANELS OR CONNECTING PAVEMENT THAT HAVE SETTLED WITH A GREATER THAN 1/2" LIP OR CRACK OVER 1/2" WIDE SHALL BE REPLACED TO MEET ADA REQUIREMENTS.
- RUNNING SLOPE OF THE DRIVEWAY WITHIN THE RIGHT OF WAY SHALL NOT EXCEED 6%.
- CONSTRUCTION MATERIALS AND EQUIPMENT SHOULD BE REMOVED FROM THE NYSDOT ROW AT THE END OF EACH WORKDAY. MATERIALS ALLOWED TO REMAIN ON SITE MUST BE STORED OUTSIDE THE VEHICLE CLEAR ZONE.
- REMOVAL OF THE EXISTING CONCRETE CURB SHOULD BE DONE FROM THE BACK SIDE TO MINIMIZE ANY DAMAGE TO THE EXISTING PAVEMENT. THIS INVOLVES PULLING THE CURB CUT FROM THE BACK AND POURING NEW CURB UP AGAINST THE EXISTING PAVEMENT.
- ALL NEW OR RELOCATED SIGNPOSTS MUST BE INSTALLED IN PVC SLEEVES.
- SNOW STORAGE STRIP AND SIDEWALK RESTORATION MUST MATCH THE ONES IN THE NEIGHBORHOOD OR ENHANCE THE AESTHETIC VALUE.
- PAVEMENT RESTORATION SHALL BE IN KIND. COMPOSITE PAVEMENT RESTORATION SHALL BE TAKEN TO EXISTING LONGITUDINAL JOINT. IF ANY DAMAGE OCCURS TO CONCRETE PANEL, THE CONTRACTOR WILL BE RESPONSIBLE TO REPLACE THE WHOLE PANEL.
- MINIMUM WIDTH OF ASPHALT RESTORATION SHOULD BE 4' FOR PROPER COMPACTION. ADD 2 FT. OVERCUT FOR TOP COURSE.
- ALL COLD JOINTS TO BE SEALED WITH HOT APPLIED SEALANT.
- TACK COAT IS REQUIRED BETWEEN ALL LIFTS AND JOINTS, REGARDLESS OF WHEN PLACED.
- COMPOSITE PAVEMENT RESTORATION SHALL BE IN ACCORDANCE WITH THE CURRENT REGIONAL PAVEMENT REPAIR GUIDE SHEETS.
- NYSDOT GENERAL ROADSIDE SEED MIX SHALL BE USED FOR ALL GRASS RESTORATION.
- APPROVED ITEMS CAN BE VERIFIED AT [www.dot.ny.gov/PIC](http://www.dot.ny.gov/PIC). STANDARD SHEETS ARE AVAILABLE AT: STANDARD SHEETS (US CUSTOMERY) (ny.gov). FOR MORE INFO, PLEASE GO TO [www.dot.ny.gov/pem/ma](http://www.dot.ny.gov/pem/ma).
- ANY UTILITY WORK PROPOSED IN STATE HIGHWAY RIGHT-OF-WAY WILL REQUIRE SEPARATE APPLICATION AND SUBMISSION OF RESTORATION PLANS. FOLLOW THE GUIDELINES OF OUR UTILITY HANDBOOK, BLUE BOOK TITLED, REQUIREMENTS FOR THE DESIGN AND CONSTRUCTION OF UNDERGROUND UTILITY INSTALLATIONS WITHIN THE STATE HIGHWAY RIGHT-OF-WAY.
- THE APPLICANT SHOULD CONTACT MR. DIEGO AUCACAMA RIVERA (631-369-2231, DIEGO.AUCACAMA.RIVERA@dot.ny.gov) FOR FURTHER DIRECTIONS REGARDING UTILITY HIGHWAY WORK PERMIT (HWP) APPLICATIONS. THE UTILITY HWP ISSUANCE IS SUBJECT TO ISSUANCE OF THE HWP REQUIRED FOR SITE WORK.
- ALL PROPOSED ROAD IMPROVEMENTS DETAILED IN THE SITE PLANS MUST COMPLY WITH THE LATEST VERSIONS OF AASHTO, ADA, NATIONAL MANUAL OF UNIFORM TRAFFIC CONTROL WITH THE SUPPLEMENT (MUTCD), NYSDOT HIGHWAY DESIGN MANUAL, AND THE POLICY AND STANDARDS FOR THE DESIGN OF ENTRANCES TO STATE HIGHWAYS (DRIVEWAY DESIGN POLICY). ROAD IMPROVEMENT PLANS MUST PROVIDE ALL APPROPRIATE NYSDOT STANDARD DETAILS AND NYSDOT STANDARD ITEM NUMBERS.

**LABCREW ENGINEERING, P.C.**  
 SITE DESIGN/PLANNING/CIVIL ENGINEERING  
 460 HAWKINS AVENUE  
 ROCKY HILL, NEW YORK 11779  
 TELEPHONE: (631) 678-4881  
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**CLANCY STREET FOOD COURT**  
 EASTPORT MANOR RD (C.R. 111)  
 MANORVILLE, NY 11949

**DOT PLAN**

SCTM#: 0200 - 462.00 - 02.00 - 005.001

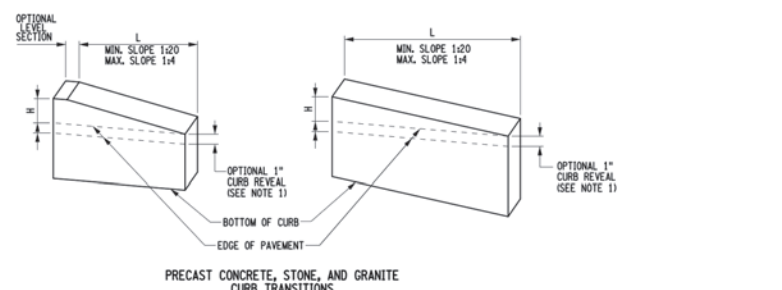
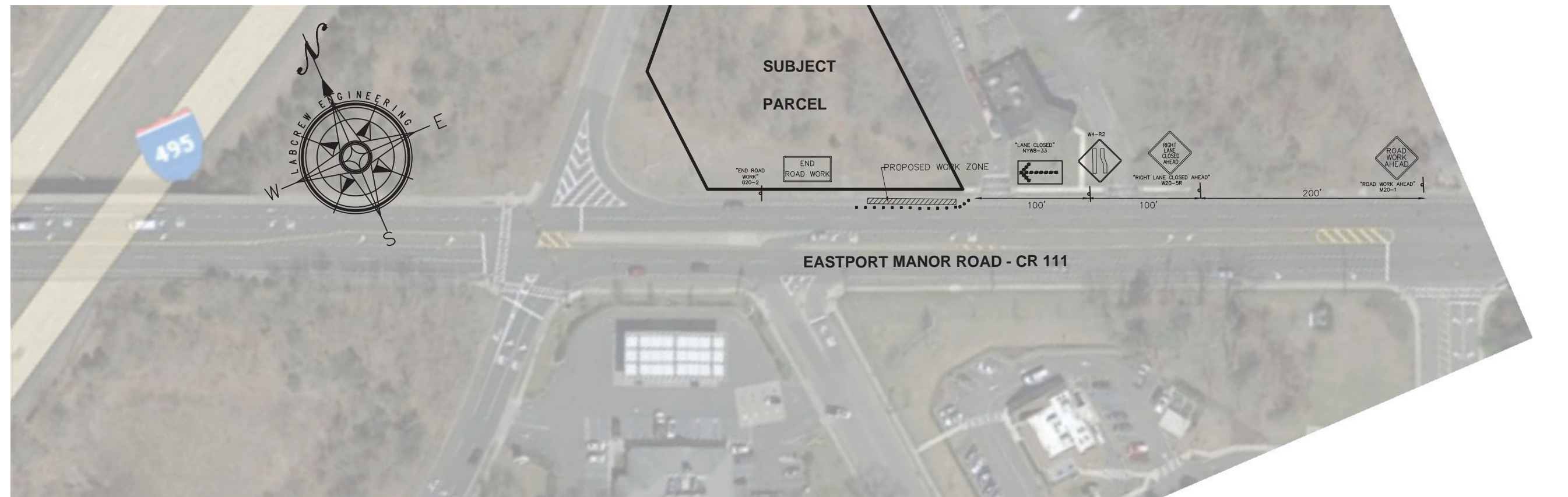
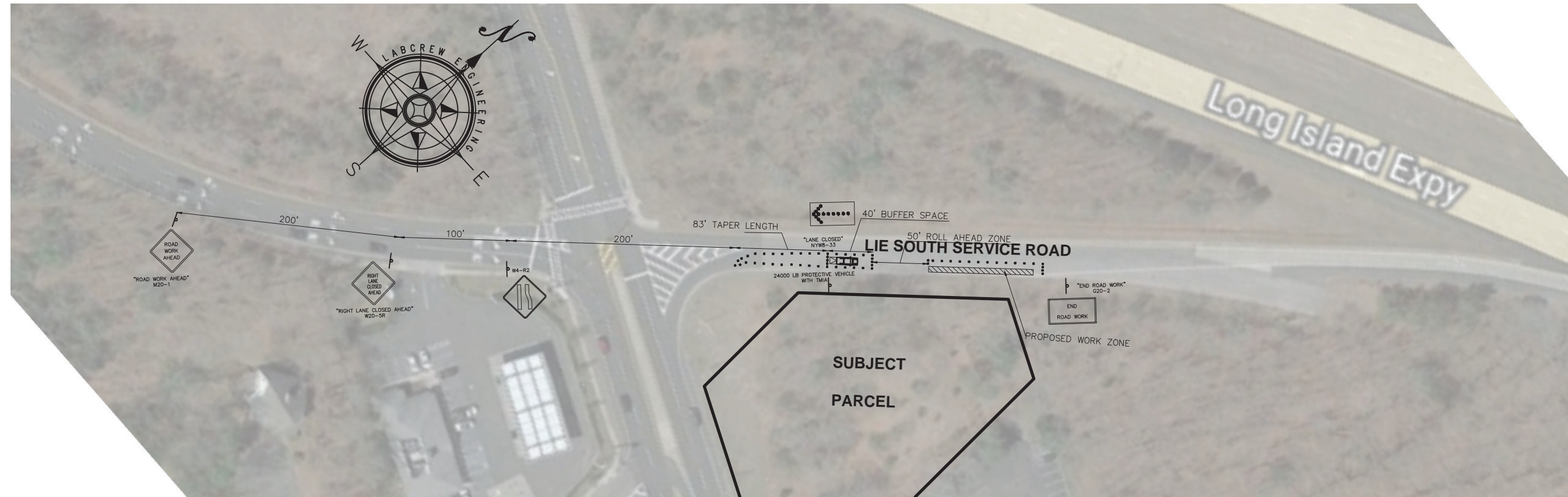
NO.	DATE	REVISION
1	1/3/23	SCDHS COMMENTS
2	1/18/23	SCDHS COMMENTS
3	3/27/23	FLP BUILDING COMMENTS
4	6/20/23	NYSDOT COMMENTS

PROJECT No.	21-084
DRAWN BY	CTN
CHECKED	CTL
DATE	November 2022
SCALE	AS NOTED

**DOT-1**

SHEET NO. 8 OF 9





CURB DIMENSIONS (SECTION 6)	MIN CURB HEIGHT
12"	12"
18"	18"
24"	24"
30"	30"

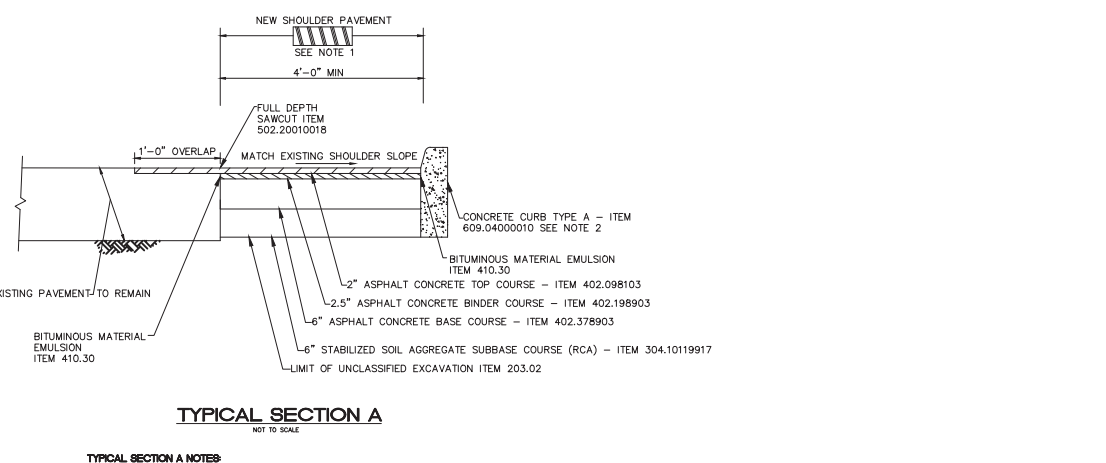
**SPECIAL BINDER NOTE:**

USE OF POLYMER-EMULSION ASPHALT TO IMPROVE THE STRENGTH OF EXISTING PAVEMENT SHALL BE PERMITTED. THE POLYMER-EMULSION ASPHALT SHALL BE APPLIED TO THE EXISTING PAVEMENT IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

1. THE POLYMER-EMULSION ASPHALT SHALL BE APPLIED TO THE EXISTING PAVEMENT IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
2. THE POLYMER-EMULSION ASPHALT SHALL BE APPLIED TO THE EXISTING PAVEMENT IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:
3. THE POLYMER-EMULSION ASPHALT SHALL BE APPLIED TO THE EXISTING PAVEMENT IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

**DESIGN AND CONSTRUCTION NOTES:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF BROOKHAVEN.
2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
4. THE CONTRACTOR SHALL MAINTAIN THE EXISTING PAVEMENT SURFACE TO THE MAXIMUM EXTENT POSSIBLE.
5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CURBS AND GUTTERS.
6. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIDEWALKS AND BIKEWAYS.
7. THE CONTRACTOR SHALL MAINTAIN THE EXISTING TREES AND LANDSCAPE.
8. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIGNAGE AND MARKINGS.
9. THE CONTRACTOR SHALL MAINTAIN THE EXISTING TRAFFIC SIGNALS AND LIGHTS.
10. THE CONTRACTOR SHALL MAINTAIN THE EXISTING STREET LIGHTS.



**TYPICAL SECTION A**

**TYPICAL SECTION A**

**HIGHWAY WORK PERMIT NOTES:**

1. THE CONTRACTOR SHALL OBTAIN A HIGHWAY WORK PERMIT FROM THE TOWN OF BROOKHAVEN.
2. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
3. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES.
4. THE CONTRACTOR SHALL MAINTAIN THE EXISTING PAVEMENT SURFACE TO THE MAXIMUM EXTENT POSSIBLE.
5. THE CONTRACTOR SHALL MAINTAIN THE EXISTING CURBS AND GUTTERS.
6. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIDEWALKS AND BIKEWAYS.
7. THE CONTRACTOR SHALL MAINTAIN THE EXISTING TREES AND LANDSCAPE.
8. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIGNAGE AND MARKINGS.
9. THE CONTRACTOR SHALL MAINTAIN THE EXISTING TRAFFIC SIGNALS AND LIGHTS.
10. THE CONTRACTOR SHALL MAINTAIN THE EXISTING STREET LIGHTS.

**PAVEMENT MARKING NOTES:**

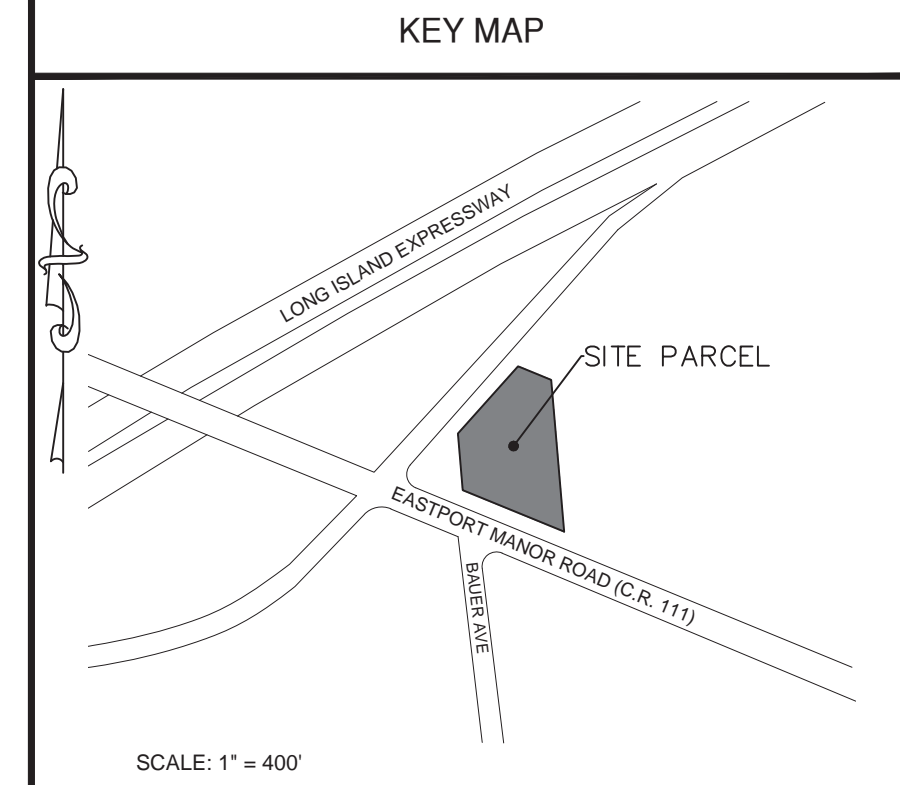
1. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVEMENT MARKINGS.
2. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVEMENT MARKINGS.
3. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVEMENT MARKINGS.
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**CONSTRUCTION NOTES:**

1. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVEMENT MARKINGS.
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10. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVEMENT MARKINGS.

**TRAFFIC MAINTENANCE AND PROTECTION NOTES:**

1. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVEMENT MARKINGS.
2. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVEMENT MARKINGS.
3. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVEMENT MARKINGS.
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9. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVEMENT MARKINGS.
10. THE CONTRACTOR SHALL MAINTAIN ALL EXISTING PAVEMENT MARKINGS.



**SITE CRITERIA**

SITE DATA:			
SITE AREA	1.167 ACRES	50,848.9	SQ.FT.
PROPOSED BUILDING AREA		3,293	SQ.FT.
PROP. F.A.R.		6.5	%
PARKING REQUIRED		24	STALLS
PARKING PROVIDED		31	STALLS
DATUM		NAVD 1988	
ZONING		J BUSINESS 2	
USE		RESTAURANT	

**DRAINAGE CALCULATIONS:**

<b>DRAINAGE AREA #1 - 19,025.8 SQ.FT.</b>	
DRYWELL STORAGE:	4" RAINFALL
PVMT/WALKS AREA (16,477.5 S.F.) x .33	= 5,437.6 CU.FT.
LANDSCAPE (901.8 S.F.) x .08 x .15 RUN OFF	= 44.6 CU.FT.
ROOF AREA (1,646.5 S.F.) x .33	= 543.3 CU.FT.
<b>TOTAL REQUIRED VOLUME</b>	<b>6,025.5 CU.FT.</b>
6,025.5 CU.FT. / 68.42 CU.FT./FT (10")	= 88.1 LIN. FT. REQ.
PROPOSED (8) 10' Ø x 11' EFFECTIVE DEPTH	= 88 LIN. FT. PROV.
<b>TOTAL VOLUME PROVIDED:</b>	<b>6,020.9 CU.FT.</b>
6,025.5 - 6,020.9 = 4.6 CU.FT.	
<b>PONDING STORAGE:</b>	
PVMT/WALKS AREA (16,477.5 S.F.) x .08	= 1,318.2 CU.FT.
LANDSCAPE (901.8 S.F.) x .08 x .15 RUN OFF	= 10.8 CU.FT.
ROOF AREA (3,293.0 / 2) = 1,646.5 x .06	= 131.7 CU.FT.
<b>DOME VOLUME: (8) x 108.8 CU.FT./DOME</b>	<b>= 870.4 CU.FT.</b>
<b>TOTAL REQUIRED VOLUME</b>	<b>= 590.3 CU.FT.</b>
<b>TOTAL PROVIDED VOLUME</b>	<b>= 1,183.7 CU.FT.</b>
<b>DRAINAGE AREA #2 - 4,944.1 SQ.FT.</b>	
DRYWELL STORAGE:	2" RAINFALL
PAVEMENT AREA (3,620.3 S.F.) x .17	= 615.5 CU.FT.
LANDSCAPE (132.8 SF.) x .17 x .15 RUN OFF	= 33.8 CU.FT.
<b>TOTAL REQUIRED VOLUME</b>	<b>= 649.3 CU.FT.</b>
649.3 CU.FT. / 68.42 CU.FT./FT (10")	= 9.48 LIN. FT. REQ.
PROPOSED (1) 10' Ø x 8' EFFECTIVE DEPTH	= 9.57 CU.FT. PROV.
<b>PONDING STORAGE:</b>	
PAVEMENT AREA (3,620.3 S.F.) x .25	= 905.1 CU.FT.
LANDSCAPE (132.8 S.F.) x .25 x .15 RUN OFF	= 49.6 CU.FT.
SURPLUS DVI: 10' - 9.48' = 0.52 FT. x 68.42	= 35.6 CU.FT.
<b>DOME VOLUME: (1) x 108.8 CU.FT./DOME</b>	<b>= 108.8 CU.FT.</b>
<b>TOTAL REQUIRED VOLUME</b>	<b>= 810.3 CU.FT.</b>
<b>TOTAL PROVIDED VOLUME</b>	<b>= 1,035.4 CU.FT.</b>
<b>DRAINAGE AREA #3 - 1,646.5 SQ.FT.</b>	
DRYWELL STORAGE:	5" RAINFALL
BUILDING AREA (1,646.5 S.F.) x .33	= 543.3 CU.FT.
<b>TOTAL REQUIRED VOLUME</b>	<b>= 543.3 CU.FT.</b>
PROPOSED (1) 10' Ø x 8' EFFECTIVE DEPTH	= 547.0 LIN. FT. PROV.
<b>TOTAL PROVIDED VOLUME</b>	<b>= 547.0 CU.FT. PROV.</b>

**TEST BORING**

EL. 51.7'	0.0'
EL. 50.7'	1.0'
EL. 45.7'	6.0'
EL. 32.7'	19.0'
EL. 28.7'	23.0'

**TEST HOLE DATA BY: MCDONALD GEOSERVICES**

NO.	DATE	REVISION
1	1/3/23	SCDHS COMMENTS
2	1/18/23	SCDHS COMMENTS
3	3/27/23	FLP BUILDING COMMENTS
4	6/20/23	NYSOT COMMENTS

PROJECT No.	21-084
DRAWN BY	CTLN
CHECKED	CTL
DATE	November 2022
SCALE	AS NOTED

**TOWN OF BROOKHAVEN LOG #22SP0058**

**SURVEY PREPARED BY:**  
 RUSSELL H. LEWIS CO. LAND SURVEYOR  
 57 CONKIN AVENUE,  
 WHEATLEY HEIGHTS, NY 11798  
 PHONE: (516) 474-3665 DATE:  
 JUNE 22, 2021

**LABCREW ENGINEERING, P.C.**  
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 460 HAWKINS AVENUE  
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**CLANCY STREET FOOD COURT**  
 EASTPORT MANOR RD (C.R. 111)  
 MANORVILLE, NY 11949

**DOT LANE CLOSURE PLAN**

SCITW#: 0200 - 462.00 - 02.00 - 005.001

NO.	DATE	REVISION
1	1/3/23	SCDHS COMMENTS
2	1/18/23	SCDHS COMMENTS
3	3/27/23	FLP BUILDING COMMENTS
4	6/20/23	NYSOT COMMENTS

**DOT-2**

SHEET NO. 9 OF 9