



# Town of Brookhaven Long Island

DATE: 09-29-2023

TO: Central Pine Barrens Joint Planning & Policy Commission

FROM: Michael Albano  
Planning Division

RE: Site Plan: CLANCY STREET FOOD COURT , Log Number: 22SP0058 **Revised Submission**

Construction of a proposed 3293 sf take out restaurant w/outdoor seating, no basement, with proposed site improvements, parking with striping, drainage, lighting & curbing. e Side of EASTPORT MANOR RD, ' of , Manorville  
Suffolk County Tax Map #: 0200-462.00-02.00-005.001, 1.16 acres.

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Please be advised that the Planning Board of the Town of Brookhaven has received a **revised submission** for the above referenced action. For your review and consideration, please find enclosed a copy of the revised site plan.

The Planning Board would like to encourage your agency to make any comments or suggest mitigation measures, particularly with respect to your areas of expertise and jurisdiction, which would enhance the utilization of this site or provide additional protection to the community.

It is requested that any comment letter be sent directly to the applicant with a copy to this office. Your reply is kindly requested within **30 days** of the date of this mailing.

Thank you for your continued cooperation. If you have any questions or need any further information, please contact this Division.

**Planning, Environment and Land Management**  
**James M. Tullo, Commissioner**

One Independence Hill · Farmingville · NY 11738 · Phone (631) 451-6400 · Fax (631) 451-6419  
[www.brookhavenny.gov](http://www.brookhavenny.gov)

# **Labcrew Engineering, P.C.**

ENGINEER, PLANNER, SITE DESIGN

**RECEIVED**

**By PLANNING at 12:12 pm, Sep 29, 2023**

September 5, 2023

Town of Brookhaven  
Planning Department  
1 Independence Hill  
Farmingville, NY 11738

**RE: Clancy Street Food Court**  
**s/e/c LIE service road and County Road 111**  
**Manorville, NY 11949**  
**SCTM No. 0200 46200 0200 005001**  
**Log Number: 22SP0058**

To whom it may concern,

The following is in response to the Town's comments in regard to the aforementioned site plan.

## **Engineering Review – 2/22/2023**

1. Scale:
  - A. All drawings are to scale where needed.
2. Grading and Drainage
  - 1) Drainage area #3 was recalculated for a 5" rainfall.
  - 2) Drainage increased, storage area increased.
  - 3) Proposed One-foot grading contours depicted.
  - 4) Spot grade elevations added to all critical points.
  - 5) Finish grades adjacent to building corners and entrances have been added.
  - 6) Top of curb elevations have been added.
  - 7) All entrances and exits to the building with grades added.
  - 8) Grade rates have been added.
  - 9) Minimum clearance from utilities shown.
- B. 6" roof drain connector pipe depicted.
3. A. Added asphalt pavement detail to DET-1  
B. 2% slopes added to walkways.
6. Stormwater Pollution Protection Plan, (SWPPP):
  - A. ADA access aisle and parking stalls dimensioned. – Sheet AL-1

**Planning Department – 1/19/2023**

- a) Site Plans:
  - i) Alignment Plans
    - (1) Primary Frontage is along County Route 111, Secondary Frontage is along LIE Service Road.
    - (2) Building repositioned for front facing along CR 111.
    - (3) Town variance chart updated to show that 12 feet requested from property line.
    - (4) Signage setback required is 22 feet from property line.
    - (5) Outside seating and loudspeakers notes added to plan.

**Suffolk County DWP – 1/24/2023**

Add specifications for Full depth asphalt pavement, 35' curb radii, monolithic concrete directional island and pedestrian ramps.

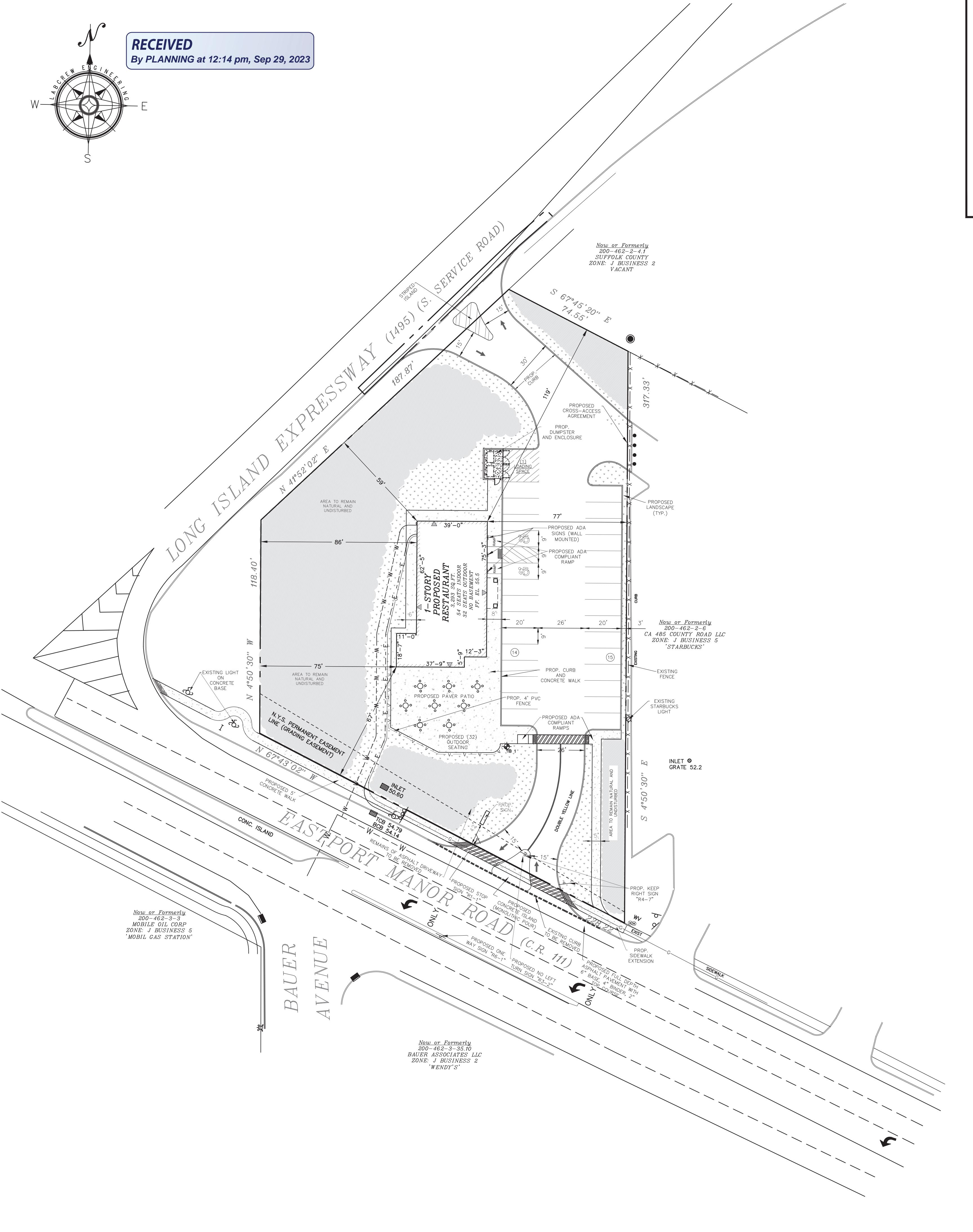
Add proposed concrete sidewalk for entire frontage along CR 111.

Add proposed signage for “One Way”, “Stop”, “No Left Turn” and “Keep Right”.

If you have any questions or need additional information, please do not hesitate to contact me at my office, (631) 676-4881.

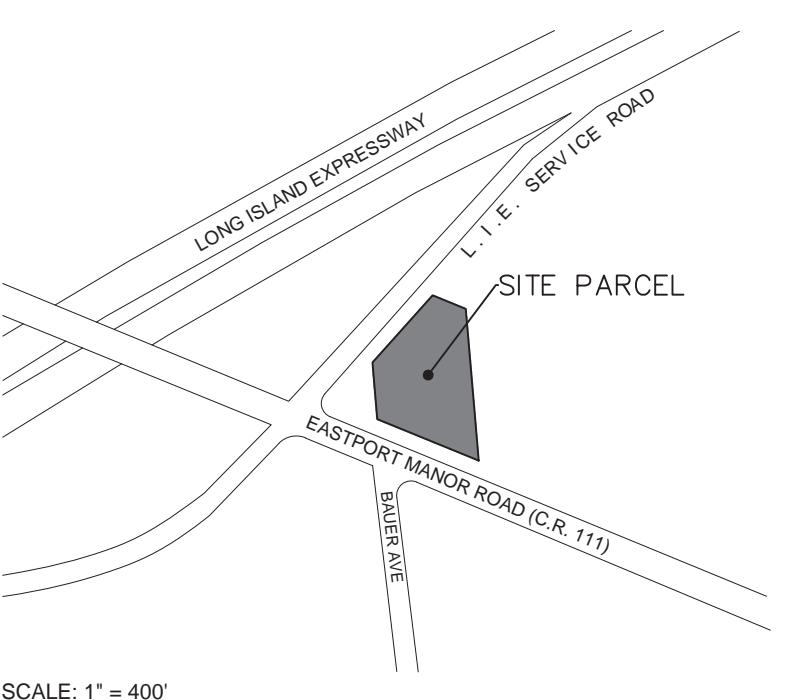
Yours Truly,

Christopher Labate, P.E.  
Principal



SYMBOL KEY		SPECIAL LINES		TEST BORING		KEY MAP	
W	E	OH	OVERHEAD WIRES	EL. 51.7	0.0'	BROWN SANDY LOAM (OL)	
S	N	T	TELEPHONE LINE	EL. 50.7	1.0'	PALE BROWN SILT (ML)	
		GUY WIRE	WATER MAIN	EL. 45.7	6.0'	PALE BROWN FINE SAND (SP)	
		SIGN	UNDER GROUND ELECTRIC			WATER EL 32.7	19.0'
		WELL	WATER LINE			EL. 28.7	23.0'
		MANHOLE COVER	GAS LINE				WATER ENCOUNTERED 19' BELOW SURFACE
		SEWER MANHOLE COVER	FENCE				HIGHEST EXPECTED GROUND WATER 16'
		DRAINAGE MANHOLE COVER	STONE WALL				AS PER USGS DEPTH TO WATER
		LIGHT POST	SILT FENCE				TEST HOLE DATA BY: MCDONALD GEOSERVICES
		MONUMENT	EXISTING CONCRETE				DATE: 8/10/2022
		PIPE	PROPOSED CONCRETE				
		DRILL HOLE					
		HYDRANT					
		WATER METER					
		BOLLARD					
		MONUMENT					
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		BOLLARD					
		MONUMENT					
		PIPE					
		DRILL HOLE					

KEY MAP



**SYMBOL KEY**

N.T.S.		SPECIAL LINES	
OH	UTILITY POLE WITH LIGHT	OVERHEAD WIRES	
T	MANHOLE COVER	TELEPHONE LINE	
W	SEWER MANHOLE COVER	WATER MAIN	
E	MONUMENT	UNDER GROUND ELECTRIC	
GAS	PIPE	GAS LINE	
X	RECT. DROP INLET	FENCE	
	DRILL HOLE	STONE WALL	
TC	TRAFFIC SIGNAL BOX		
BC	FLAG POLE		
	WETLANDS FLAG		
	DOOR LOCATION		
	LANDSCAPING		

**TEST BORING**

EL. 51.7	0.0'
EL. 50.7	1.0'
EL. 45.7	6.0'
EL. 32.7	19.0'
EL. 28.7	23.0'

WATER IN PALE BROWN FINE SAND (SP)

TEST HOLE DATA BY:

MCDONALD GEOSERVICES

DATE: 8/10/2022

SCALE: 1" = 400'

**SITE CRITERIA**

**SITE DATA:**

SITE AREA	1.167 ACRES	50,848.9	SQ.FT.
PROPOSED BUILDING AREA		3,293	SQ.FT.
PROP. F.A.R.		6.5	%
PARKING REQUIRED		29	STALLS
PARKING PROVIDED w/LOADING		30	STALLS
DATUM		NAVD 1988	
ZONING		J BUSINESS 2	
USE		RESTAURANT w/OUTDOOR SEATING	

**SANITARY CALCULATIONS:**

GW MANAGEMENT ZONE III: 300 GPD/ACRE x 1.167 ACRES	= 350.1 GPD		
NO PRIVATE WELLS WITHIN 150' OF SUBJECT PARCEL			
NO SURFACE WATER WITHIN 300' OF SUBJECT PARCEL			
NO BASEMENT			
USE	RATE SAN KIT		
RESTAURANT (54 SEATS)	10 GPD/SEAT	540.0	GPD
RESTAURANT (54 SEATS)	20 GPD/SEAT	1080.0	GPD
RESTAURANT (32 SEATS) SEASONAL	5 GPD/SEAT	160.0	GPD
RESTAURANT (32 SEATS) SEASONAL	10 GPD/SEAT	320.0	GPD
		700.0	1400.0 GPD

TOTAL FLOW = 700.0 + 1400.0 = 2,100.0 GPD

700.0 GPD - 350.1 GPD = 349.9 GPD REQ.

1.2 PB CREDITS TO BE ADDED

349.9 GPD + 350.1 GPD = 700.0 GPD

700.0 GPD ALLOWABLE = 700.0 GPD PROVIDED - OK

**SYSTEM DESIGN:**

**SANITARY LOAD:**  
SEPTIC: 700 GPD REQUIRED (TO BE VENTED THROUGH PROPOSED BLDG PLUMBING)  
PROP. (1) HYDROKINETIC 800 FEU (IA OWTs) = 750 GPD PROV.

**KITCHEN LOAD:**

SEPTIC: 1400 GPD x 2 DAY FLOW  
PROP. (1) 10' x 6' EFFECTIVE DEPTH SEPTIC TANK = 3000 GAL. PROV.

GREASE TRAP: 1 DAY FLOW  
PROP. (1) 10' x 5' EFFECTIVE DEPTH GREASE TRAP = 1400 GAL. REQ.

LEACHING POOL LOAD:  
700 GPD (SYS A) + 1400 GPD (SYS B)

PROP. (3) 10' x 15' DEPTH LEACHING POOL - (3) 15 x 1.5 x 31.4 = 2100.0 GAL. REQ.

TOTAL VOLUME CAPACITY = 2119.5 GAL. PROV.

= 2119.5 GAL. PROV.

**DRAINAGE CALCULATIONS:**

DRAINAGE AREA #1 = 16,487.2 SQ.FT.	
DRYWELL STORAGE:	= 4" RAINFALL
PMV/TWALLS AREA (16,487.2 S.F.) x .33 x 1.0	= 319.2 CU.FT.
LANDSCAPE (1,626 S.F.) x .33 x 15 RUN OFF	= 80.5 CU.FT.
ROOF AREA (1,646.5 S.F.) x .33 x 1.0	= 543.3 CU.FT.
TOTAL REQUIRED VOLUME	= 4,984.6 CU.FT.
PMV/TWALLS AREA (16,487.2 S.F.) x .33 x 1.0	= 72.84 CU.FT. REQ.
PROPOSED (7) 10' x 10' x 10' DEPTH	= 70.0 CU.FT. PROV.
TOTAL VOLUME PROVIDED	= 6,020.9 CU.FT.
6025.5 - 6020.9 ADDITIONAL VOLUME REQUIRED	= 4.6 CU.FT.

**PONDING STORAGE:**  
PMV/TWALLS AREA (16,487.2 S.F.) x .33 x 1.0

LANDSCAPE (1,626 S.F.) x .08 x 15 RUN OFF

ROOF AREA (1,646.5 S.F.) x .08 x 1.0

DOME VOLUME: (8) x 108.8 CU.FT./DOME

TOTAL REQUIRED VOLUME

TOTAL PROVIDED VOLUME

DRAINAGE AREA #2 = 4,944.1 SQ.FT.

**DRYWELL STORAGE:**  
PMV/TWALLS AREA (4,944.1 S.F.) x .33 x 1.0

LANDSCAPE (1,323.8 S.F.) x .17 x 15 RUN OFF

TOTAL REQUIRED VOLUME

649.3 CU.FT. / 68.42 CU.FT. / FT (10')

PROPOSED (1) 10' x 10' x 10' EFFECTIVE DEPTH

PMV/TWALLS AREA (4,944.1 S.F.) x .33 x 1.0

DOME VOLUME: (8) x 108.8 CU.FT./DOME

TOTAL REQUIRED VOLUME

DRAINAGE AREA #3 = 1,646.5 SQ.FT.

**DRYWELL STORAGE:**

BUILDING AREA (1,646.5 S.F.) x 1.0 x 0.42

PAVEMENT AREA (2,658.1 S.F.) x 1.0 x 0.42

TOTAL REQUIRED VOLUME

1,823.4 CU.FT.

PROPOSED (3) 10' x 9' x 9' EFFECTIVE DEPTH

TOTAL PROVIDED VOLUME

1,847.3 CU.FT. PROV.

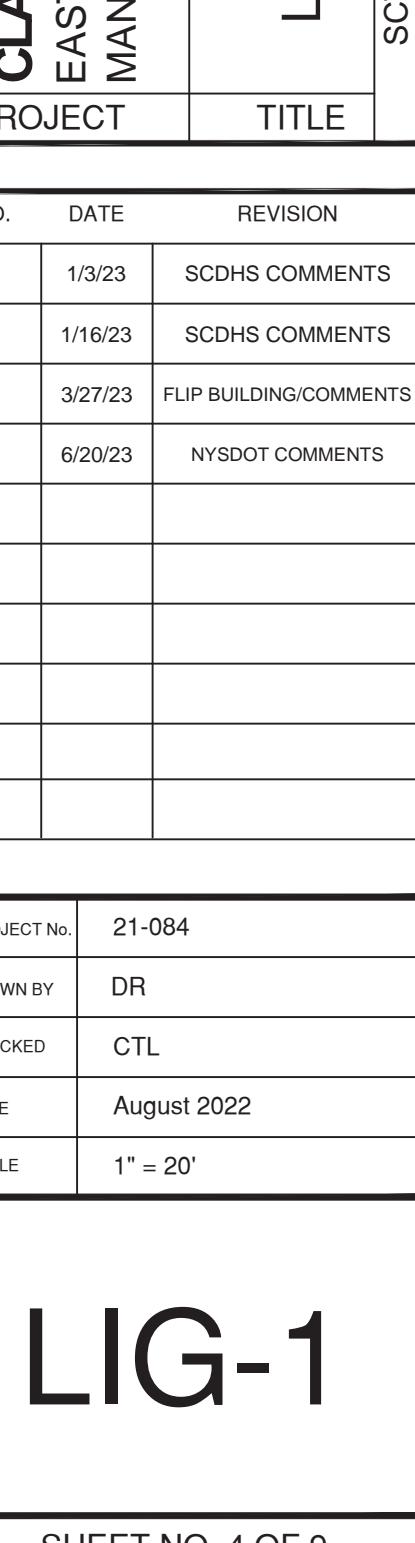
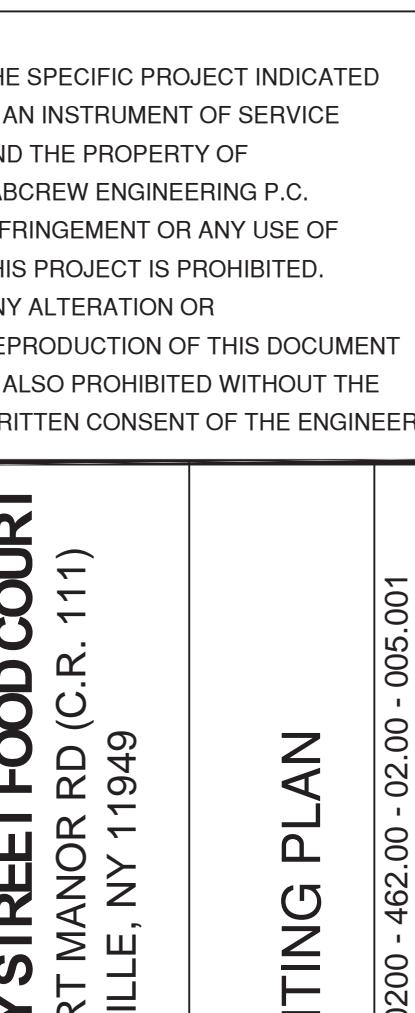
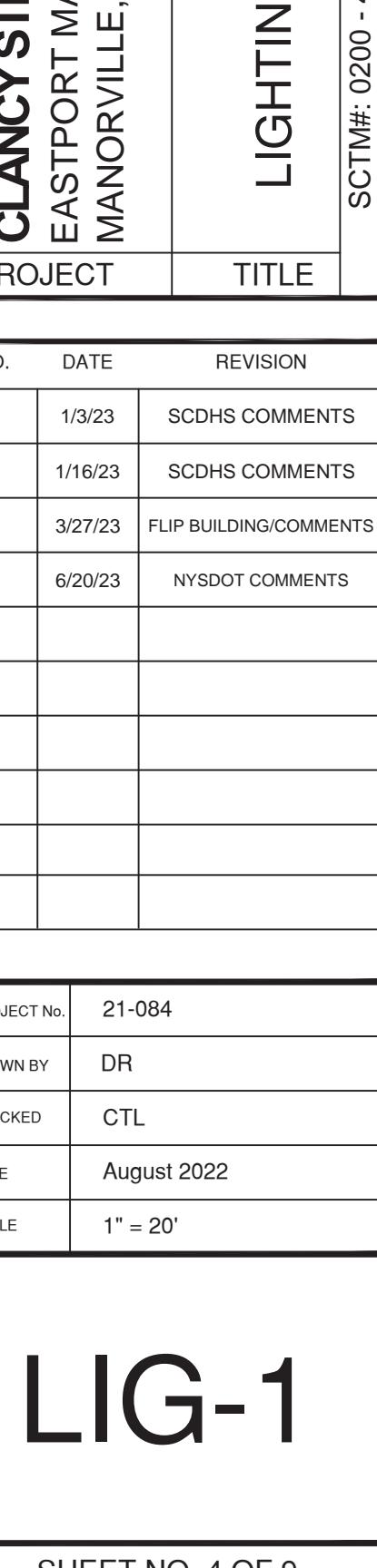
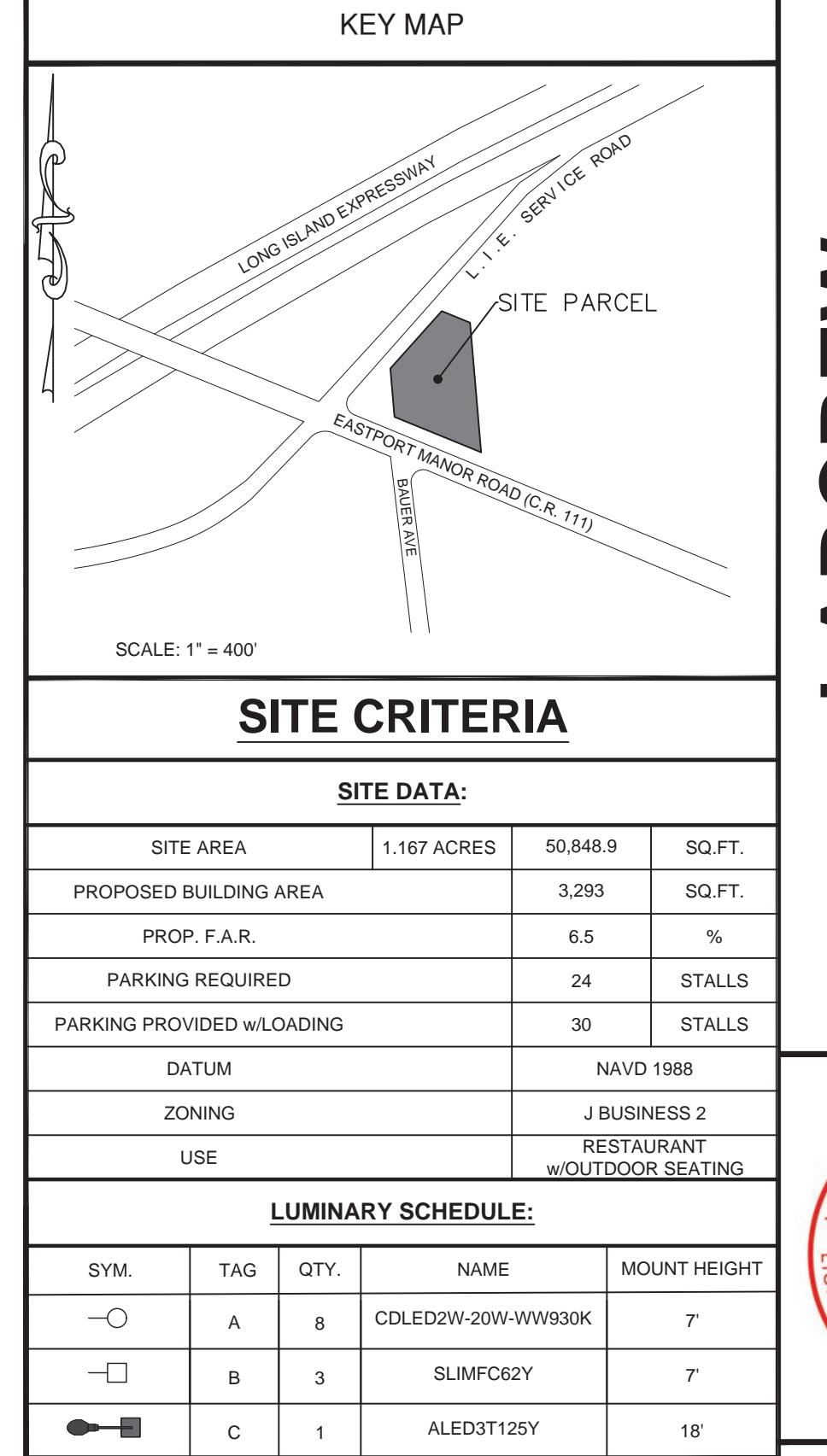
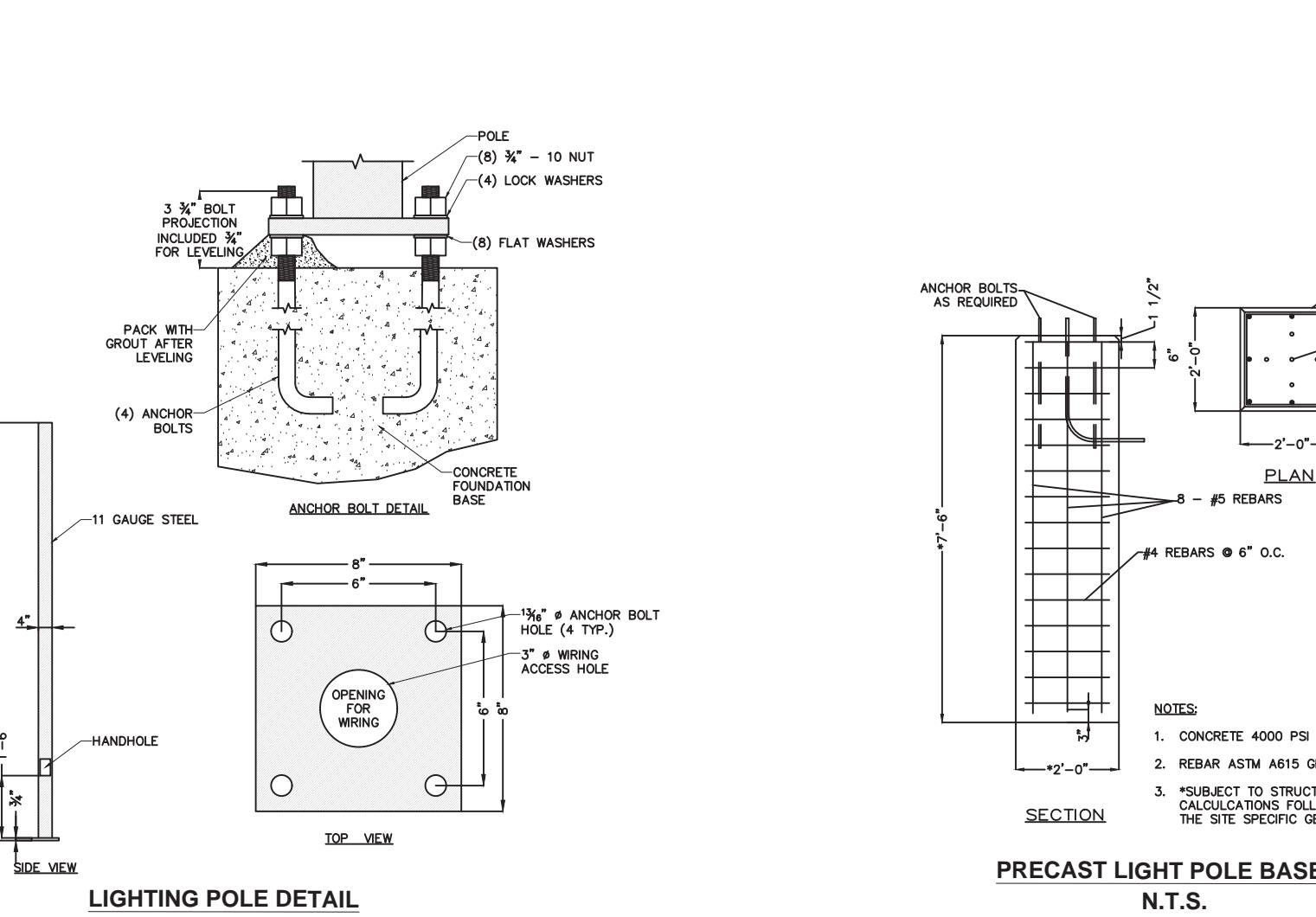
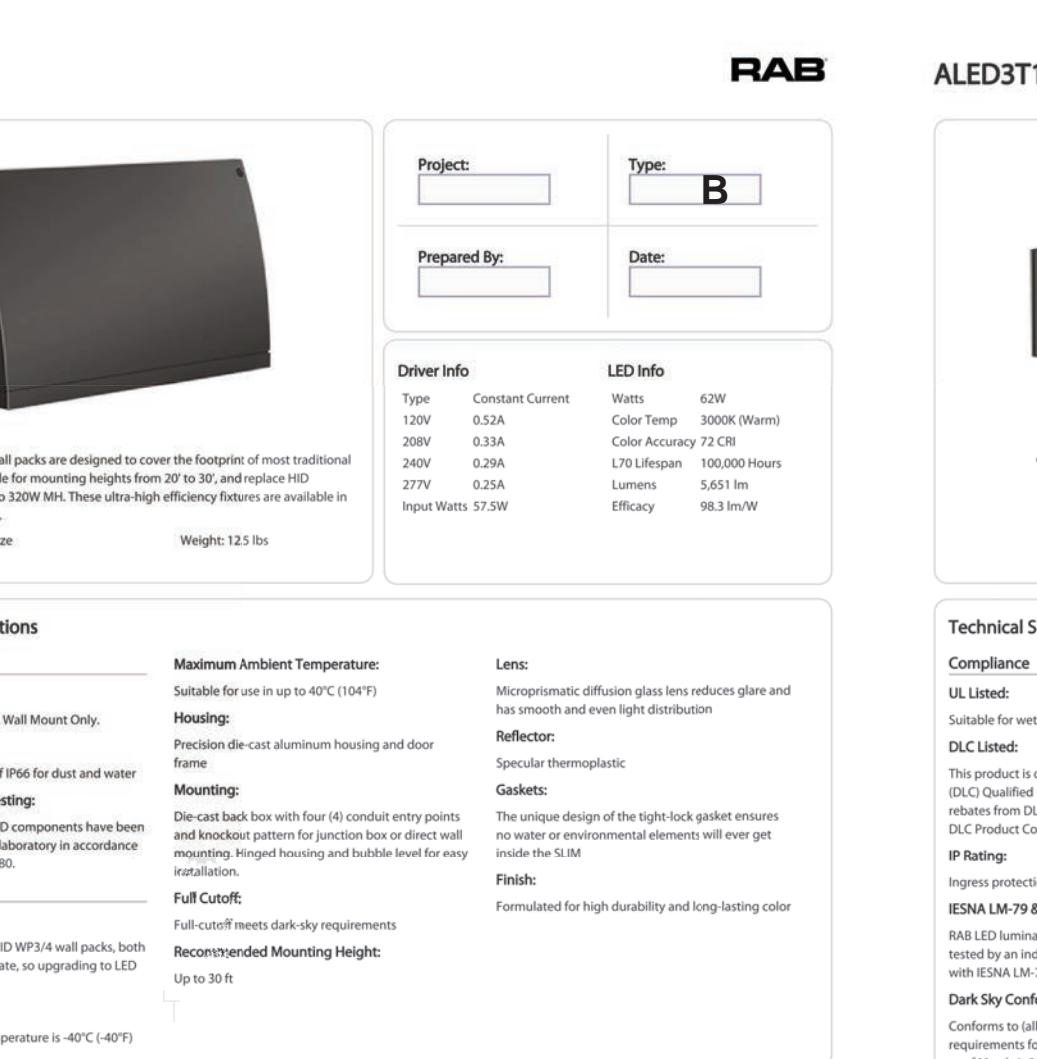
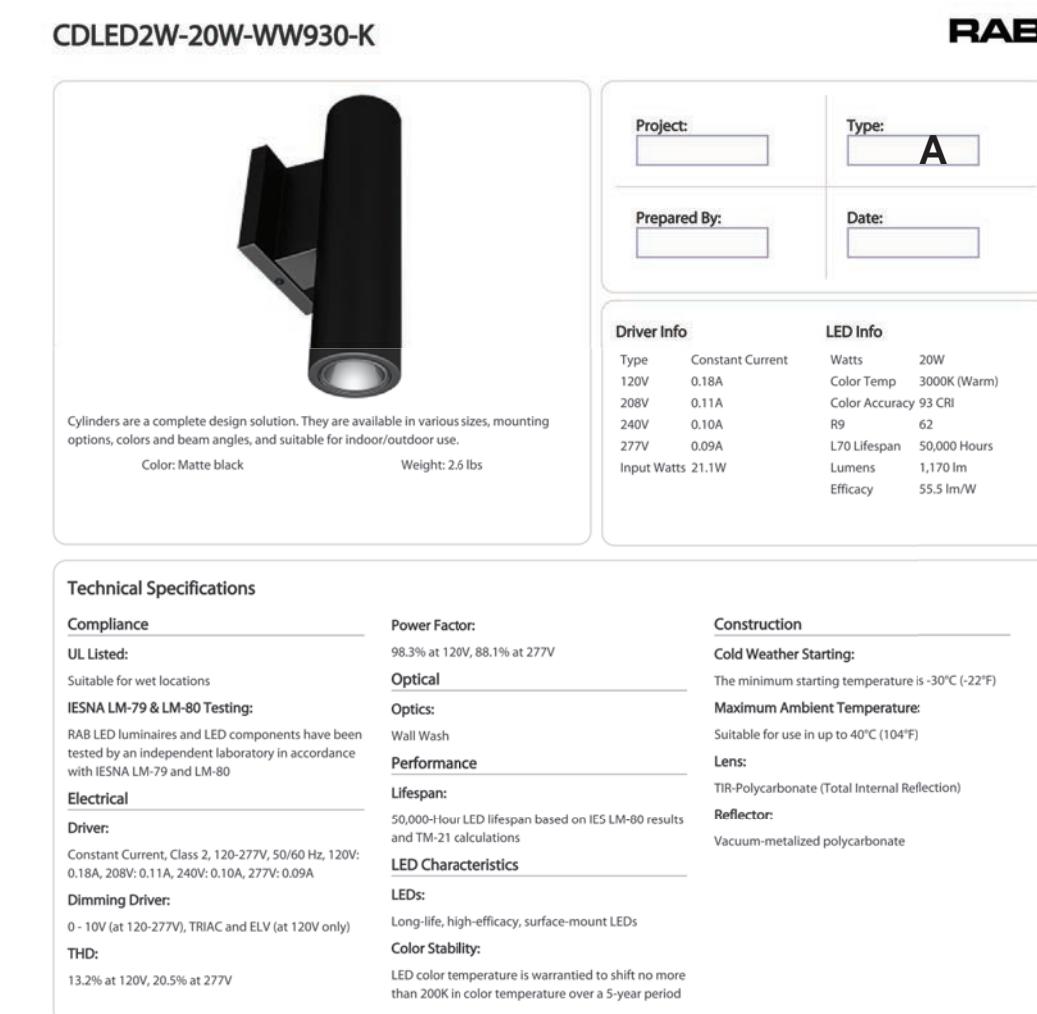
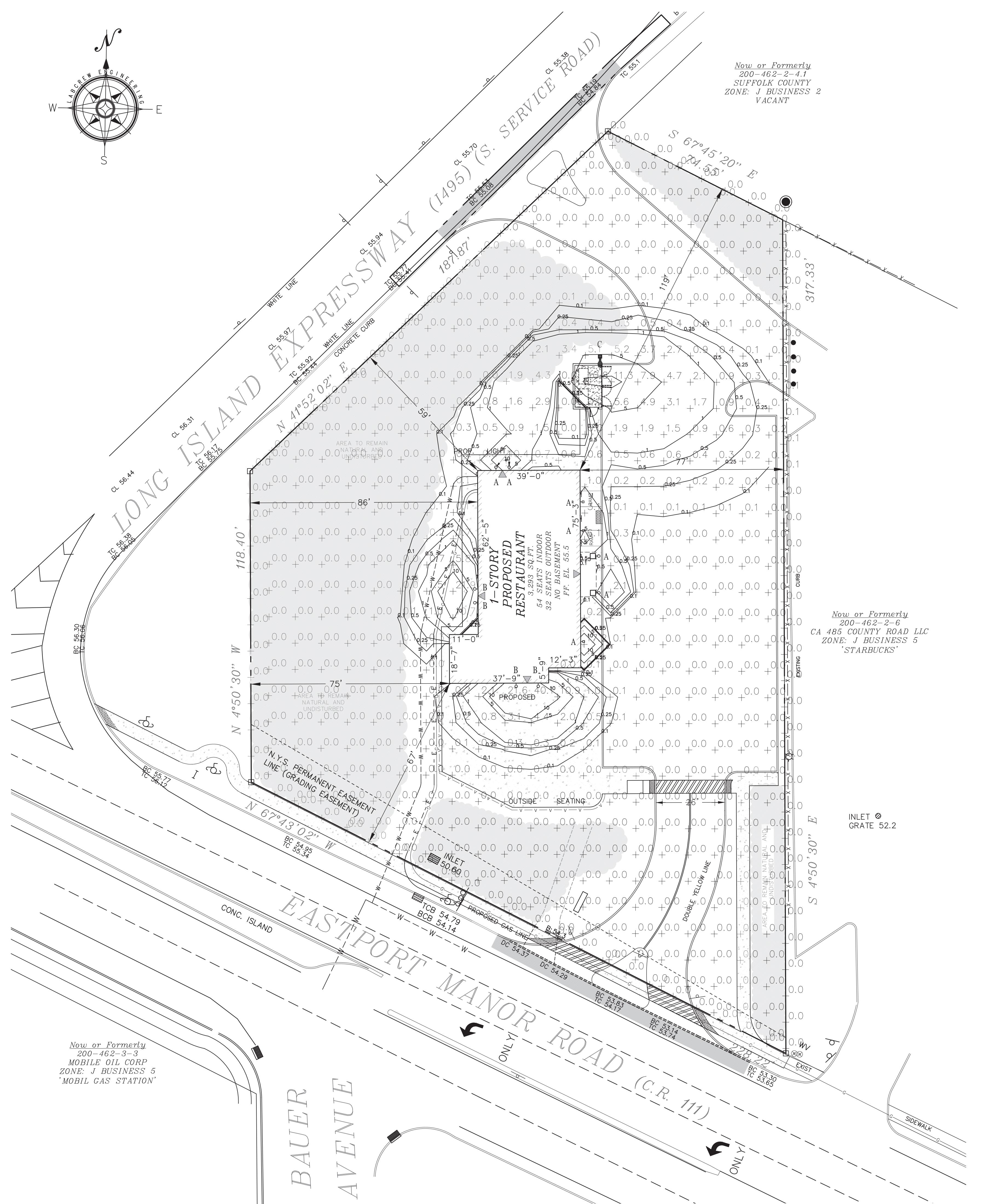
= 1,847.3 CU.FT.

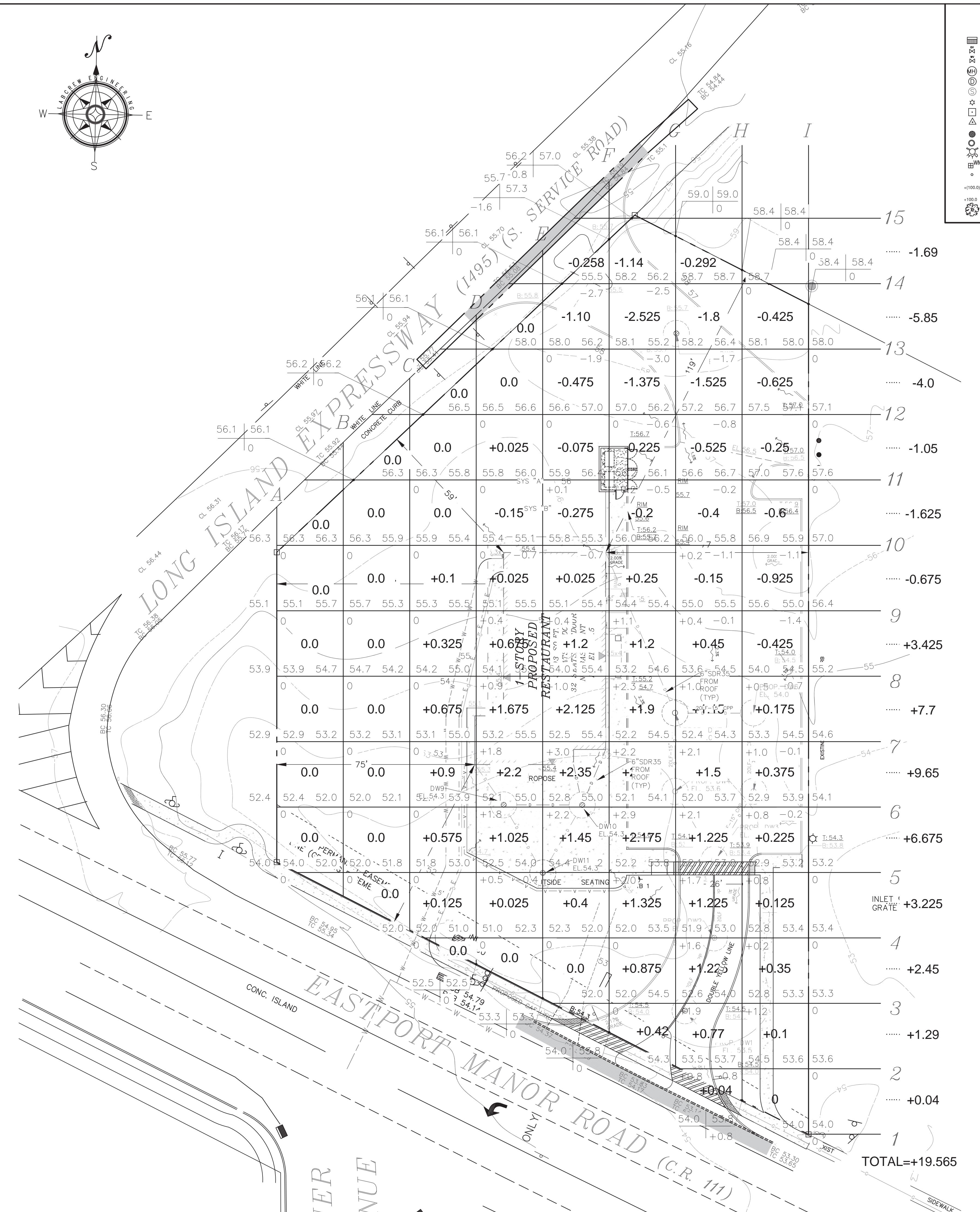
= 1,847.3 CU.FT. PROV.

= 1,847.3 CU.FT.

= 1,847.3 CU.F







<b>SYMBOL KEY</b>		<b>SPECIAL LINES</b>		<b>TEST BORING</b>		<b>KEY MAP</b>		<b>ABCREW</b> <b>ENGINEERING, P.C.</b>	
N.T.S				TB 1				DESIGN/PLANNERS/CIVIL ENGINEERING	
= CATCH BASIN		— OH —————	= OVERHEAD WIRES	EL. 51.7	0.0'			460 HAWKINS AVENUE RONKONKOMA, NEW YORK 11779 TELEPHONE: (631) 676-4881 LABCREW@OPTIONLINE.NET	
= GAS VALVE		— T —————	= TELEPHONE LINE	EL. 50.7	1.0'				
= WATER VALVE		— W —————	= WATER MAIN	EL. 45.7	6.0'				
= MANHOLE COVER		— E —————	= UNDER GROUND ELECTRIC						
= DRAINAGE MANHOLE COVER		— GAS —————	= GAS LINE						
= SEWER MANHOLE COVER		— X —————	= FENCE						
= LIGHT POST		○○○○○○○○○○○○	= STONE WALL						
= MONUMENT									
= STAKE									
= PIPE									
= DRILL HOLE									
= HYDRANT									
WATER METER									
= BOLLARD									
= PROP. PAVEMENT ELEV.									
= EXISTING ELEVATION									
= EXISTING TREE TO BE REMOVED									
		TC = TOP OF CURB		TEST HOLE DATA BY: McDONALD GEOSERVICES DATE: 8/10/2022					
		BC = BOTTOM OF CURB							
				SCALE: 1" = 400'					

CUT / FILL KEY		SITE CRITERIA			
PROPOSED GRADE	EXISTING GRADE	SITE DATA:			
DEPTH OF CUT	DEPTH OF FILL	SITE AREA	1.167 ACRES	50,848.9	SQ.FT.
		PROPOSED BUILDING AREA		3,293	SQ.FT.
		PROP. F.A.R.		6.5	%
		PARKING REQUIRED		29	STALLS
		PARKING PROVIDED w/LOADING		30	STALLS
		DATUM		NAVD 1988	
		ZONING		J BUSINESS 2	
		USE		RESTAURANT w/OUTDOOR SEATING	
CUT/ FILL CALCULATIONS:					
<u>VOLUME OF CUT/FILL FOR SITE GRADING</u>					
AREA OF CELL = 25 FT. x 25.39 FT. = 634.75 SQ.FT. AVERAGE DEPTH OF IRREGULAR CELLS: AREA OF CELL / 634.75 SQ.FT. x AVERAGE CUT/FILL OF CELL = AVERAGE OF IRREG. CELL					
19,656 (FILL) x 634.75 SQ.FT. = 12,418.9 CU.FT. 12,418.9 CU.FT. / 27 CU.FT./CU.YD. = 460 CU.YDS. FILL					
<u>VOLUME OF MATERIAL REMOVED FOR BUILDING:</u>					
3,293 SQ.FT. (BUILDING SLAB) x 0.5 FT. = 1,646.5 CU.FT. 262 LIN FT. (BUILDING FOUNDATION) = 1,137.1 CU.FT. TOTAL CU.FT. = 1,646.5 + 1,137.1 = 2,783.6 CU.FT. TOTAL CUT FOR BUILDING = 2,783.6 CU.FT. / 27 CU.FT./CU.YD. = 103.1 CU.YD. CUT					
<u>VOLUME OF MATERIAL REMOVED FOR PAVING &amp; SITE UTILITIES:</u>					
PAVEMENT 15,392.7 SQ.FT. x 0.92 FT. = 14,161.3 CU.FT. SIDEWALK 4,300.2 SQ.FT. x 0.33 FT. = 1,419.1 CU.FT. CONC. CURB 801.5 LIN.FT. x 0.75 SQ.FT./FT. = 601.1 CU.FT. 6" ROOF LEADER 105 LIN.FT. x 0.25" = 6.6 CU.FT. 15" DRAINAGE PIPE 200 LIN.FT. x 62" = 76.9 CU.FT. DRYWELLS 8 x 5 <sup>2</sup> x pi x 10' = 6,283.2 CU.FT. DRYWELLS 3 x 5 <sup>2</sup> x pi x 9' = 2,120.6 CU.FT. TOTAL CU.FT. OF CUT FROM PAVING & SITE UTILITIES = 24,668.8 CU.FT. = 24,668.8 CU.FT. 24,668.8 CU.FT. / 27 CU.FT./FT. = 913.6 CU.FT.CUT					
<u>VOLUME OF MATERIAL REMOVED FOR SANITARY SYSTEMS:</u>					
SYSTEM A- SEPTIC TANK 7' x 5.5' x 18.5' = 712.3 CU.FT. LEACHING POOL 8 <sup>0</sup> 1 x 5 <sup>2</sup> x pi x 16 = 1,256.6 CU.FT.					
SYSTEM B- 8 <sup>0</sup> SEPTIC TANK 42.24 CU.FT./FT x 7' = 295.7 CU.FT. 10 <sup>0</sup> LEACHING POOL 2 x 68.42 CU.FT./FT x 15 FT. = 2,052.6 CU.FT. PIPING FOR ALL SYSTEMS 76 LIN.FT. x 4"Ø (0.16 <sup>2</sup> ) = 1.9 CU.FT. TOTAL CU.FT. OF CUT FOR SANITARY SYSTEMS = 4,319.1 CU.FT. / 27 CU.FT./CU.YD. = 159.9 CU.YDCUT					
<u>VOLUME OF EXCESS MATERIAL TO BE REMOVED</u>					
460.0 CU.YD FILL - 913.6 CU.YD CUT - 159.9 CU.YD. CUT = 613.5 CU.YDS					
613.5 CUBIC YARDS OF MATERIAL TO BE REMOVED					
CLANCY STREET FOOD COURT EASTPORT MANOR RD (C.R. 111) MANORVILLE, NY 11949			PROJECT		
SCTM#: 0200 - 462.00 - 02.00 - 005.001			TITLE		
NO. DATE REVISION					
1	1/3/23	SCDHS COMMENTS			
2	1/16/23	SCDHS COMMENTS			
3	3/27/23	FLIP BUILDING/COMMENTS			
4	6/20/23	NYSDOT COMMENTS			
PROJECT No. 21-084					
DRAWN BY DR					
CHECKED CTL					
DATE August 2022					
SCALE 1" = 20'					

**SURVEY PREPARED BY:**  
RUSSELL H. LEWIS CO. LAND  
SURVEYOR  
57 CONKLIN AVENUE,  
WHEATLEY HEIGHTS, NY 11798  
PHONE: (516) 474-3665 DATE:  
JUNE 22, 2021

0 20

SCALE: 1"=20'

# MRP-1

SHEET NO. 5 OF 9

**CLANCY STREET FOOD COURT**  
EASTPORT MANOR RD (C.R. 111)  
MANORVILLE, NY 11949

**EROSION CONTROL PLAN**

SCTM# 0200-462.00-02.00-005.001

PROJECT	TITLE
NO.	DATE
1	1/23
2	1/23
3	3/23
4	6/23

REVISION

SCDH COMMENTS

SCDH COMMENTS

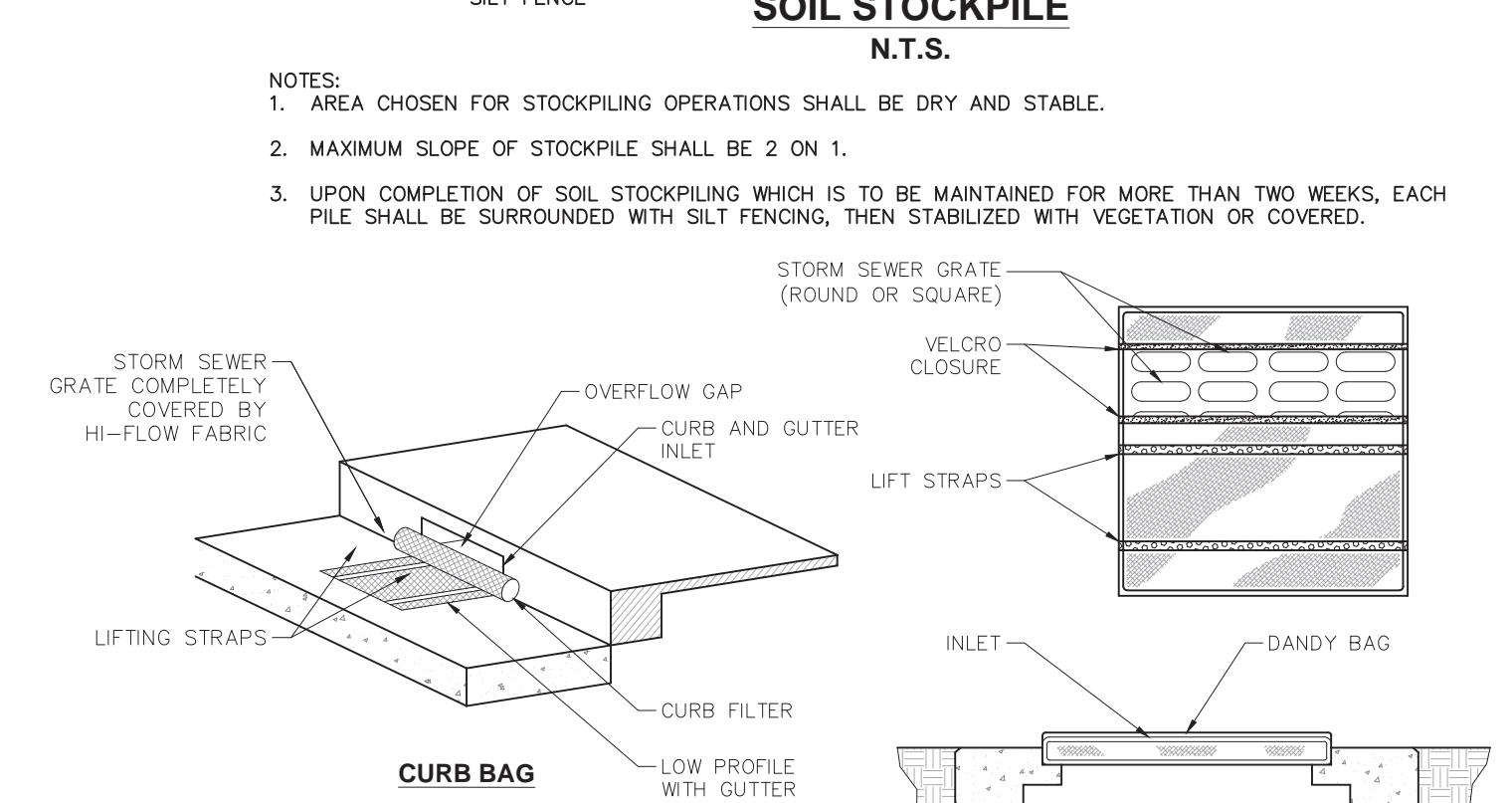
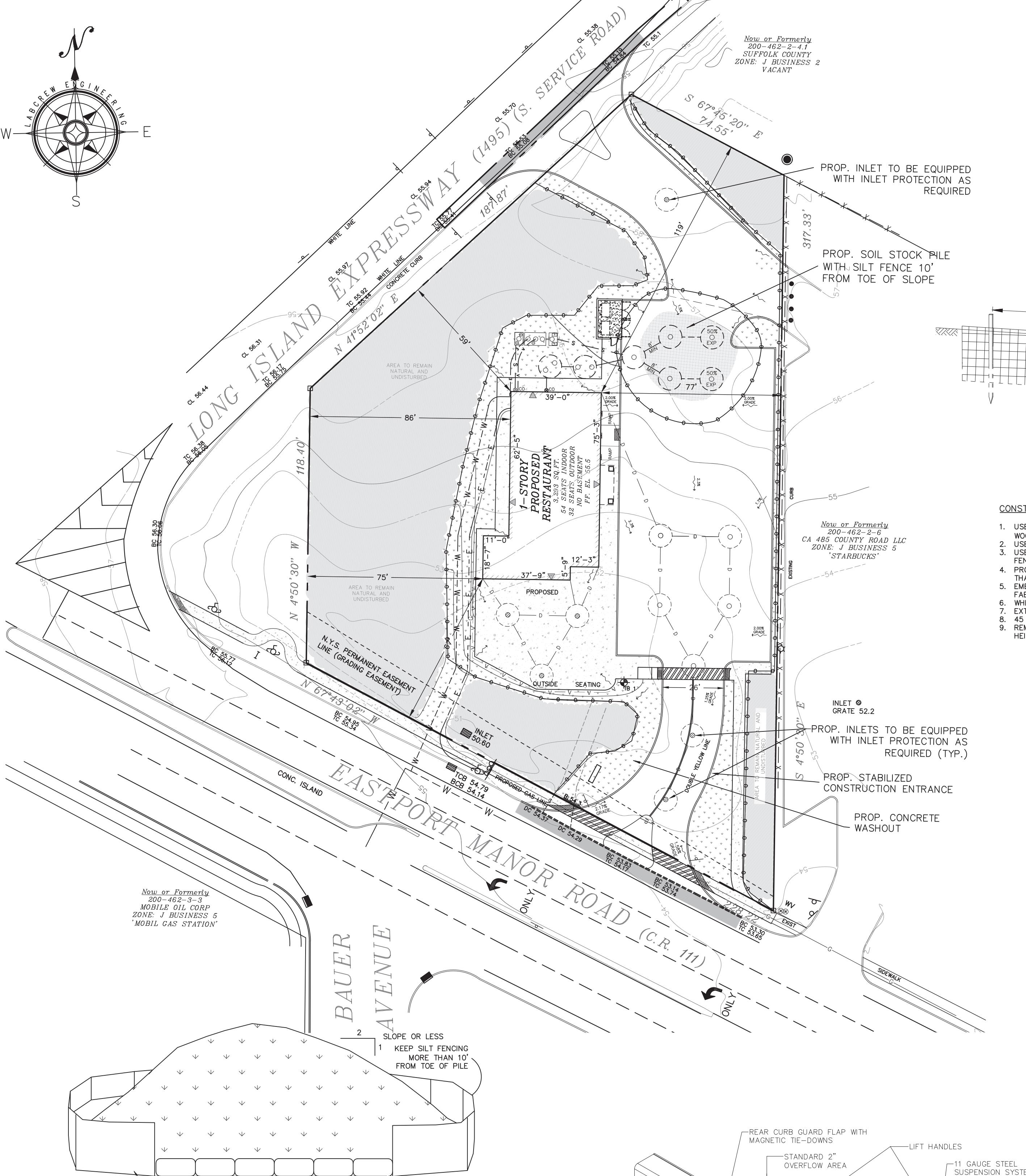
FLIP BUILDING/COMMENTS

NYSDOT COMMENTS

PROJECT No. 21-084  
DRAWN BY CTN  
CHECKED CTL  
DATE August 2022  
SCALE 1" = 30'

**ECP-1**

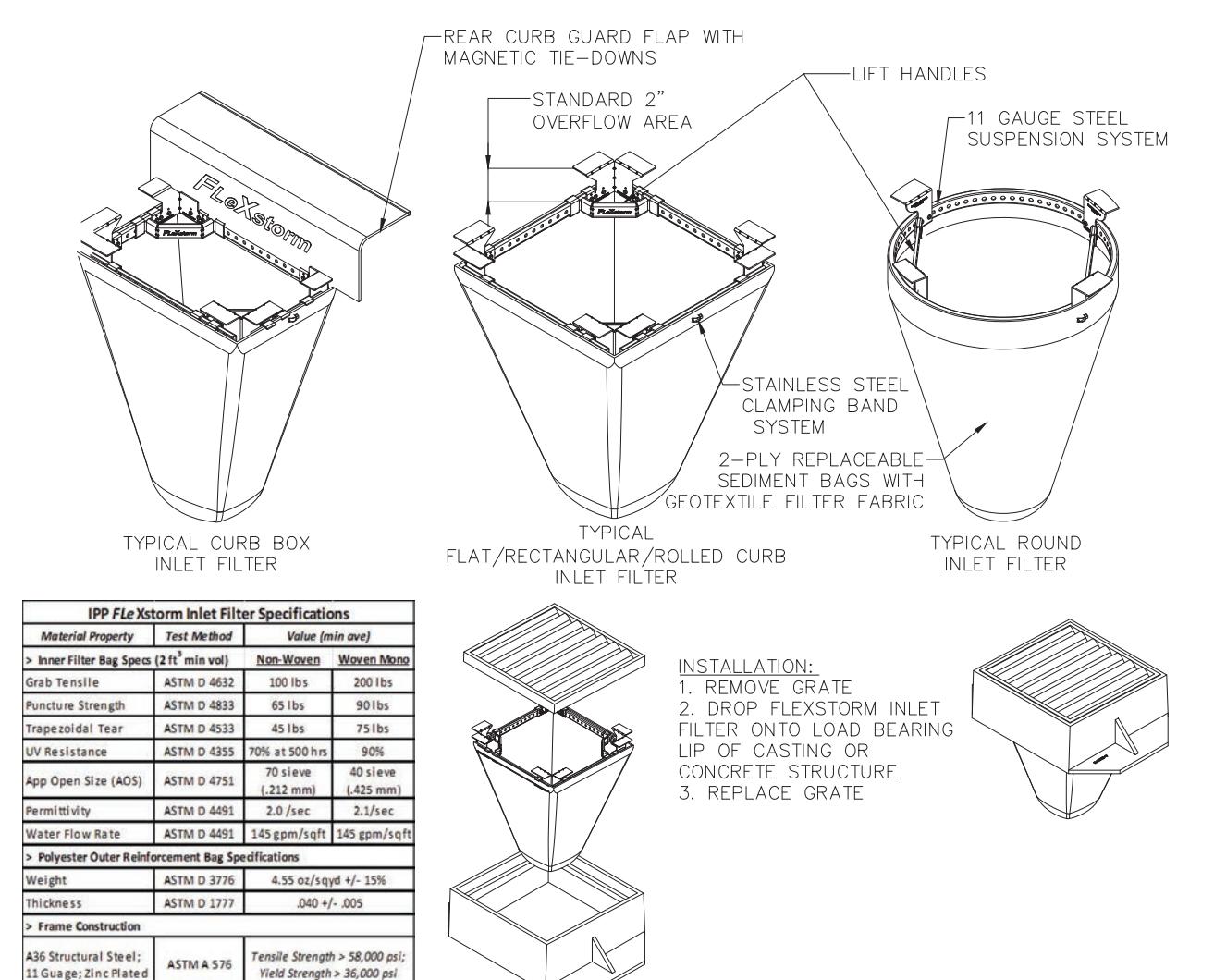
SHEET NO. 6 OF 9



NOTES:  
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.  
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2 ON 1.  
3. UPON COMPLETION OF SOIL STOCKPILING WHICH IS TO BE MAINTAINED FOR MORE THAN TWO WEEKS, EACH PILE SHALL BE SURROUNDED WITH SILT FENCING, THEN STABILIZED WITH VEGETATION OR COVERED.

NOTES:  
1. DANDY CURB BAG SYSTEM TO BE USED IN CONJUNCTION WITH INLET BOX AND FILTER FOR CURB INLET AT STREET CORNER.  
2. INLET PROTECTION TO BE MAINTAINED REGULARLY AND AFTER EACH RAINFALL EVENT DURING CONSTRUCTION.

**INLET PROTECTION (OPTION 1)**  
N.T.S.

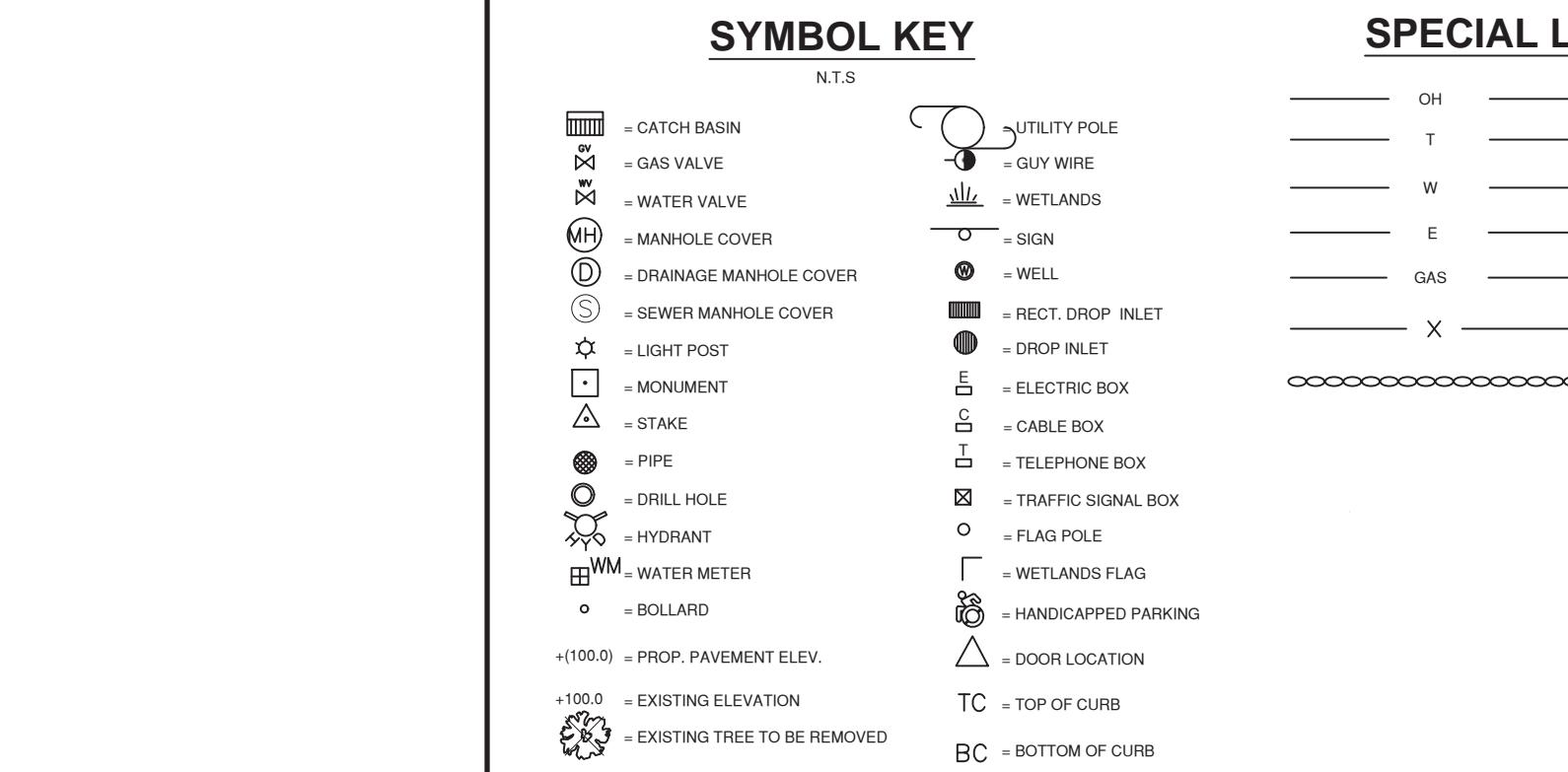


**INLET PROTECTION (OPTION 2)**  
N.T.S.

IPPF Xtrum Inlet Filter Specifications	
Material Property	Test Method
1. Inlet Filter Bag Specs (2" min. width)	Non Woven Woven Mesh
2. Filter Strength	ASTM D 4851 65 lbs 90 lbs
3. Tensile Strength	ASTM D 4338 49 lbs 75 lbs
4. Tensile Elongation	ASTM D 4555 10% to 500% 20%
5. App. Open Size (AOS)	ASTM D 4751 1.25" (32 mm) 1.43" (36 mm)
6. Permeability	ASTM D 4493 1.45 g/m²/0.0001 sec 2.05 g/m²/0.0001 sec
7. Filter Weight	ASTM D 1779 2.55 lb/cu ft +/- 15%
8. Thickness	ASTM D 1779 200 +/- .005
9. Frame Construction	
10. Structural Strength	ASTM A 576 Tensile Strength > 56,000 psi; Yield Strength > 36,000 psi

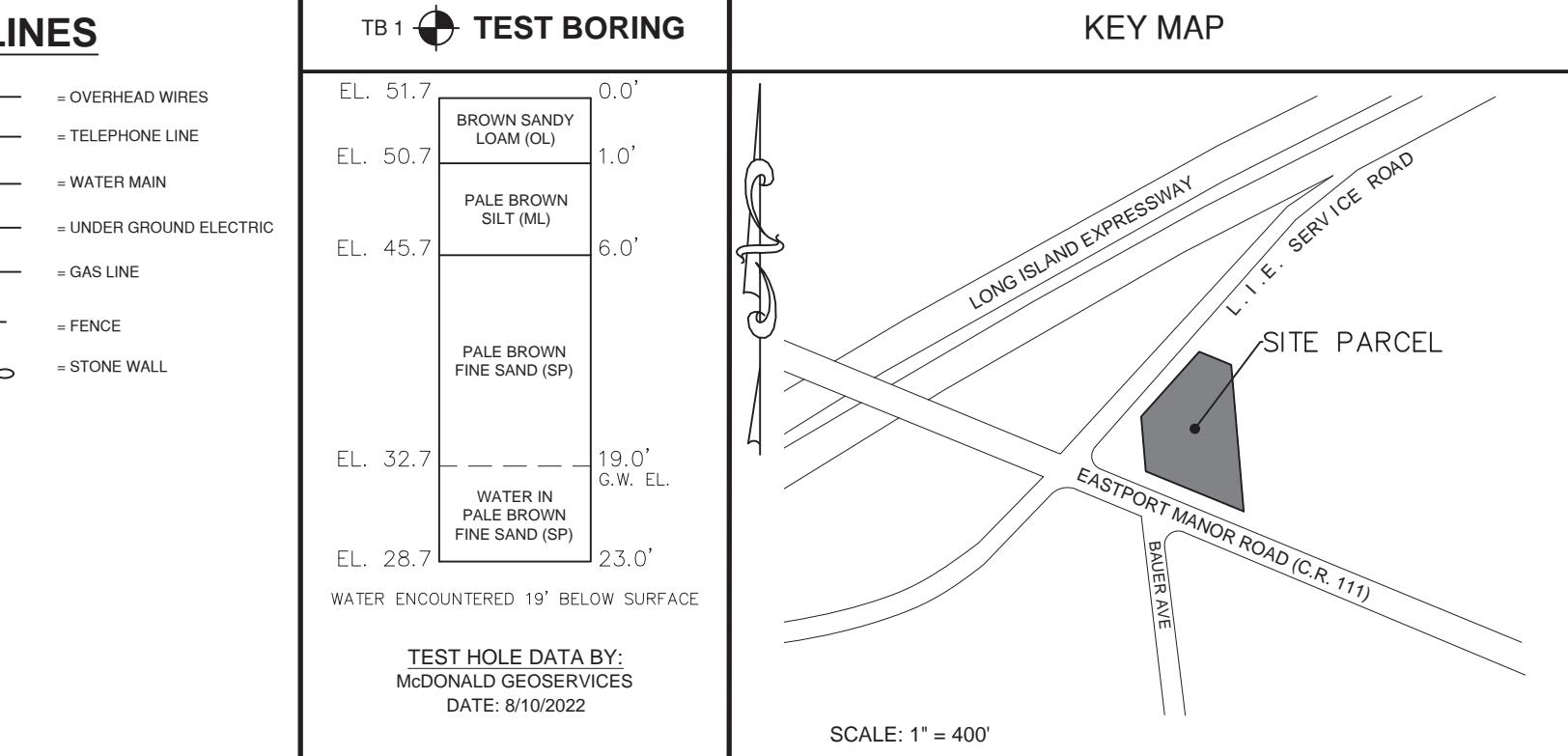
NOTES:  
1. DANDY CURB BAG SYSTEM TO BE USED IN CONJUNCTION WITH INLET BOX AND FILTER FOR CURB INLET AT STREET CORNER.  
2. INLET PROTECTION TO BE MAINTAINED REGULARLY AND AFTER EACH RAINFALL EVENT DURING CONSTRUCTION.

**INLET PROTECTION (OPTION 1)**  
N.T.S.



TEST HOLE DATA BY: MCDONALD GEOSERVICES DATE: 8/10/2022

SCALE: 1" = 400'



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SEAL

088475

CHRISTOPHER THOMAS

LICENSED

PROFESSIONAL ENGINEER

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CLANCY STREET FOOD COURT  
EASTPORT MANOR RD (C.R. 111)  
MANORVILLE, NY 11949

SITE DETAILS  
PROJECT # 0200-462-00-02-00 - 005.001

SCDM#

0200

462-00

02-00

005.001

SCTM#

0200

462-00

02-00

005.001

SCDM#

0200

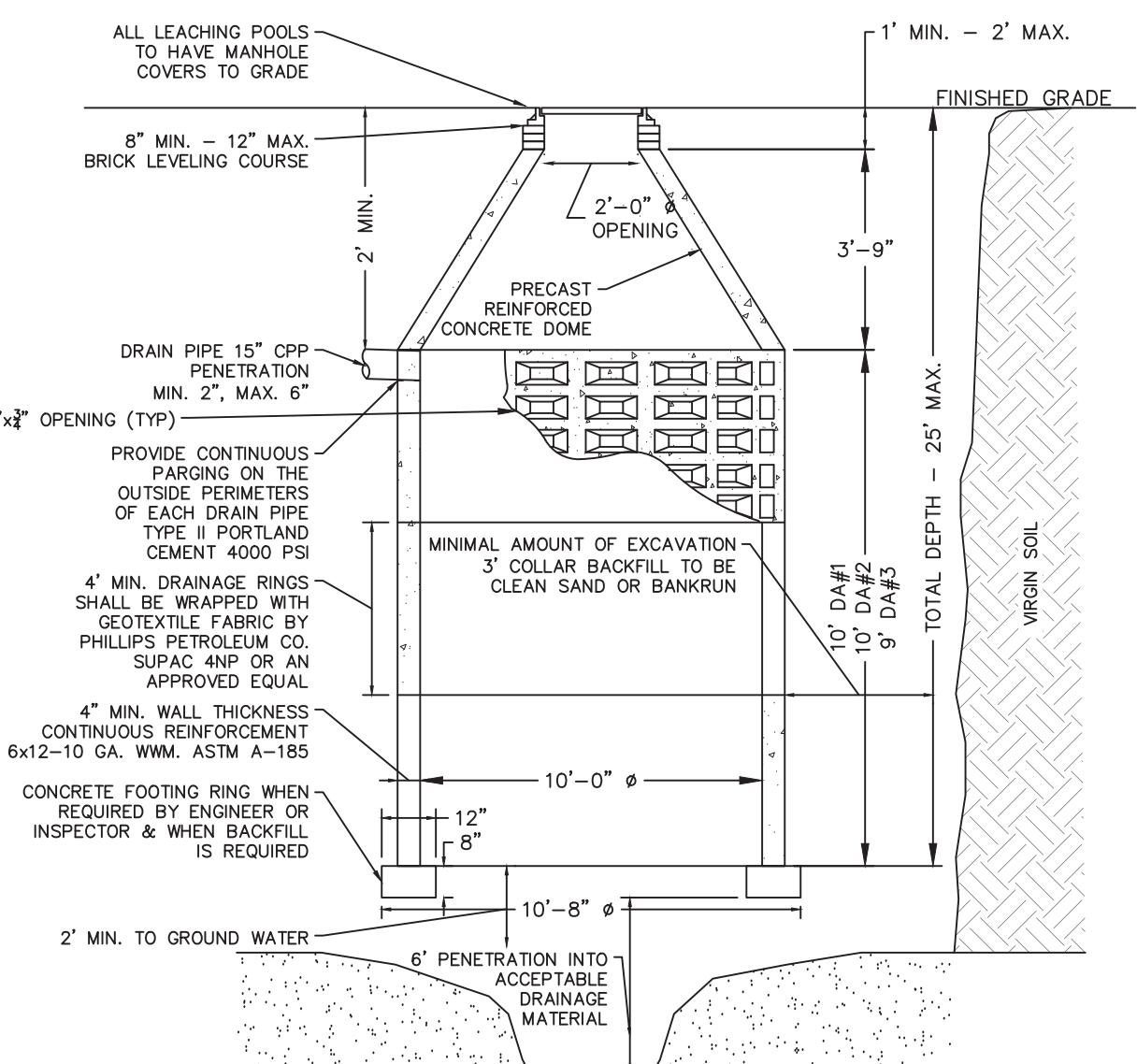
462-00

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DET-1

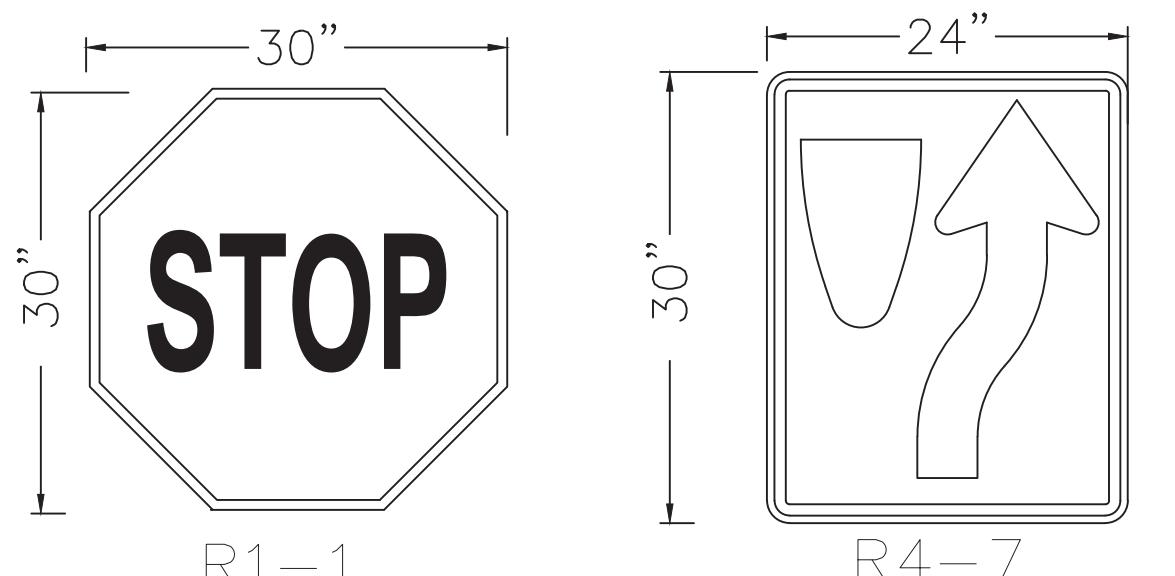
SHEET NO. 7 OF 9



**DRAINAGE LEACHING POOL W/ DOME**

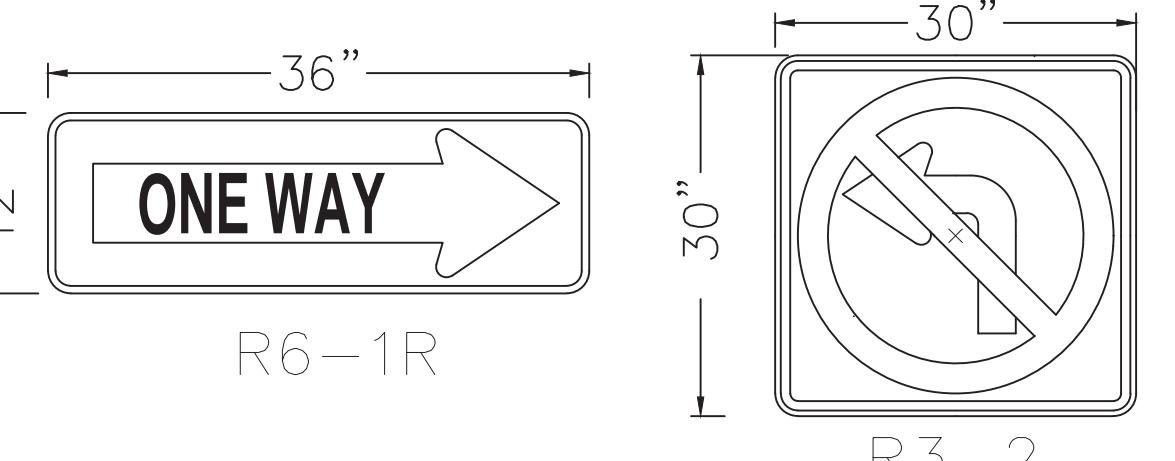
N.T.S.

NOTES:  
1. SANITARY RINGS MAY NOT BE USED.  
2. ALL PRECAST CONCRETE STRUCTURES MUST MEET ACI CODE AND SPECIFICATIONS.  
3. MINIMUM 28 DAYS COMPRESSIVE STRENGTH OF 4000 PSI CONCRETE PRIOR TO INSTALLATION.  
4. ALL STRUCTURES MUST BE MANUFACTURED AT AN ACI CERTIFIED PLANT, A COPY OF CERTIFICATION MUST BE ON FILE WITH THE TOWN.



R1-1

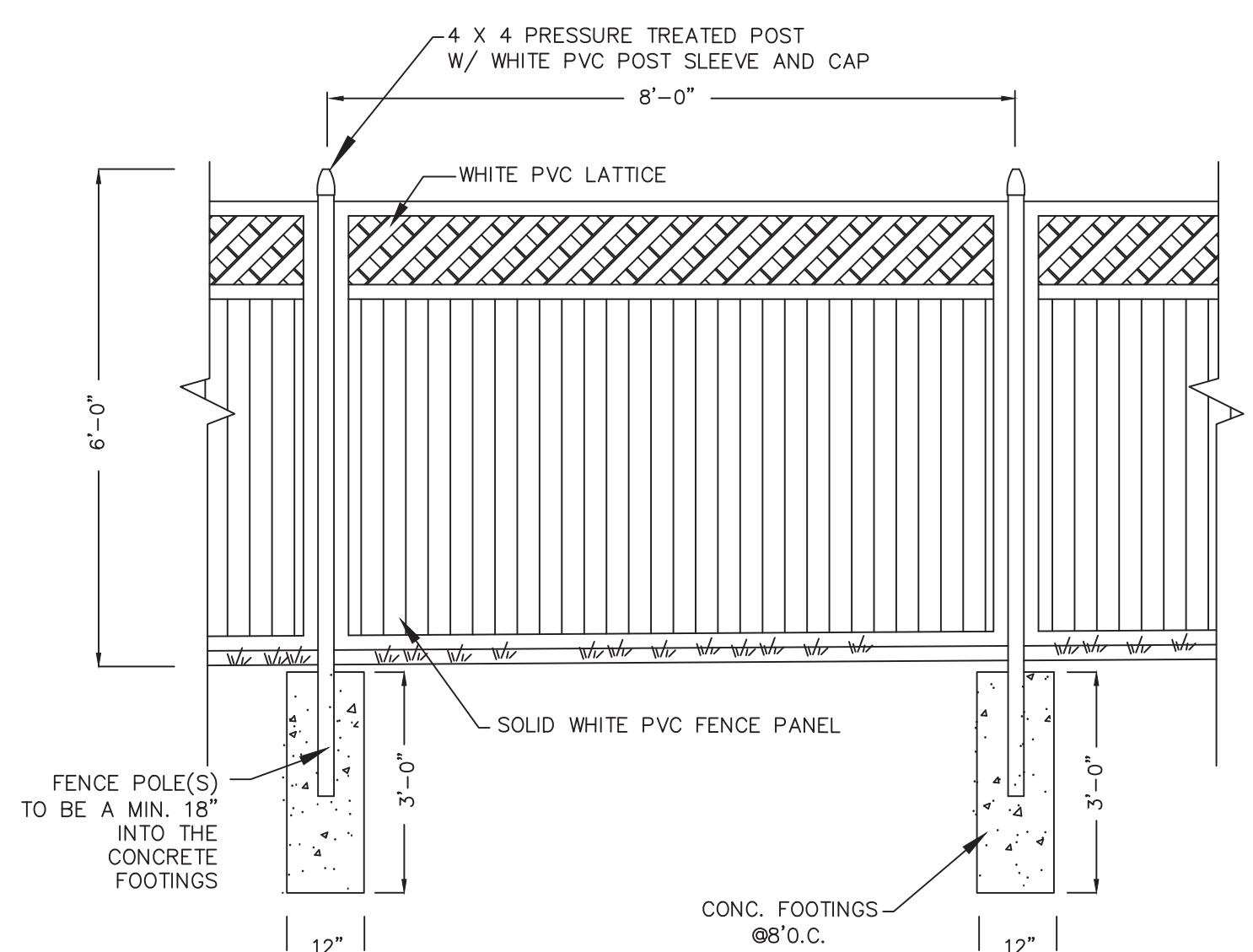
R4-7



R6-1R

R3-2

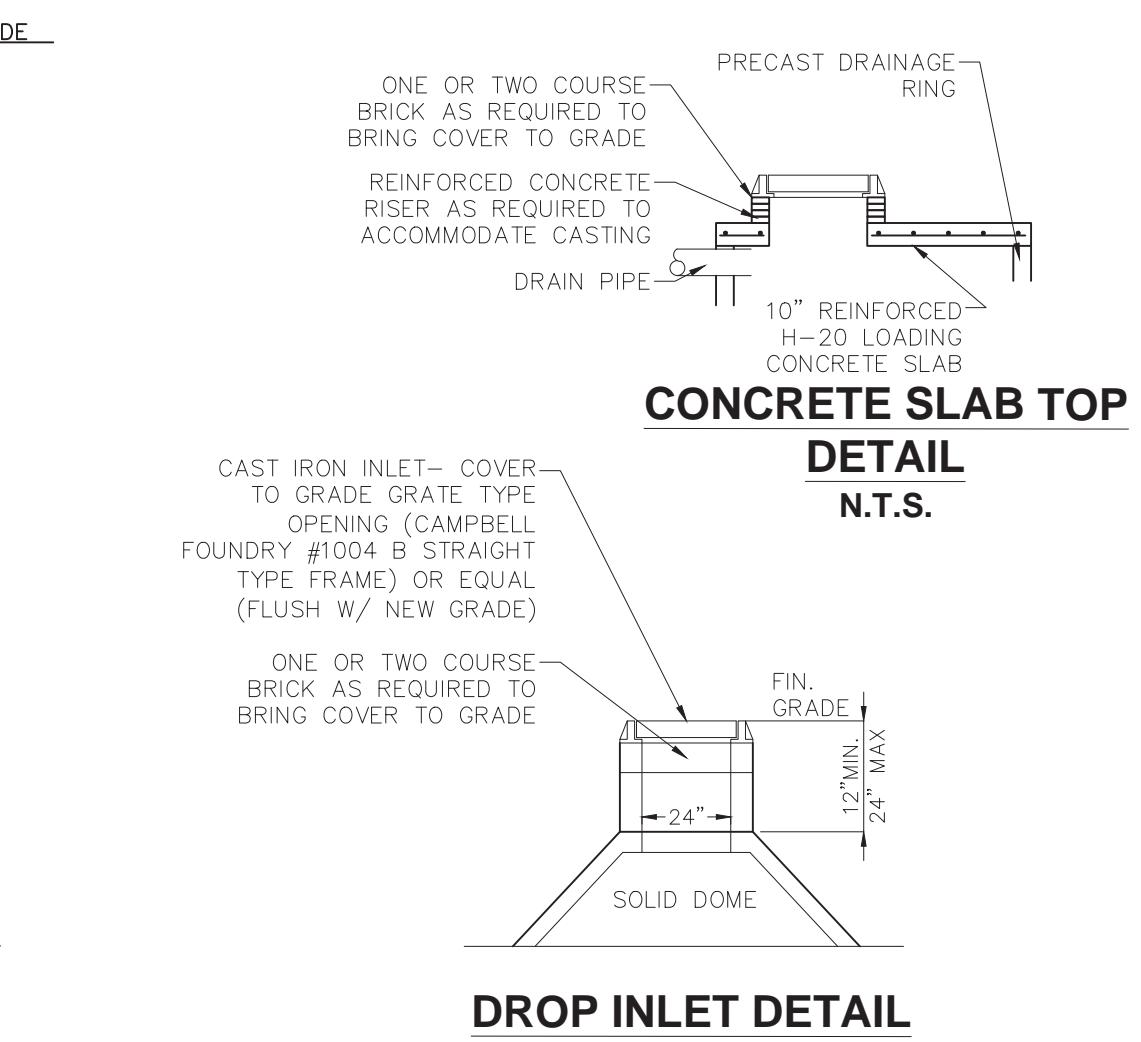
**SCDPW SIGNAGE**



**DECORATIVE PVC FENCE DETAIL**

N.T.S.

NOTES:  
1. CONTRACTOR TO PROVIDE SHOP DRAWINGS OF FENCING TO



**CONCRETE SLAB TOP  
DETAIL**

N.T.S.

ONE OR TWO COURSE BRICK AS REQUIRED TO BRING COVER TO GRADE  
REINFORCED CONCRETE RISER AS REQUIRED TO ACCOMMODATE CASTING  
PRECAST DRAINAGE RING  
DRAIN PIPE 15" CPP MIN. 2", MAX. 6"

PROVIDE CONTINUOUS PARGING ON THE OUTSIDE PERIMETERS OF EACH TYPE II PORTLAND CEMENT 4000 PSI

4' MIN. DRAINAGE RINGS SHALL BE FILLED WITH GEOTEXTILE FABRIC BY PHILLIPS PETROLEUM CO. SUPPLY, OR AN APPROVED EQUAL

4" MIN. WALL THICKNESS CONTINUOUS REINFORCEMENT 6x12-10 GA. W.W. ASTM A-185

CONCRETE FOOTING RING WHEN REQUIRED BY ENGINEER OR INSPECTOR & WHEN BACKFILL IS REQUIRED

2' MIN. TO GROUND WATER  
6" PENETRATING INLET ACCEPTABLE DRAINAGE MATERIAL

ALL LEACHING POOLS TO HAVE MANHOLE COVERS TO GRADE

8" MIN. - 12" MAX. BRICK LEVELING COURSE

6" x 3" OPENING (TYP.) MIN. 2", MAX. 6"

10" REINFORCED H-20 LOADING CONCRETE SLAB

10' DIA#2  
9' DIA#3

MINIMAL AMOUNT OF EXCAVATION 3' COLLAR BACKFILL TO BE CLEAN SAND OR BANKRUN

4' MIN. DRAINAGE RINGS SHALL BE FILLED WITH GEOTEXTILE FABRIC BY PHILLIPS PETROLEUM CO. SUPPLY, OR AN APPROVED EQUAL

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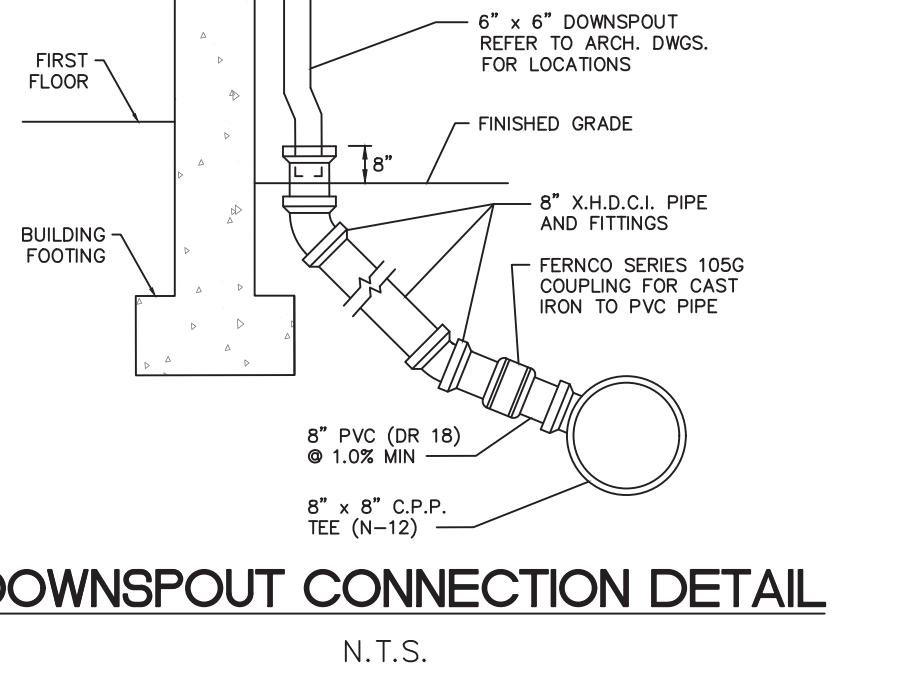
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9' DIA#3

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CONCRETE FOOTING RING WHEN REQUIRED BY ENGINEER OR INSPECTOR & WHEN BACKFILL IS REQUIRED



**DROP INLET DETAIL**

N.T.S.

CAST IRON INLET- COVER TO GRADE GRATE TYPE OPENING (CAMPBELL FOUNDRY #1004 B STRAIGHT TYPE FRAME) OR EQUAL (FLUSH W/ NEW GRADE)

ONE OR TWO COURSE BRICK AS REQUIRED TO BRING COVER TO GRADE



**DOWNSPOUT CONNECTION DETAIL**

N.T.S.

6" x 6" DOWNSPOUT REFER TO ARCH. DWGS. FOR LOCATIONS

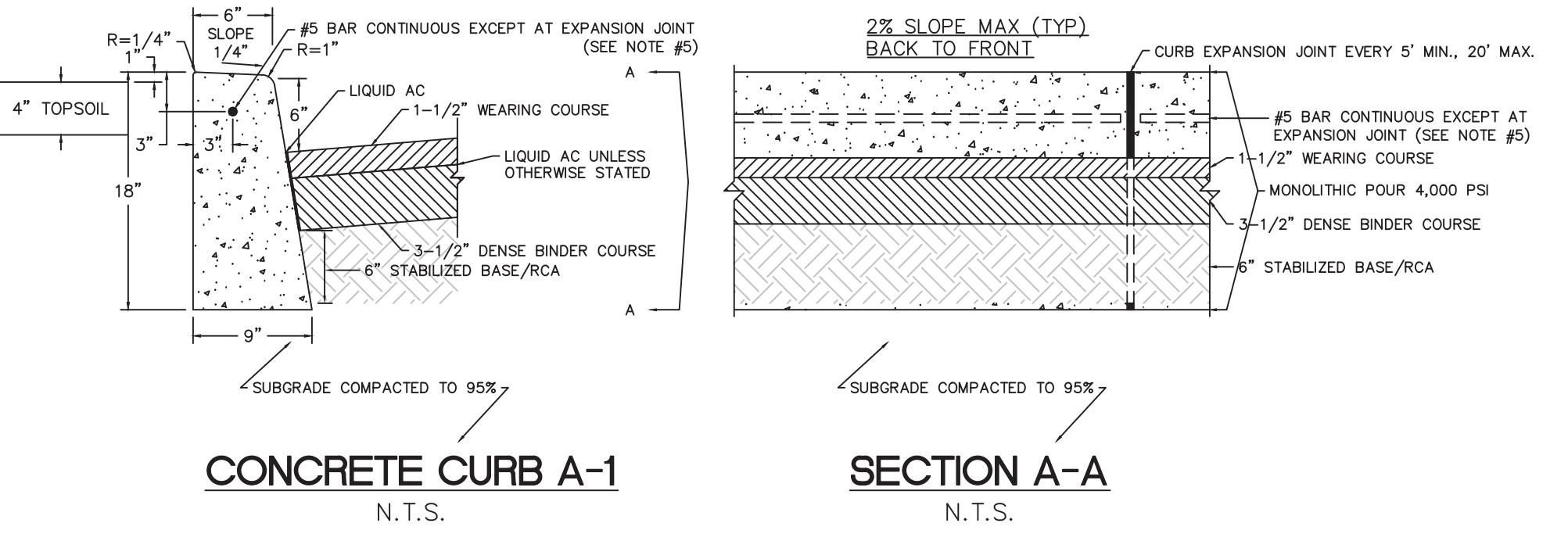
FINISHED GRADE

8" X.H.D.C.I. PIPE AND FITTINGS

FERNCO SERIES 105G COUPLING FOR CAST IRON TO PVC PIPE

8" PVC (DR 18) @ 1.0% MIN

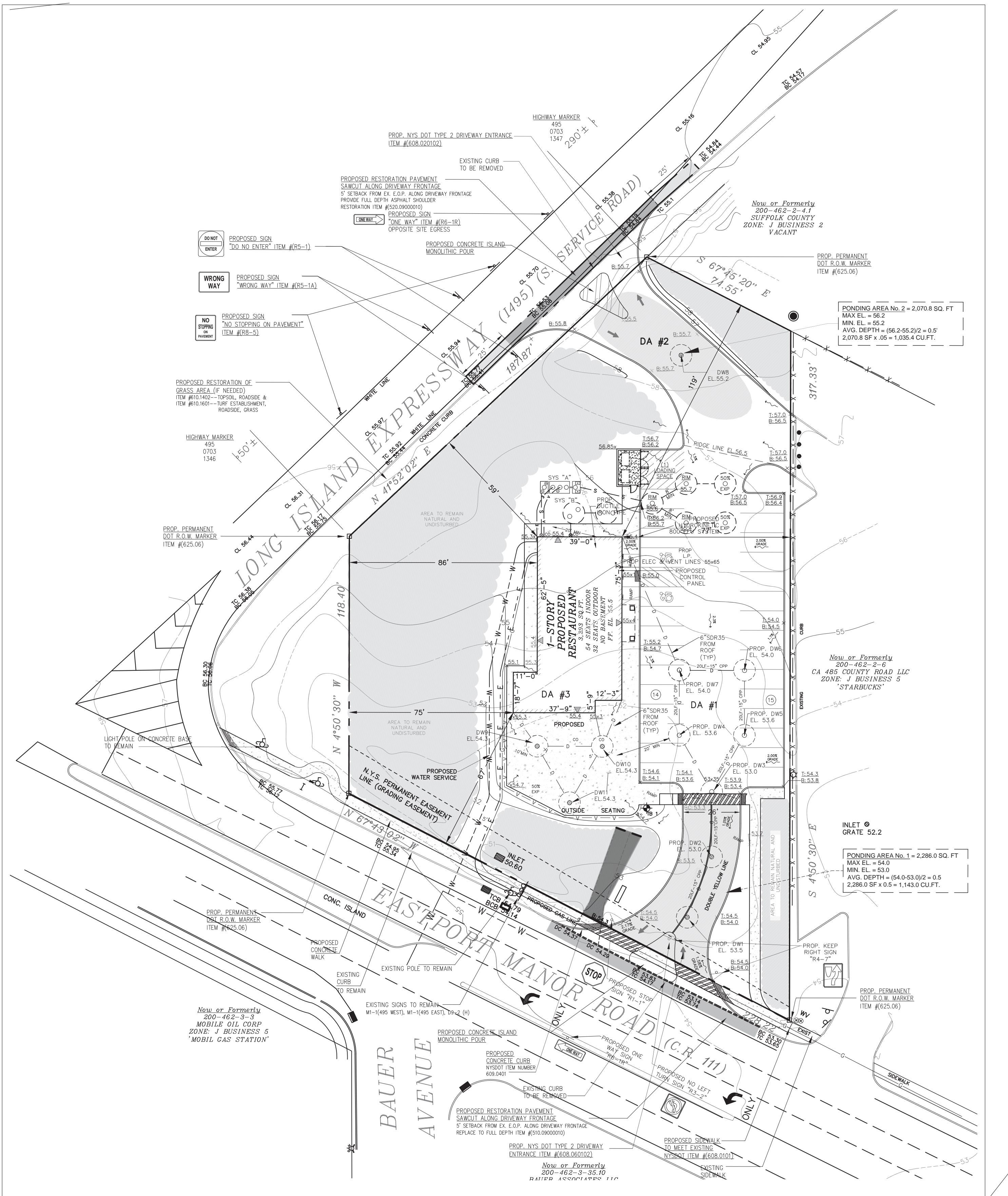
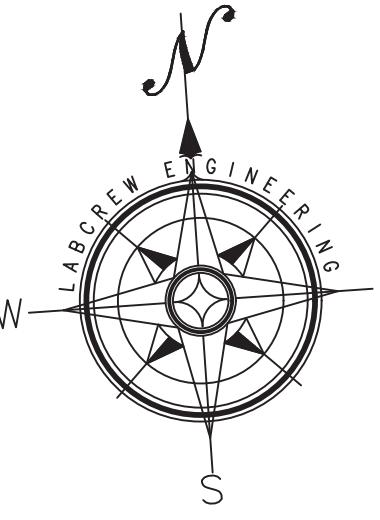
8" x 8" C.P.P. TEE (N-12)



**CONCRETE CURB A-1**

N.T.S.

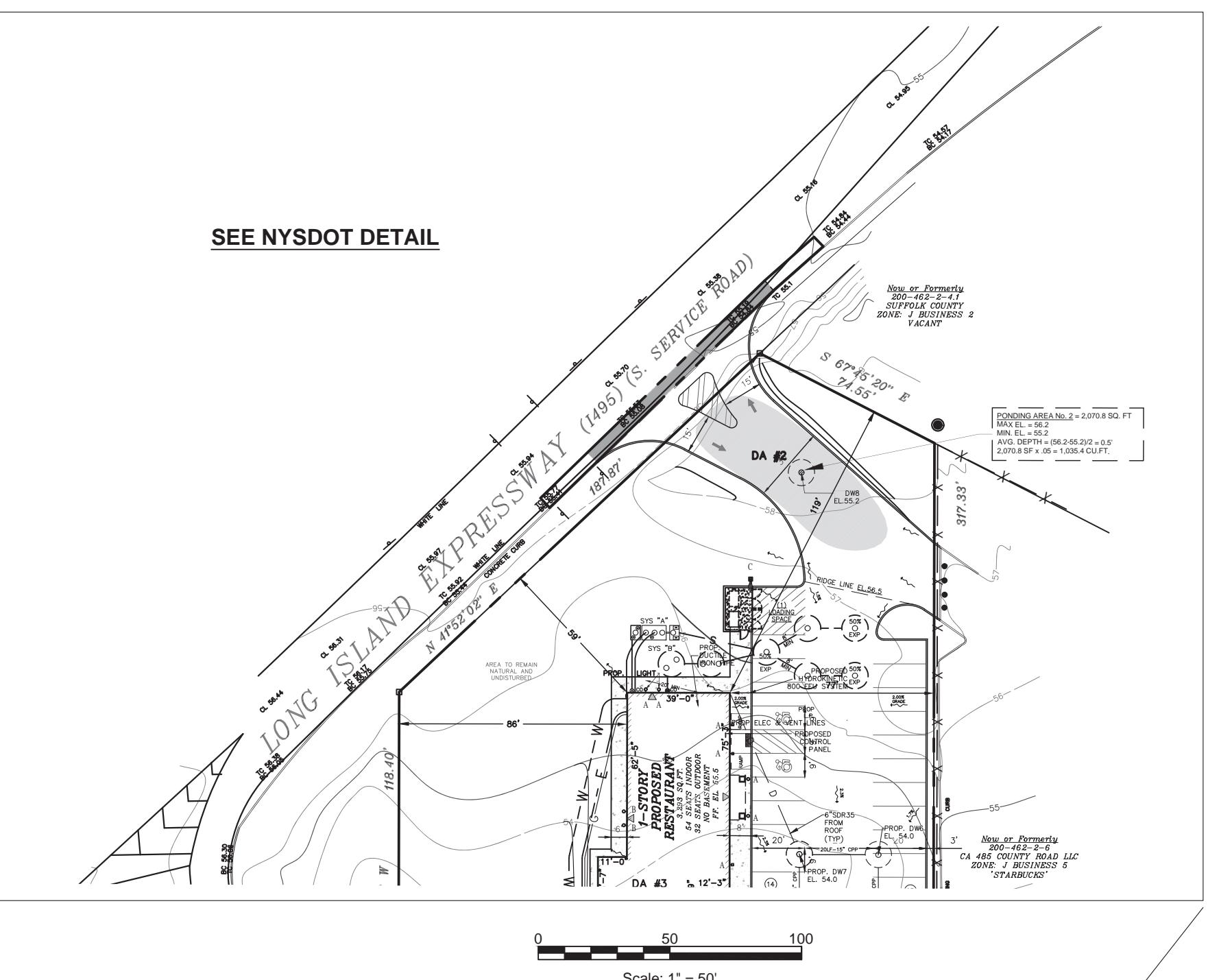
**SECTION A-A**



# NYSDOT DETAIL

Scale: 1" = 30'

## SEE NYSDOT DETAIL

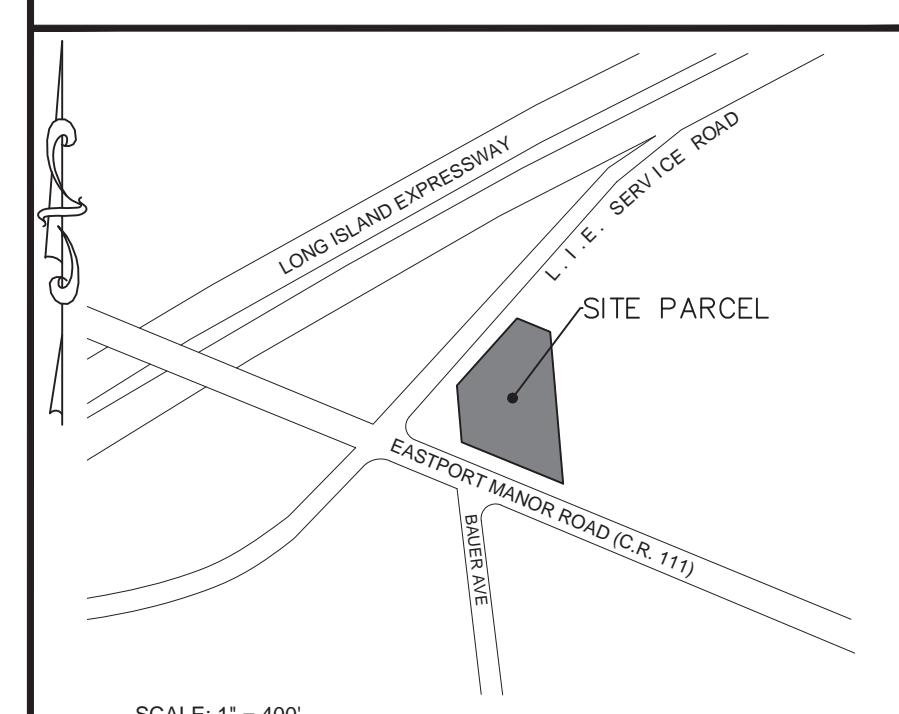


**NYSDOT CASE NUMBER 105143**

# TEST BORING

**SURVEY PREPARED BY:**  
RUSSELL H. LEWIS CO. LAND  
SURVEYOR  
57 CONKLIN AVENUE,  
WHEATLEY HEIGHTS, NY 11798  
PHONE: (516) 474-3665 DATE:  
JUNE 22, 2021

## KEY MAP



## SITE CRITERIA

## **SITE DATA:**

LAND AREA	1.167 ACRES	50,848.9	SQ.FT.
BUILDING AREA		3,293	SQ.FT.
DP. F.A.R.		6.5	%
STALLS REQUIRED		29	STALLS
VIDED w/LOADING		30	STALLS
ATUM		NAVD 1988	
ONING		J BUSINESS 2	
USE		RESTAURANT w/OUTDOOR SEATING	

## DRAINAGE CALCULATION

<b>AREA #1 - 19,025.8 SQ.FT.</b>	
<b>RAGE:</b>	<b>= 4" RAINFALL</b>
AREA (16,477.5 S.F.) x .33	= 5,437.6 CU.FT.
11.8 S.F.) x .33 x .15 RUN OFF	= 44.6 CU.FT.
546.5 S.F. ) x .33	= 543.3 CU.FT.
<b>ED VOLUME</b>	<b>= 6,25.5 CU.FT.</b>
68,42 CU.FT./ FT (10'Ø)	= 88.1 LIN. FT. REQ.
10' Ø x 11' EFFECTIVE DEPTH	= 88 LIN. FT. PROV.
<b>E PROVIDED</b>	<b>= 6,020.9 CU.FT.</b>
<b>ADDITIONAL VOLUME REQUIRED</b>	<b>= 4.6 CU.FT.</b>

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MANORVILLE, NY 11949

NOTE DI AN-

| PLAN

PROJECT		TITLE
NO.	DATE	REVISION
1	1/3/23	SCDHS COMMENTS
2	1/16/23	SCDHS COMMENTS
3	3/27/23	FLIP BUILDING/COMMENTS
4	6/20/23	NYSDOT COMMENTS
PROJECT No.	21-084	
DRAWN BY	CTN	
CHECKED	CTL	
DATE	November 2022	
SCALE	AS NOTED	
<h1>DOT-1</h1>		
SHEET NO. 8 OF 9		

# DOT-1

