

## Hargrave, Julie

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**From:** Antoinette (Toni) Rivera <[arivera@brookhavenny.gov](mailto:arivera@brookhavenny.gov)>  
**Sent:** Monday, October 31, 2022 1:41 PM  
**To:** Bruce Schaal; Brooke Kelsey; Peter Fountaine; Kerri Berberich; PB Hargrave, Julie; Kennedy, Kimberly; [scdhswb@suffolkcountyny.gov](mailto:scdhswb@suffolkcountyny.gov); Kouril, Torey K (DEC); Anthony Todaro; Chris Mehrman; Keith Williams; Neil Thomas; Melik Tariq; Mohammad Islam  
**Cc:** Michael Albano  
**Subject:** 22SP0048 Crest Coram 1, LLC  
**Attachments:** 22SP0048 10-31-22 Initial Coordination Letter.pdf; 22SP0048 10-25-22 Site Plans.pdf; 22SP0048 10-25-22 Application.pdf; 22SP0048 10-25-22 EAF.pdf

**CAUTION:** This email originated from outside of SCWA. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon,

Please be advised that the Planning Board of the Town of Brookhaven has received a new application for the above referenced action. For your review and consideration, please find attached a copy of the project application, EAF & site plans.

The Planning Board would like to encourage your agency to make any comments or suggest mitigation measures, particularly with respect to your areas of expertise and jurisdiction, which would enhance the utilization of this site or provide additional protection to the community.

Please print as needed.

Have a great day,

*Antoinette (Toni) Rivera*

Town of Brookhaven, Planning Division  
631-451-6400



# Town of Brookhaven Long Island

**Edward P. Romaine, Supervisor**

DATE: October 31, 2022

TO: Bruce Schaal, Town of Brookhaven, Division of Engineering  
Peter E. Fountaine, Town of Brookhaven, Division of Environmental Protection  
Christopher Mehrman, Town of Brookhaven, Division of Fire Prevention  
Kerri Berberich Town of Brookhaven, Division of Traffic Safety  
Judy Jakobsen, Central Pine Barrens Joint Planning & Policy Commission  
Kimberly Kennedy, Suffolk County Water Authority  
Gregson H. Pigott, Suffolk County, Department of Health Services  
Melik Tariq, New York State, Department of Transportation  
Torey Kouril, New York State, Department of Environmental Conservation

FROM: Michael Albano  
Planning Division

RE: Site Plan: **Crest Coram 1, LLC**, Log # **22SP0048**  
Demo of existing building and parking and construction of new commercial building, drive-thru, and associated site improvements.  
396 Route 25 Middle Country Rd., S/o Route 112, Coram  
Suffolk County Tax Map #: 0200 47600 0200 032001, 034001& 030000, 2.19 acres

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Please be advised that the Planning Board of the Town of Brookhaven has received an application for the above referenced action. For your review and consideration, please find enclosed a copy of the project application, EAF & site plans.

The Planning Board would like to encourage your agency to make any comments or suggest mitigation measures, particularly with respect to your areas of expertise and jurisdiction, which would enhance the utilization of this site or provide additional protection to the community.

It is requested that any comment letter be sent directly to the applicant with a copy to this office. Your reply is kindly requested within 30 days of the date of this mailing.

Thank you for your continued cooperation. If you have any questions or need any further information, please contact this Division.

MA/ar

**Planning, Environment and Land Management**  
**James M. Tullo, Commissioner**

One Independence Hill • Farmingville • NY 11738 • Phone (631) 451-6400 • Fax (631) 451-6419  
[www.brookhavenny.gov](http://www.brookhavenny.gov)



Town of

# Brookhaven

Long Island, New York

# Land Use Application

One Independence Hill, Farmingville, NY 11738

Form PL-01 rev E 1/1/2019

Page 1 of 11

Please check the appropriate application request:

## 1. TOWN BOARD:

- 1a. AMENDMENT OF RESTRICTIVE COVENANT (TBR)
- 1b. CHANGE OF ZONE (CZ)
- 1c. PLANNED DEVELOPMENT DISTRICT (PDD)(CZ)
- 1d. SPECIAL PERMIT (CZ)

Case Number: Application Date: 

Town Use Only

## 2. PLANNING BOARD:

- 2a. AMEND RESTRICTIVE COVENANT (Relief of Covenant) PBR
- 2b. FINAL SUBDIVISION - FS
- 2c. LAND DIVISION - LD
- 2d. PLANNING BOARD VARIANCE
- 2e. PRELIMINARY FINAL SUBDIVISION - FS
- 2f. PRELIMINARY SUBDIVISION - PS
- 2g. ROAD IMPROVEMENT/RESUBDIVISION - RI
- 2h. SINGLE FAMILY RESIDENCE - SF
- 2i. SITE PLAN- SP
- 2j. SPECIAL PERMIT - SP
- 2k. 278 CLUSTER TREATMENT (Submitted w/PS, FS, PF, LD or RI)
- 2l. OTHER:

Application is hereby made to the Town of Brookhaven for the application type requested.

By application submittal, the applicant does hereby authorize employees or agents of the Town of Brookhaven to enter and inspect the project site as necessary in conjunction with this application.

## 3. PLANNING DIVISION:

- 3a. CHANGE OF USE - CU  
(including facade and minor additions up to 500 sf)
- 3b. FIRE/AMBULANCE, ETC. - OM
- 3c. TEST HOLE - TH
- 3d. TREE CLEARING - TC
- 3e. REVEGETATION PLAN- RV



Town of  
**Brookhaven**  
Long Island, New York

# Land Use Application

Form PL-01 rev E 1/1/2019

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**I. GENERAL APPLICATION:**  
**A. PROPERTY LOCATION:**

DISTRICT SECTION BLOCK LOT  
0200 - 47600 - 0200 - 32.1, 34.1, 30.0

Name of Application: Crest Coram I LLC

Located at #: 396, on the  N  E  S  W side of: Middle Country Road (NYS Route 25)

Distance: 0,  N  E  S  W of: Patchogue Port Jefferson Road (NYS Route 112)

Hamlet Coram

Post Office: Coram

Ambulance District: Coram

School District: Longwood CSD

Fire District: Coram

**\*Total Proposed S.F. of Building(s):** 2,079

Property Size (Acres): 2.19

OR Square Feet:

Disturbed Property Size (Acres): 1.51

OR Square Feet:

Present Zoning/Use of Site  
\*and A1 Residential

J6 Business District

Proposed Zoning/Use of Site  
\*and A1 Residential

J6 Business District

Name of Subdivision: N/A

Subdivision Lot Number: N/A

Yes  No Does the property in question conform to the lot area requirement?

Scope of Proposed Work: (Please list all SCTM #'s associated with application)

SCTM No. 0200-476.00-02.00-034.001, 032.001, 030.000

The applicant seeks, from the Planning Board, a parking variance from the number of parking stalls required by Code Section 85-852 (21 required, 15 proposed), and site plan approval, in connection with demolishing the existing building and parking, and constructing a new commercial building (2,079 square feet), with a drive-through, together with parking facilities, lighting, drainage, landscaping and other site improvements. On September 29, 2022, the applicant received approval from the Town Board for a special permit for a major restaurant, with accessory drive-through, pursuant to Code Section 85-477(B), and a waiver from the special permit criteria of Code Sections 85-483 and 85-852 requiring 12 queuing stalls (8 queuing stalls approved).



Town of  
**Brookhaven**  
Long Island, New York

## Land Use Application

Form PL-01 rev. E 6/2/15

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**B. PROPERTY OWNER/ENTITY CONSENT:** (separate sheets may be used for multiple owners)

Be advised that I am the owner of record of the property referenced herein and hereby consent to this application. By this application, the owner does hereby authorize employees or agents of the Town of Brookhaven, in conjunction with this application, to enter and inspect the project site as necessary.

Owner/Entity Name:

Firm Name:

Address:

Hamlet:

State:

Zip:

Tel#:

E-mail:

Fax#:

If corporation, name of responsible officer:  Title

IN WITNESS WHEREOF I have hereto set my hand onto this  day of  ,

  
Sign By Owner/Officer

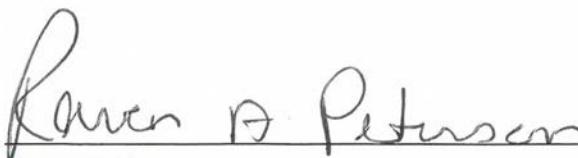
STATE OF NEW YORK )

) ss.:

COUNTY OF SUFFOLK

)

On the 12<sup>th</sup> day of October in the year 2022 before me, the undersigned, personally appeared Danielle P. Scarda personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity (ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.



Notary Public

RAVEN A. PETERSON  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01PE6326123  
Qualified in Suffolk County  
Commission Expires June 15, 2023



Town of  
**Brookhaven**  
Long Island, New York

## Land Use Application

Form PL-01 rev E 6/2/15

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**B. PROPERTY OWNER/ENTITY CONSENT:** (separate sheets may be used for multiple owners)

Be advised that I am the owner of record of the property referenced herein and hereby consent to this application. By this application, the owner does hereby authorize employees or agents of the Town of Brookhaven, in conjunction with this application, to enter and inspect the project site as necessary.

Owner/Entity Name:

Firm Name:

Address:

Hamlet:

State:

Zip:

Tel#:

E-mail:

Fax#:

If corporation, name of responsible officer:  Title

IN WITNESS WHEREOF I have hereto set my hand onto this  day of  ,

  
\_\_\_\_\_  
Sign By Owner/Officer

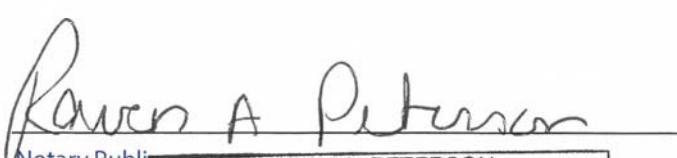
STATE OF NEW YORK )

) ss.:

COUNTY OF SUFFOLK

)

On the 12<sup>th</sup> day of October in the year 2022 before me, the undersigned, personally appeared Danielle P. Scarda personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity (ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

  
\_\_\_\_\_  
Notary Public

RAVEN A. PETERSON  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01PE6326123  
Qualified in Suffolk County  
Commission Expires June 15, 2023



Town of  
**Brookhaven**  
Long Island, New York

# Land Use Application

Form PL-01 rev E 6/2/15

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## C. APPLICANT/CONTRACT VENDEE/LESSEE

(If same as owner, state in name field below)

Name:  Firm Name:   
Street Address:   
City:  State:  Zip:  Tel#:   
E-mail:  Fax#:

## D. PLAN PREPARER

Name:  Firm Name:   
Street Address:   
City:  State:  Zip:  Tel#:   
E-mail:  Fax#:

## E. ATTORNEY/AGENT (If applicable):

Name:  Firm Name:   
Street Address:   
City:  State:  Zip:  Tel#:   
E-Mail:  Fax#:

## F. Removal of Excess Materials

### Engineers Certification:

The site plan or subdivision submitted to the Board depicts an excess of  cubic yards, proposed to be removed from the premises.

Name:  Phone Number:   
E-mail:  License Number:   
Signature: Date:



Town of  
**Brookhaven**  
Long Island, New York

## Land Use Application

Form PL-01 rev E 6/2/15

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### II. BOARD OF ETHICS TRANSACTIONAL DISCLOSURE:

Case Number:

#### A. APPLICANT

Application Date:

Name:  Address:  1201 Route 112, Suite 900

City:  State:  NY Zip:  11776 Tel#:  (631) 582-4800

E-Mail:  a.scaroda@crestdry.com Fax#:  (631) 582-4955

Yes  No Does any officer of the State of New York, officer or employee of the Town of Brookhaven, officer or employee of Suffolk County, officer of a political party in Suffolk County or his or her spouse, brother, sister, parent, child, grandchild, or the spouse of any of them have an interest in this application by virtue of being the actual applicant, or, by virtue of having an interest in the corporation, partnership, or association making such application?

#### B. If you checked "Yes" above, please complete the following section below:

Interested Party and Nature of Interest:

Name:  Address:

City:  State:  Zip:

Title:  Department:

Relationship to Public Officer/Employee and Title if other than Self:

Yes  No 1. Is the owner of greater than five percent (5%) of the corporate stock of the application when the applicant is a corporation whose stock is listed on the New York or American Stock Exchanges,

Yes  No 2. The actual applicant,

Yes  No 3. An Officer, Director, Partner, or Employee of the applicant, or,

Yes  No 4. Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant.

Danielle P. Scarda

Print Name:

Signature:

On the 12<sup>th</sup> day of October, in the year 2022, before me, the undersigned, a Notary Public in and for said State, appeared Danielle P. Scarda, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their/ capacity(ies), and they by his/her/their signature(s), on the instrument, the individual(s), or the person(s) upon behalf of which the individual(s) acted, executed the instrument.

Karen A. Peterson

Notary Public:

RAVEN A. PETERSON  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01PE6326123  
Qualified in Suffolk County  
Commission Expires June 15, 2023



Town of  
**Brookhaven**  
Long Island, New York

## Land Use Application

Form PL-01 rev E 6/2/15

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### II. BOARD OF ETHICS TRANSACTIONAL DISCLOSURE:

Case Number:

#### A. APPLICANT

Application Date:

Name:  Middle Country LLC Address:  1201 Route 112, Suite 900

City:  Port Jefferson Station State:  NY Zip:  11776 Tel#:  (631) 582-4800

E-Mail:  d-scarda@crest.org.com Fax#:  (631) 582-4955

Yes  No Does any officer of the State of New York, officer or employee of the Town of Brookhaven, officer or employee of Suffolk County, officer of a political party in Suffolk County or his or her spouse, brother, sister, parent, child, grandchild, or the spouse of any of them have an interest in this application by virtue of being the actual applicant, or, by virtue of having an interest in the corporation, partnership, or association making such application?

#### B. If you checked "Yes" above, please complete the following section below:

Interested Party and Nature of Interest:

Name:  Address:

City:  State:  Zip:

Title:  Department:

Relationship to Public Officer/Employee and Title if other than Self:

Yes  No 1. Is the owner of greater than five percent (5%) of the corporate stock of the application when the applicant is a corporation whose stock is listed on the New York or American Stock Exchanges,

Yes  No 2. The actual applicant,

Yes  No 3. An Officer, Director, Partner, or Employee of the applicant, or,

Yes  No 4. Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant.

Danielle P. Scarda

Signature: 

Print Name:

On the 12<sup>th</sup> day of October, in the year 2022 before me, the undersigned, a Notary Public in and for said State, appeared Danielle P. Scarda, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their/ capacity(ies), and they by his/her/their signature(s), on the instrument, the individual(s), or the person(s) upon behalf of which the individual(s) acted, executed the instrument.

Raven A. Peterson

Notary Public:

RAVEN A. PETERSON  
NOTARY PUBLIC, STATE OF NEW YORK  
Registration No. 01PE6326123  
Qualified in Suffolk County  
Commission Expires June 15, 2023



## III. A. PROJECT DATA

Yes  No 1. Is the property within 500' of the boundary of any village or town? Village/Town

Yes  No 2. Within 500' of any existing or proposed County or State Parkway, Thruway, Expressway or highway?

Yes  No 3. Within 500' of any existing or proposed boundary of any County, State or Federal owned land?

Yes  No 4. Within 500' of any existing or proposed place of public assembly?

Yes  No 5. Within 100' of any freshwater or tidal wetland system?

Yes  No 6. Within Carmans River Watershed area?

Yes  No 7. Within a designated Historic District or Historic District Transition Zone?

Yes  No 8. Are there any existing covenants or restrictions affecting the premises for which the approval is sought?  
If **Yes**, please attach a copy certified by the Suffolk County Clerk.

Yes  No 9. Are there covenants or conditions being offered which would affect the use or development of this property?

Yes  No 10. Is the property improved with any structures or signs? If **Yes**, attach a copy of any Certificate of Occupancy(s), Certificates of Existing Use(s), and/or Certificate of Zoning Compliance(s) for all of the existing structures and/or signs.

Yes  No 11. Is the property located within the New York State Hydrogeologic Sensitive Zone?

Yes  No 12. Is the property located within the New York State designated Central Pine Barrens area?

Yes  No 13. Is there any Pine Barrens Credits being purchased?

Yes  No 14. Does the owner/applicant own or have any interest in any contiguous property?  
If **Yes**, list the SCTM numbers below:

Yes  No 15. Have you applied for Health Department approval for sanitary waste for the proposed use?

Yes  No 16. Do any Special Districts or utilities service the site?  
If **Yes**, please explain below:

Yes  No 17. Will there be any use, manufacture, or disposal of any hazardous materials, and/or ground water resources be utilized in any other way other than for normal potable consumption, and/or any air, noise or light emissions occur. If **Yes**, please explain below:

Yes  No 18. Is the property located on an improved road?

Yes  No 19. Is the road Town maintained?

Yes  No 20. Does the proposed property disturb more than one acre of land? If **Yes**, please prepare a Stormwater Pollution Prevention Plan.

Yes  No 21. Is the property located within a designated Zoning Overlay District?

Yes  No 22. Was the property subject to a public hearing on a change of zone application within the last 12 months?



Town of

# Brookhaven

Long Island, New York

## Land Use Application

Form PL-01 rev E 6/2/15

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### III. B. PROJECT DATA: ECONOMIC IMPACTS

Completed for all commercial/industrial projects and residential projects greater than 10 Units  
(If not applicable, check here and go to Section IV)  N/A

1. Does project involved Local, State or Federal funding?

Yes  No

2. **If single phase project:**

Anticipated period of construction months. (including demolition).

9-12 months

3. **If multi-phased:**

a. Total number of phases anticipated.

b. Expected date of commencement Phase 1. (including demolition)

c. Approximate completion date of final phase. (month/year)

d. Is Phase 1 functionally dependent on subsequent phases?

Yes  No

4. Number of jobs generated during construction. (full time equivalent)

40

5. Number of jobs generated after completion. (full time equivalent)

12

6. Number of jobs eliminated by this project.

0

7. What are the current tax revenues generated by the project site?

24,416.30

8. What tax revenues will project generate after completion?

27,474.00

9. What is the estimated cost of construction?

1,000,000

10. How many schoolchildren is the project expected to generate?  N/A

11. What is the estimated cost of educating the school-age children generated by the completion of this project?

N/A



## IV. SPECIAL USE PERMITS & VARIANCES:

**A1.** If the proposed project requires a **Special Permit**, please **check** the appropriate **Board** and describe the Special Permit request in the space below:

Town Board     Planning Board     Zoning Board of Appeals

N/A

**B1.** If the proposed project requires **Variances, or Waivers**, please **check** the appropriate **Board**, state the nature of the request and the reason in the space below:

Town Board     Planning Board     Zoning Board of Appeals

The applicant seeks, among other things, from the Planning Board, a parking variance from the number of parking stalls required by Code Section 85-852 (21 required, 15 proposed), in connection with demolishing the existing building and parking, and constructing a new commercial building (2,079 square feet), with a drive-through, together with parking facilities, lighting, drainage, landscaping and other site improvements. On September 29, 2022, the applicant received approval from the Town Board for a special permit for, among other things, a waiver from the special permit criteria of Code Sections 85-483 and 85-852 requiring 12 queuing stalls (8 queuing stalls approved).

Planning Board Variance from Code Section 85-852: 21 parking stalls required - 15 parking stalls proposed

## 2. VARIANCES/WAIVERS REQUESTED: Please check the type of variance/waiver request and specify the size proposed:

[Note: Upon application review, additional variance/waiver request(s) may be added by Town Application Examiners.]

<input type="checkbox"/>	Lot Area	<input type="text"/>	<input type="checkbox"/>	1st Story Sq. Ft.	<input type="text"/>
<input type="checkbox"/>	Lot Width	<input type="text"/>	<input type="checkbox"/>	2nd Story Sq. Ft.	<input type="text"/>
<input type="checkbox"/>	Front Yard Setback	<input type="text"/>	<input type="checkbox"/>	Special Permit Criteria	<input type="text"/>
<input type="checkbox"/>	Rear Yard Setback	<input type="text"/>	<input checked="" type="checkbox"/>	Other	<input type="text"/> Parking Stalls 21/15
<input type="checkbox"/>	Side Yard Setback	Minimum <input type="text"/>	Total <input type="text"/>		

## 3. List the structure(s) requiring variance/waiver(s): Specify whether each structure is **PROPOSED** or **EXISTING**:

<input type="text"/> Commercial building (2,079 SF) with drive-through & parking (15 stalls)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="text"/>	<input type="checkbox"/>	<input type="checkbox"/>
<input type="text"/>	<input type="checkbox"/>	<input type="checkbox"/>



Town of  
**Brookhaven**  
Long Island, New York

# Land Use Application

Form PL-01 rev E 6/2/15

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**C1.** If the proposed project requires an **Amendment to a Restrictive Covenant**, please **check** the appropriate **Board** and describe: A) Existing covenant for which relief is sought; B) Description of requested relief; and, C) Reason for requested relief, in the space below:

Town Board

Planning Board

Zoning Board of Appeals

N/A

2. Percentage of current covenant area affected:  %. Proposed percentage of covenant area affected:  %.

3. Percentage of current buffer area affected:  %. Proposed percentage of buffer area affected:  %.

## V. SUBDIVISION/LAND DIVISION:

A1. Complete for all subdivision/land division/road improvements

Deed(s) recorded in the Suffolk County Clerk's Office:

Date:

Liber:

Number of Lots:

Page:

Yes  No

2. Are there encumbrances or liens against this land other than mortgages?

Yes  No

3. Will the final plat be filed in sections, or will it cover the entire preliminary layout?

Yes  No

4. Are all the public open spaces shown on the layout to be dedicated for public purposes?

5. How many acres are to be dedicated for public park or playground purposes?

**Reset Form**

**TOWN OF BROOKHAVEN  
TRANSACTIONAL DISCLOSURE FORM  
(Conflict of Interest Form)**

A Transactional Disclosure form is required when someone submits certain applications to Brookhaven Town. The purpose of the disclosure is to alert the Town if a party of influence has an interest in this application or if someone within the Town who will participate in the decision has an interest.

**\*Note:** It is required that a copy of this form be sent to the Director of the Board of Ethics.

Name Crest Coram I LLC Address 1201 Route 112, Suite 900  
City Port Jefferson Station NY 11788  
Telephone 631.582.4800 Email d.scarda@thecrestgroupllc.com Zip 631.582.4955

This form is for:

An individual       A partnership       Limited Liability Company  
 A corporation       An association

**Nature of Application:**

Property Assessment Grievance for non-residential parcel    Variance  
 Amendment    Change of Zone  
 Approval of Plat    Exemption from Plat or Official Map  
 License or Permit affecting real property    Bidding on contract(s)  
 Site Plan Approval

390 Middle Country Road, Coram, NY  
SCTM No.: 0200-476.00-02.00-030.000, 032.001, 034.001

If Yes, complete the appropriate section below.  
If No, sign and date at end of form.

Please complete the following relevant section below:

### For individual:

**Interested Party:**

Name \_\_\_\_\_ Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Effective 5/15/2018

**For corporation:**

Interested Party:

Name \_\_\_\_\_ Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Title \_\_\_\_\_ Department \_\_\_\_\_

Relationship to Public Officer/Employee and Title, if other than Self: \_\_\_\_\_

Yes  No  Is the owner of greater than five percent (5%) of the corporate stock of the application when the applicant is a corporation whose stock is publicly traded.

Yes  No  The actual applicant,

Yes  No  An Officer, Director, Partner, or Employee of the applicant, or

Yes  No  Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant.

**For partnership or association:**

Interested Party:

Name \_\_\_\_\_ Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Title \_\_\_\_\_ Department \_\_\_\_\_

Relationship to Public Officer/Employee and Title, if other than Self: \_\_\_\_\_

Yes  No  Does the owner hold greater than five percent (5%) interest of publicly traded shares?

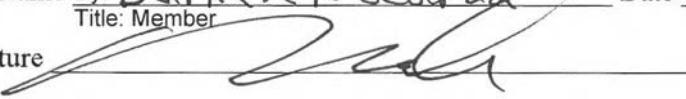
Yes  No  The actual applicant,

Yes  No  An Officer, Director, Partner, or Employee of the applicant, or

Yes  No  Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant.

**ALL APPLICANTS PLEASE FILL OUT BELOW:**

Print Name By: Daniel P. Scerda Date 10/12/22  
Crest Coram I LLC  
Title: Member

Signature 

Effective 05/15/2018

**TOWN OF BROOKHAVEN  
TRANSACTIONAL DISCLOSURE FORM  
(Conflict of Interest Form)**

A Transactional Disclosure form is required when someone submits certain applications to Brookhaven Town. The purpose of the disclosure is to alert the Town if a party of influence has an interest in this application or if someone within the Town who will participate in the decision has an interest.

**\*Note:** It is required that a copy of this form be sent to the Director of the Board of Ethics.

Name Middle Country LLC Address 1201 Route 112, Suite 900  
City Port Jefferson Station State NY Zip 11788  
Telephone 631.582.4800 Email d.scarda@thecrestgroupllc.com Fax 631.582.4955

This form is for:

An individual       A partnership       Limited Liability Company  
 A corporation       An association

**Nature of Application:**

<input type="checkbox"/> Property Assessment Grievance for non-residential parcel	<input checked="" type="checkbox"/> Variance
<input type="checkbox"/> Amendment	<input type="checkbox"/> Change of Zone
<input type="checkbox"/> Approval of Plat	<input type="checkbox"/> Exemption from Plat or Official Map
<input type="checkbox"/> License or Permit affecting real property	<input type="checkbox"/> Bidding on contract(s)
<input checked="" type="checkbox"/> Site Plan Approval	
396 Middle Country Road, Coram, NY	
Affected parcel (address) SCTM No.: 0200-476.00-02.00-030.000, 032.001, 034.001	

Does any officer or employee of the Town of Brookhaven, member of an executive committee of a political party, or his/her spouse, brother, sister, parent, child, grandchild or spouse of any of them, have an interest in this application by virtue of being the actual applicant, being the owner of the actual property or having an interest in the corporation, partnership or association making such application? Yes No

If Yes, complete the appropriate section below.

If No, sign and date at end of form.

**Please complete the following relevant section below:**

**For individual:**

**Interested Party:**

Name \_\_\_\_\_ Address \_\_\_\_\_  
City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Effective 5/15/2018

**For corporation:**

Interested Party:

Name \_\_\_\_\_ Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Title \_\_\_\_\_ Department \_\_\_\_\_

Relationship to Public Officer/Employee and Title, if other than Self: \_\_\_\_\_

Yes  No  Is the owner of greater than five percent (5%) of the corporate stock of the application when the applicant is a corporation whose stock is publicly traded.

Yes  No  The actual applicant,

Yes  No  An Officer, Director, Partner, or Employee of the applicant, or

Yes  No  Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant.

**For partnership or association:**

Interested Party:

Name \_\_\_\_\_ Address \_\_\_\_\_

City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Title \_\_\_\_\_ Department \_\_\_\_\_

Relationship to Public Officer/Employee and Title, if other than Self: \_\_\_\_\_

Yes  No  Does the owner hold greater than five percent (5%) interest of publicly traded shares?

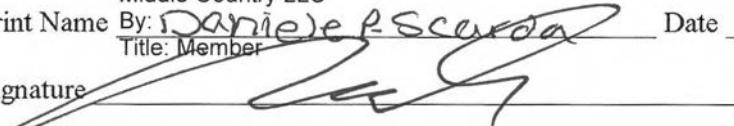
Yes  No  The actual applicant,

Yes  No  An Officer, Director, Partner, or Employee of the applicant, or

Yes  No  Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant.

**ALL APPLICANTS PLEASE FILL OUT BELOW:**

Middle Country LLC  
Print Name By: Danielle P. Scardal Date 10/12/22  
Title: Member

Signature 

Effective 05/15/2018

## Instructions for Completing Part 1

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

### A. Project and Applicant/Sponsor Information.

Name of Action or Project: Crest Coram I LLC		
Project Location (describe, and attach a general location map): 396 Middle Country Road (NYS Route 25), southwest corner of Middle Country Road and Patchogue Port Jefferson Road (NYS Route 112), Coram, NY. SCTM District 200, Section 476, Block 2, Lots 32.1, 34.1, 30.0		
Brief Description of Proposed Action (include purpose or need):  The applicant seeks, from the Planning Board, a parking variance from the number of parking stalls required by Code Section 85-852 (21 required, 15 proposed), and site plan approval, in connection with demolishing the existing building and parking, and constructing a new commercial building (2,079 square feet), with a drive-through, together with parking facilities, lighting, drainage, landscaping and other site improvements. On September 29, 2022, the applicant received approval from the Town Board for a special permit for a major restaurant, with accessory drive-through, pursuant to Code Section 85-477(B), and a waiver from the special permit criteria of Code Sections 85-483 and 85-852 requiring 12 queuing stalls (8 queuing stalls approved).		
Name of Applicant/Sponsor: Crest Coram I LLC		Telephone: 631-582-4800 E-Mail: d.scarada@crestorg.com
Address: 1201 ROUTE 112, Suite 900		
City/PO: Port Jefferson Station		State: NY Zip Code: 11776
Project Contact (if not same as sponsor; give name and title/role): ZACHARY CHAPLIN, PROJECT MANAGER		Telephone: 718 - 606 - 8305 E-Mail: zchaplin@stonefieldeng.com
Address: 584 BROADWAY, SUITE 310		
City/PO: NEW YORK CITY		State: NY Zip Code: 10012
Property Owner (if not same as sponsor): SAME AS SPONSOR		Telephone: E-Mail:
Address:		
City/PO:		State: Zip Code:

## B. Government Approvals

<b>B. Government Approvals, Funding, or Sponsorship.</b> ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	TOWN BOARD - SPECIAL PERMIT FOR MAJOR RESTAURANT WITH DRIVE-THRU	Conditionally approved on 09/29/2022
b. City, Town or Village <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Planning Board or Commission	TOWN PLANNING BOARD - SITE PLAN /TREE CLEARANCE APPROVAL - PARKING VARIANCE	TBD
c. City, Town or <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	TOWN DEPARTMENT OF ENV. PROTECTION - WETLANDS AND WATERWAYS PERMIT	TBD
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SUFFOLK COUNTY WATER AUTHORITY SUFFOLK COUNTY DEPARTMENT OF HEALTH	TBD
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	CENTRAL PINE BARRENS	TBD
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DOT - HIGHWAY WORK PERMIT, NYSDEC - SPDES PERMIT, NYSDEC - WETLANDS AND WATERWAYS PERMIT	TBD
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
iii. Is the project site within a Coastal Erosion Hazard Area?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

## C. Planning and Zoning

### C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the  Yes  No only approval(s) which must be granted to enable the proposed action to proceed? N/A

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

### C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

NYS Heritage Areas: LI North Shore Heritage Area

\_\_\_\_\_  
\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan,  Yes  No or an adopted municipal farmland protection plan?

If Yes, identify the plan(s):

\_\_\_\_\_  
\_\_\_\_\_

### C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance?  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
J BUSINESS 6 ZONE, A RESIDENTIAL 1 ZONE

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No  
c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

### C.4. Existing community services.

a. In what school district is the project site located? LONGWOOD CSD  
b. What police or other public protection forces serve the project site?  
SUFFOLK COUNTY POLICE DEPARTMENT - 6TH PRECINCT  
c. Which fire protection and emergency medical services serve the project site?  
CORAM FIRE DEPARTMENT  
d. What parks serve the project site?  
BIRCHWOOD ROAD PARK

## D. Project Details

### D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
COMMERCIAL  
b. a. Total acreage of the site of the proposed action? 2.19 acres  
b. Total acreage to be physically disturbed? 1.51 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 2.19 acres  
c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_  
d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_  
e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: 12 months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?

Yes  No

If Yes, show numbers of units proposed.

One Family

Two Family

Three Family

Multiple Family (four or more)

Initial Phase

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

At completion

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Initial Phase

Yes  No

If Yes,

i. Total number of structures 1

ii. Dimensions (in feet) of largest proposed structure: 22'-0" height; 33'-5" width; and 61'-0" length

iii. Approximate extent of building space to be heated or cooled: 2,079 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?

Yes  No

If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source.

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):  
\_\_\_\_\_

## D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No

(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

• Volume (specify tons or cubic yards): \_\_\_\_\_

• Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No

If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan:  
\_\_\_\_\_  
\_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description):  
\_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

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iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

• acres of aquatic vegetation proposed to be removed: \_\_\_\_\_

• expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_

• purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_

• proposed method of plant removal: \_\_\_\_\_

• if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 800 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

• Name of district or service area: SUFFOLK COUNTY WATER AUTHORITY

• Does the existing public water supply have capacity to serve the proposal?  Yes  No

• Is the project site in the existing district?  Yes  No

• Is expansion of the district needed?  Yes  No

• Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

• Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

• Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

• Applicant/sponsor for new district: \_\_\_\_\_

• Date application submitted or anticipated: \_\_\_\_\_

• Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 550 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

SANITARY WASTEWATER

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

• Name of wastewater treatment plant to be used: \_\_\_\_\_

• Name of district: \_\_\_\_\_

• Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No

• Is the project site in the existing district?  Yes  No

• Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will a line extension within an existing district be necessary to serve the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

THE SANITARY WASTEWATER WILL BE TREATED VIA ON-SITE SEPTIC SYSTEM IN ACCORDANCE WITH THE SUFFOLK COUNTY REQUIREMENTS AND STORM WATER RUNOFF WILL BE MAINTAINED ON-SITE IN ACCORDANCE WITH LOCAL AND COUNTY REQUIREMENTS.

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_

NOT APPLICABLE

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?  
24,892 Square feet or 0.57 acres (impervious surface)  
95,220 Square feet or 2.19 acres (parcel size)

ii. Describe types of new point sources. FLOW WILL BE DIRECTED ALONG CURBS TO INLETS, WHERE WATER WILL BE CONVEYED VIA PIPE FLOW TO SHALLOW LEACHING GALLEYS.

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

STORMWATER RUNOFF WILL BE DIRECTED TOWARDS STORMWATER MANAGEMENT FACILITIES INCLUDING ON-SITE SHALLOW LEACHING GALLEYS AND A BIORETENTION BASIN,

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_
- Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No

ii. In addition to emissions as calculated in the application, the project will generate:

- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
- \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
- \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Estimate methane generation in tons/year (metric): _____	
ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____	
i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____ _____	
j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend	
<input type="checkbox"/> Randomly between hours of _____ to _____.	
ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____	
iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____	
iv. Does the proposed action include any shared use parking? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:	
vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes:	
i. Estimate annual electricity demand during operation of the proposed action: _____ TBD	
ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): NATIONAL GRID/PSEG LONG ISLAND	
iii. Will the proposed action require a new, or an upgrade, to an existing substation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
l. Hours of operation. Answer all items which apply.	
i. During Construction:	
<ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7:00A-4:30P</li> <li>• Saturday: _____ N/A</li> <li>• Sunday: _____ N/A</li> <li>• Holidays: _____ N/A</li> </ul>	
ii. During Operations:	
<ul style="list-style-type: none"> <li>• Monday - Friday: _____ TBD</li> <li>• Saturday: _____ TBD</li> <li>• Sunday: _____ TBD</li> <li>• Holidays: _____ TBD</li> </ul>	

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If yes:	
i. Provide details including sources, time of day and duration:	_____
ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Describe: _____	
n. Will the proposed action have outdoor lighting?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If yes:	
i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:	_____
<u>AREA LIGHTING AND BUILDING LIGHTING WILL BE PROVIDED IN ACCORDANCE WITH THE LOCAL REQUIREMENTS.</u>	
ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Describe: _____	
o. Does the proposed action have the potential to produce odors for more than one hour per day?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____	
_____	_____
p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Product(s) to be stored _____	_____
ii. Volume(s) _____ per unit time _____ (e.g., month, year)	_____
iii. Generally, describe the proposed storage facilities: _____	_____
q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
i. Describe proposed treatment(s):	_____
_____	_____
_____	_____
ii. Will the proposed action use Integrated Pest Management Practices?	<input type="checkbox"/> Yes <input type="checkbox"/> No
r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
i. Describe any solid waste(s) to be generated during construction or operation of the facility:	_____
• Construction: _____ <u>TBD</u> tons per _____ (unit of time)	_____
• Operation : _____ 10 tons per _____ <u>YEAR</u> (unit of time)	_____
ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:	_____
• Construction: <u>ON-SITE RECYCLABLE WASTE DISPOSAL PROVIDED. RECYCLING TO BE COLLECTED THROUGHOUT CONSTRUCTION, AND APPROPRIATELY DISPOSED OF.</u>	_____
• Operation: <u>ON-SITE STORAGE PROVIDED (TRASH &amp; RECYCLING ENCLOSURE) TO BE PICKED UP BY PRIVATE COMPANY.</u>	_____
iii. Proposed disposal methods/facilities for solid waste generated on-site:	_____
• Construction: <u>ON-SITE WASTE DISPOSAL PROVIDED. WASTE TO BE COLLECTED THROUGHOUT CONSTRUCTION, AND APPROPRIATELY DISPOSED OF USING DUMP TRUCKS.</u>	_____
• Operation: <u>ON-SITE STORAGE PROVIDED (TRASH &amp; RECYCLING ENCLOSURE) TO BE PICKED UP BY PRIVATE COMPANY.</u>	_____

s. Does the proposed action include construction or modification of a solid waste management facility?

Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

• \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or

• \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

## E. Site and Setting of Proposed Action

### E.1. Land uses on and surrounding the project site

#### a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe:

#### b. Land uses and covertypes on the project site.

Land use or Covertype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.76	0.57	-0.19
• Forested	1.35	1.22	-0.13
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)	0.05	0.05	0.05
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: <u>VEGETATED (GRASS &amp; LANDSCAPE)</u>	0.03	0.35	+0.32

c. Is the project site presently used by members of the community for public recreation? i. If Yes: explain: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? If Yes, i. Identify Facilities: _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
e. Does the project site contain an existing dam? If Yes: i. Dimensions of the dam and impoundment: • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Dam's existing hazard classification: _____	
iii. Provide date and summarize results of last inspection: _____ _____	
f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: i. Has the facility been formally closed? • If yes, cite sources/documentation: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____	
iii. Describe any development constraints due to the prior solid waste activities: _____	
g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: <input type="checkbox"/> Yes – Spills Incidents database      Provide DEC ID number(s): _____ <input type="checkbox"/> Yes – Environmental Site Remediation database      Provide DEC ID number(s): _____ <input type="checkbox"/> Neither database	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. If site has been subject of RCRA corrective activities, describe control measures: _____ _____	
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If yes, provide DEC ID number(s): _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____ _____	

v. Is the project site subject to an institutional control limiting property uses?		<input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> <li>• If yes, DEC site ID number: _____</li> <li>• Describe the type of institutional control (e.g., deed restriction or easement): _____</li> <li>• Describe any use limitations: _____</li> <li>• Describe any engineering controls: _____</li> <li>• Will the project affect the institutional or engineering controls in place? _____</li> <li>• Explain: _____ _____ _____</li> </ul>		<input type="checkbox"/> Yes <input type="checkbox"/> No
<b>E.2. Natural Resources On or Near Project Site</b>		
a. What is the average depth to bedrock on the project site? _____ ±900 feet		
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %		
c. Predominant soil type(s) present on project site: <u>CUT AND FILL LAND</u> 100 % _____ % _____ %		
d. What is the average depth to the water table on the project site? Average: _____ ±3 feet		
e. Drainage status of project site soils: <input type="checkbox"/> Well Drained: _____ % of site <input type="checkbox"/> Moderately Well Drained: _____ % of site <input checked="" type="checkbox"/> Poorly Drained 100 % of site		
f. Approximate proportion of proposed action site with slopes: <input checked="" type="checkbox"/> 0-10%: 100 % of site <input type="checkbox"/> 10-15%: _____ % of site <input type="checkbox"/> 15% or greater: _____ % of site		
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe: _____		
h. Surface water features.		
i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
ii. Do any wetlands or other waterbodies adjoin the project site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
If Yes to either i or ii, continue. If No, skip to E.2.i.		
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
iv. For each identified regulated wetland and waterbody on the project site, provide the following information:		
<ul style="list-style-type: none"> <li>• Streams: Name _____ Classification _____</li> <li>• Lakes or Ponds: Name 922-49 Classification C</li> <li>• Wetlands: Name NYS Wetland, Federal Waters, Federal Waters Approximate Size NYS Wetland (in a...)</li> <li>• Wetland No. (if regulated by DEC) P-16</li> </ul>		
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
If yes, name of impaired water body/bodies and basis for listing as impaired: _____		
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
j. Is the project site in the 100-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
k. Is the project site in the 500-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		
If Yes:		
i. Name of aquifer: Sole Source Aquifer Names:Nassau-Suffolk SSA		

m. Identify the predominant wildlife species that occupy or use the project site: <u>Northern Long-Eared Bat</u>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	No	
n. Does the project site contain a designated significant natural community? If Yes:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
i. Describe the habitat/community (composition, function, and basis for designation): _____				
ii. Source(s) of description or evaluation: _____				
iii. Extent of community/habitat:				
• Currently: _____ acres				
• Following completion of project as proposed: _____ acres				
• Gain or loss (indicate + or -): _____ acres				
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? If Yes:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
i. Species and listing (endangered or threatened): _____				
<u>Northern Long-eared Bat</u>				
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? If Yes:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			
i. Species and listing: _____				
<u>Mottled Duskywing</u>				
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? If yes, give a brief description of how the proposed action may affect that use: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
<p><b>E.3. Designated Public Resources On or Near Project Site</b></p> <p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? If Yes, provide county plus district name/number: _____</p>				<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
b. Are agricultural lands consisting of highly productive soils present? i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No			
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? If Yes: i. CEA name: <u>SGPA, Central Suffolk Pine Barrens</u> ii. Basis for designation: <u>Protect groundwater, Benefit to human health &amp; protect drinking water</u> iii. Designating agency and date: <u>Agency:Long Island Regional Planning, Agency:Suffolk County, Date:3-19-93, Date:2-10-88</u>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No			

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: \_\_\_\_\_

iii. Brief description of attributes on which listing is based:  
\_\_\_\_\_

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: \_\_\_\_\_

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_

iii. Distance between project and resource: \_\_\_\_\_ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

## F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

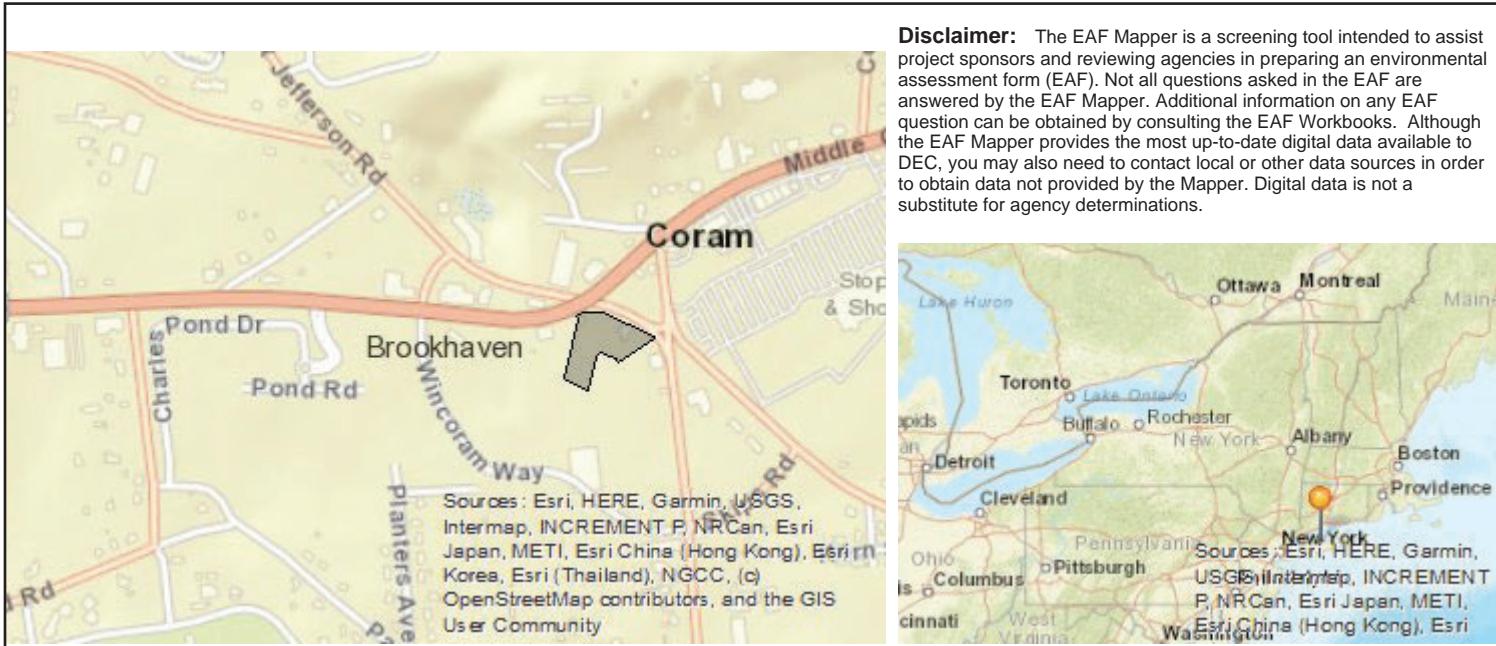
## G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name ZACHARY CHAPLIN, PE Date 10/20/2022

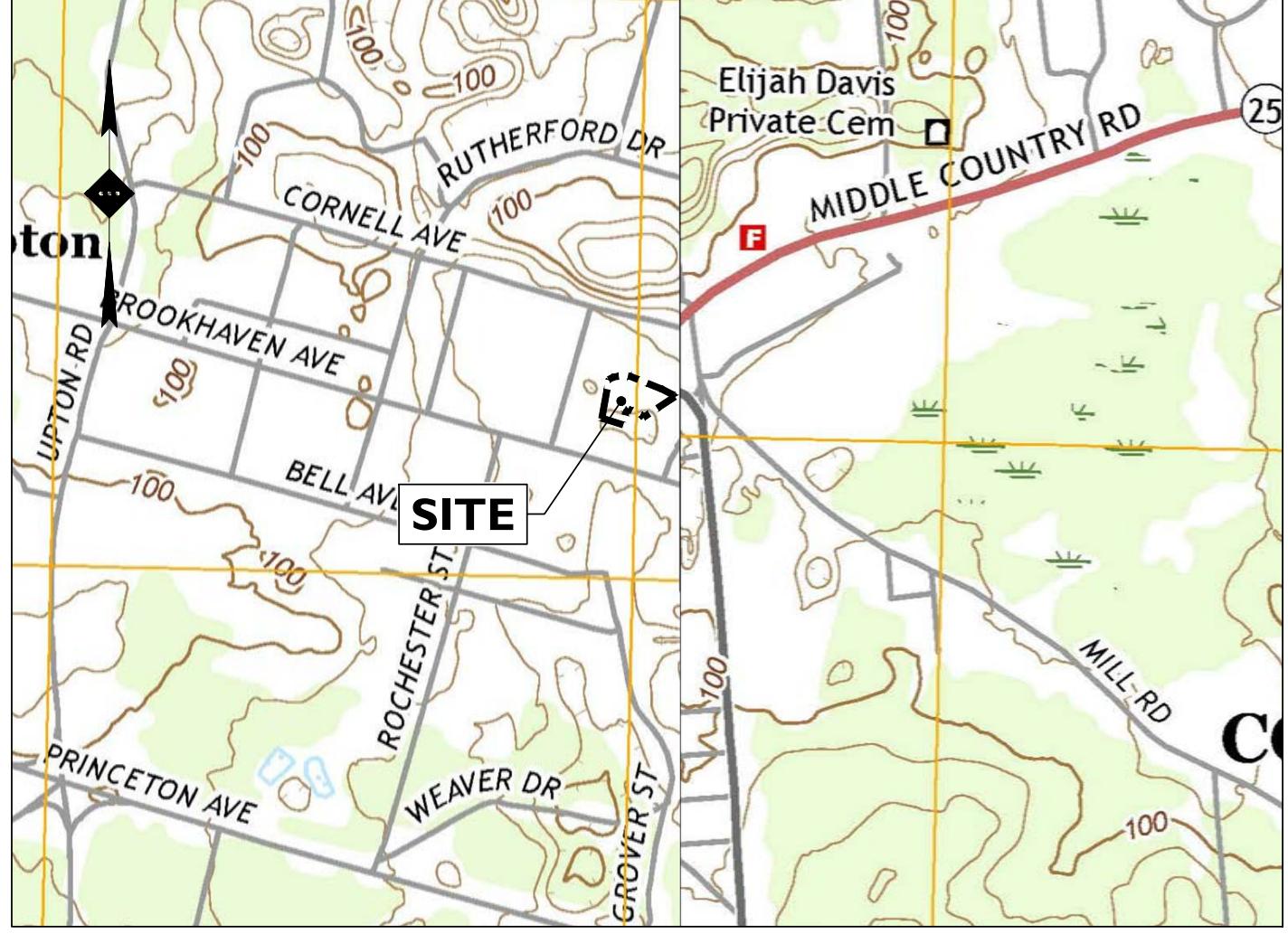
Signature 

Title PROJECT ENGINEER



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas: LI North Shore Heritage Area
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.ii [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Lake/Pond Name]	922-49
E.2.h.iv [Surface Water Features - Lake/Pond Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	NYS Wetland, Federal Waters
E.2.h.iv [Surface Water Features - Wetlands Size]	NYS Wetland (in acres): 7.8
E.2.h.iv [Surface Water Features - DEC Wetlands Number]	P-16

E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Sole Source Aquifer Names:Nassau-Suffolk SSA
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Northern Long-eared Bat
E.2.p. [Rare Plants or Animals]	Yes
E.2.p. [Rare Plants or Animals - Name]	Mottled Duskywing
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	Yes
E.3.d [Critical Environmental Area - Name]	SGPA, Central Suffolk Pine Barrens
E.3.d.ii [Critical Environmental Area - Reason]	Protect groundwater, Benefit to human health & protect drinking water
E.3.d.iii [Critical Environmental Area – Date and Agency]	Agency:Long Island Regional Planning, Agency:Suffolk County, Date:3-19-93, Date:2-10-88
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



SOURCE: USGS 7.5 MINUTE SERIES BELLPORT/ PATCHOGUE, NY QUADRANGLE MAP, DATED 2016

#### LOCATION / KEY MAP

SCALE: 1" = 1000'±



SOURCE: GOOGLE EARTH PRO AERIAL MAP, RETRIEVED FEBRUARY 10, 2016

#### AERIAL MAP

SCALE: 1" = 200'±



REFER TO NYSDOT HIGHWAY WORK PERMIT PLANS FOR DETAILS REGARDING IMPROVEMENTS WITHIN THE RIGHT-OF-WAY.

Know what's below  
Call before you dig.

# SITE PLANS FOR CREST GROUP, LLC PROPOSED DUNKIN' RESTAURANT WITH DRIVE-THRU

DISTRICT 200, SECTION 476, BLOCK 2, LOTS 30, 32.1 & 34.1

NYS ROUTE 25 & NYS ROUTE 112

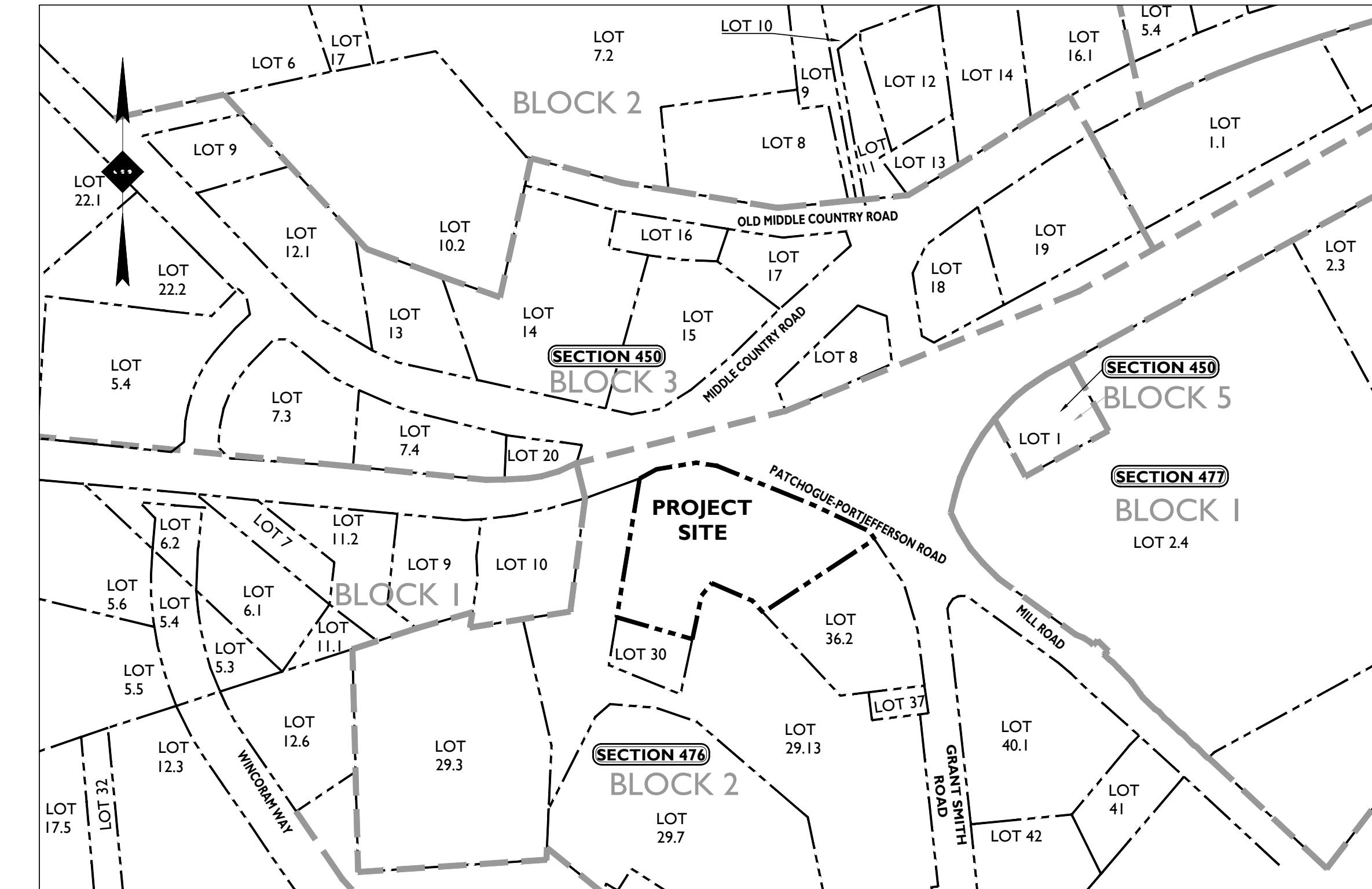
HAMLET OF CORAM, TOWN OF BROOKHAVEN  
SUFFOLK COUNTY, NEW YORK

#### RECEIVED

By Planning Division at 12:07 pm, Oct 25, 2022

#### APPLICANT & OWNER

THE CREST GROUP, LLC  
1201 ROUTE 112, SUITE 900  
PORT JEFFERSON STATION, NY 11776  
(O) (631) 582-4800  
(F) (631) 582-4955  
INFO@THECRESTGROUPLLC.COM

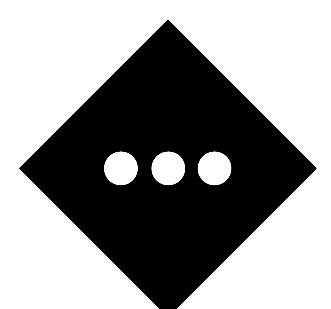


SOURCE: SUFFOLK COUNTY GIS VIEWER TAX MAPS, DATED APRIL, 2019

#### TAX MAP

SCALE: 1" = 200'±

#### PLANS PREPARED BY:



**STONEFIELD**  
engineering & design

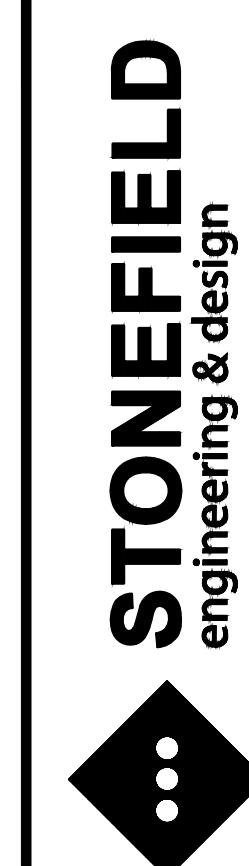
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Princeton, NJ • Tampa, FL • Detroit, MI  
www.stonefieldeng.com

584 Broadway, Suite 310, New York, NY 10012  
Phone 718.606.8305

#### PLAN REFERENCE MATERIALS:

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - AERIAL IMAGERY OBTAINED GOOGLE EARTH PRO, RETRIEVED MAY 15, 2019
  - SURVEY PREPARED BY STONEFIELD ENGINEERING, DATED APRIL 25, 2019
  - TAX MAP OBTAINED FROM THE SUFFOLK COUNTY GIS VIEWER, TOWN OF BROOKHAVEN TAX MAP, DATED APRIL 2019
  - LOCATION MAP OBTAINED FROM THE UNITED STATES GEOLOGICAL SURVEY, DATED 2016
2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

SHEET INDEX	
DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING & DRAINAGE PLAN	C-5
LANDSCAPING PLAN	C-6 - C-7
UTILITY PLAN	C-8
LIGHTING PLAN	C-9
SOIL EROSION & SEDIMENT CONTROL PLAN	C-10
CONSTRUCTION DETAILS	C-11 - C-14
DISTURBANCE PLAN	C-15



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Phone 718.606.8305

396 NYS ROUTE 112  
BLOCK 2, LOT 21, 34.1 & 30  
MIDDLE COUNTRY ROAD & NYS ROUTE 112  
HAMLET OF CORAM, TOWN OF BROOKHAVEN  
SUFFOLK COUNTY, NEW YORK



ZACHARY E. CHAPLIN, P.E.  
NEW YORK LICENSE NO. 09748  
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: K-18035

TITLE:

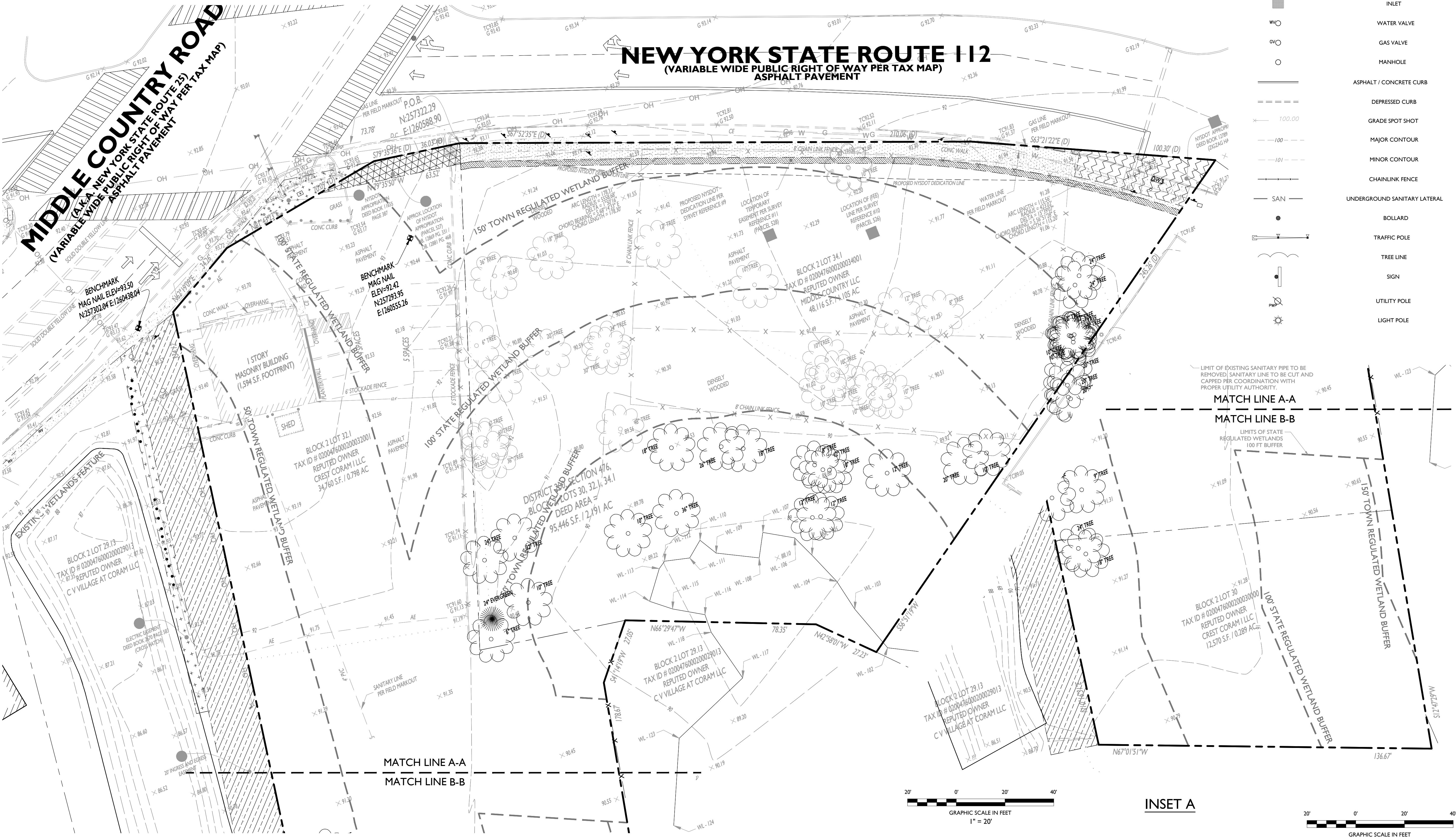
COVER SHEET

DRAWING:

C-1

**SURVEY NOTES**

1. THE ADDRESS FOR THIS PROPERTY IS 396 MIDDLE COUNTRY ROAD, CORAM, NY FROM RECORD DOCUMENTS.
2. THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING (03/28/2019) BASED ON AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE.
3. THIS SURVEY IS VALID ONLY WHEN AN EMBOSSED SEAL IS AFFIXED HERETO.
4. THE CERTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
5. LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON OBVIOUS ABOVE GROUND PHYSICAL UTILITY APPURTENANCES AND ACCESSIBLE MANHOLES. THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED BY DIGGING TEST HOLES PRIOR TO ANY DESIGN OR CONSTRUCTION, ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
6. BEARINGS ARE REFERENCED TO THE NJ STATE PLANE COORDINATE SYSTEM, NAD 83 (2011). ELEVATIONS SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), ESTABLISHED VIA RTK GPS OBSERVATIONS.
7. THE PROPERTY HAS DIRECT ACCESS TO MIDDLE COUNTRY ROAD & NEW YORK ROUTE 112.
8. A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C.14 (C45:8-36.3) AND N.J.A.C. 13:40-5.1(D)

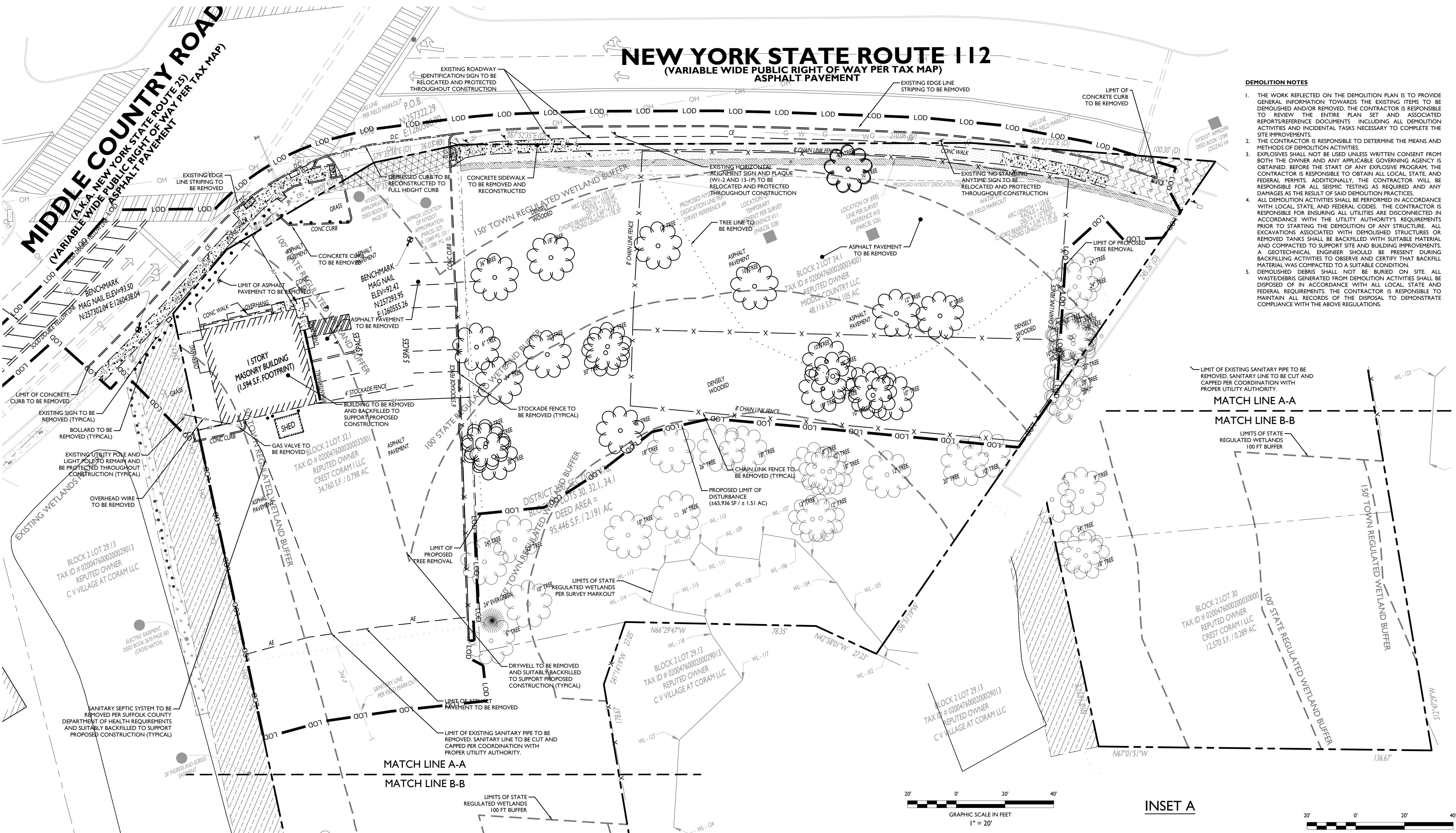


SITE PLANS	PROPOSED DUNKIN' RESTAURANT WITH DRIVE-THRU	396 NYS ROUTE 112 BLOCK 2, LOT 32.1, 34.1 & 30 MIDDLE COUNTRY ROAD & NYS ROUTE 112 HAMLET OF CORAM, TOWN OF BROOKHAVEN SUFFOLK COUNTY, NEW YORK	DUNKIN'
NOT APPROVED FOR CONSTRUCTION			
<p><b>STONEFIELD</b> engineering &amp; design</p>  <p>Rutherford, NJ • New York, NY Princeton, NJ • Tampa, FL • Detroit, MI <a href="http://www.stonefieldeng.com">www.stonefieldeng.com</a></p> <p>584 Broadway, Suite 310, New York, NY 10012 Phone 718.606.8305</p>			
14 13 12 11 10 09 08 07 06 01	10/19/2022 07/26/2022 03/16/2022 02/01/2022 05/24/2021 05/05/2021 04/01/2021 03/02/2021 01/22/2021 05/21/2019	JF JF FT BR AKM FT FT FT CMG ZC	ISSUED FOR SITE PLAN APPROVAL UPDATED FOR MUNICIPAL COMMENTS UPDATED PER NYSDEC COMMENTS UPDATED SITE PLAN LAYOUT UPDATED SITE PLAN LAYOUT RESUBMISSION TO THE TOWN RESUBMISSION TO THE TOWN RESUBMISSION TO THE TOWN RESUBMISSION TO THE TOWN SUBMISSION TO TOWN
ISSUE	DATE	BY	DESCRIPTION

ALL SITE FEATURES WITHIN THE LIMIT OF DISTURBANCE INDICATED ON THIS PLAN ARE TO BE REMOVED / DEMOLISHED UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF SIGNIFICANT DISCREPANCIES ARE DISCERNED BETWEEN THIS PLAN AND FIELD CONDITIONS



Know what's **below**  
Call before you dig.



SYMBOL	DESCRIPTION
-----	FEATURE TO BE REMOVED / DEMOLISHED
— LOD —	LIMIT OF DISTURBANCE
14 10/19/2022 JF	ISSUED FOR SITE PLAN APPROVAL
13 07/16/2022 JF	UPDATED FOR MUNICIPAL COMMENTS
12 03/16/2022 FT	UPDATED PER NYSDC COMMENTS
11 02/01/2022 BR	UPDATED SITE PLAN LAYOUT
10 05/14/2022 AKM	RESUBMISSION TO THE TOWN
09 05/05/2022 FT	RESUBMISSION TO THE TOWN
08 04/01/2022 FT	RESUBMISSION TO THE TOWN
07 03/02/2022 CMG	RESUBMISSION TO THE TOWN
06 01/22/2022 CMG	RESUBMISSION TO THE TOWN
01 05/20/2022 ZC	SUBMISSION TO TOWN
	DESCRIPTION
	NOT APPROVED FOR CONSTRUCTION
<b>STONEFIELD</b> engineering & design	Rutherford, NJ • New York, NY Princeton, NJ • Tampa, FL • Detroit, MI www.stonefieldeng.com
<b>DUNKIN'</b>	584 Broadway, Suite 310, New York, NY 10012 Phone 7/18/6068305
<b>SITE PLANS</b> <b>PROPOSED DUNKIN' RESTAURANT WITH DRIVE-THRU</b>	<b>DEMOLITION PLAN</b>
<b>STONEFIELD</b> engineering & design	<b>PROJECT ID: K-18035</b>
SCALE: 1" = 20'	TITLE:
DRAWING: C-3	GRAPHIC SCALE IN FEET 1" = 20'

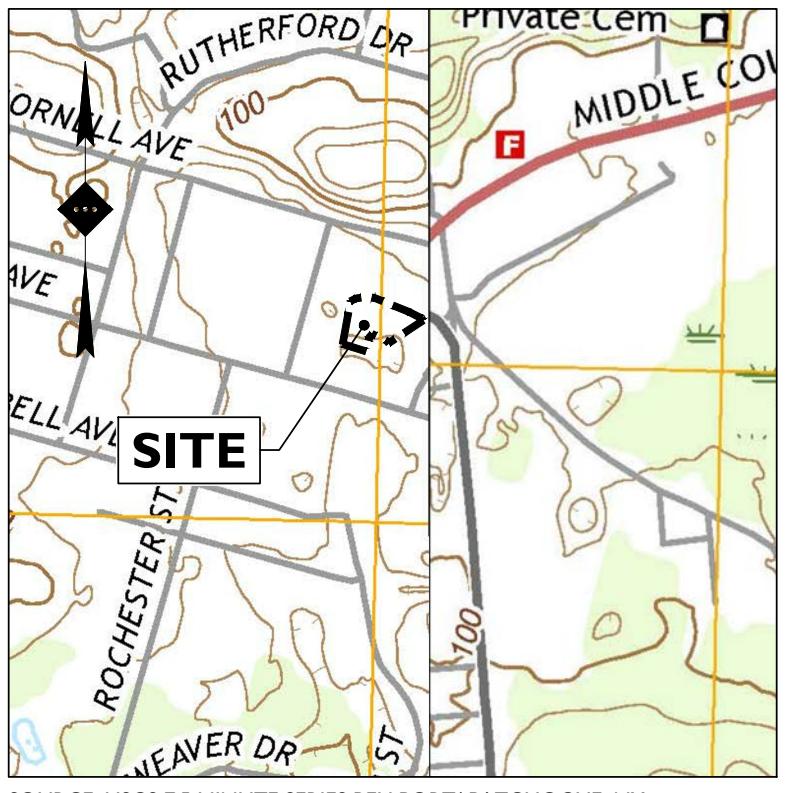


TABLE OF LAND USE AND ZONING			
DISTRICT 200 SECTION 476 BLOCK 2 LOTS 32.1, 34.1 AND 30.0 J BUSINESS 6 ZONE & A-1 RESIDENCE ZONE			
PROPOSED USE	SPECIAL PERMIT FROM TOWN BOARD		
MAJOR RESTAURANT WITH DRIVE-THRU	PERMITTED USE		
RETAIL STORE	PERMITTED USE		
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	4,000 SF (0.09 AC)	95,545 SF (2.19 AC)	95,545 SF (2.19 AC)
MINIMUM LOT WIDTH	> 50 FT	> 50 FT	> 50 FT
MAXIMUM FLOOR AREA RATIO	60% (57,132.3 SF)	2.0% (1,954 SF)	2.2% (2,079 SF)
MAXIMUM BUILDING HEIGHT	35 FT / 2 1/2 STORIES	1 STORY	22 FT
MINIMUM FRONT YARD SETBACK	5 FT	13.2 FT	7.5 FT
MAXIMUM FRONT YARD SETBACK	25 FT	13.2 FT	7.5 FT
MINIMUM SIDE YARD SETBACK	0 FT	9.6 FT	126.8 FT
MINIMUM REAR YARD SETBACK	30 FT	124.5 FT	139.0 FT
MAXIMUM SITE CLEARANCE	63.4% *	-	37.9% (LOSS OF 23,215 SF)

(\*): MAXIMUM SITE CLEARANCE IS BASED ON A WEIGHTED AVERAGE OF PERMISSIBLE CLEARANCE OF LOT 30.0, AND LOTS 32.1 AND 34.1. PER FIGURE 5-1, THE MAXIMUM ALLOWABLE CLEARANCE ON LOT 30.0 IS 53%. THE MAXIMUM ALLOWABLE CLEARANCE ON LOTS 32.1 AND 34.1 IS 65%.

#### LOCATION / KEY MAP

SCALE: 1" = 1000'±

SOURCE: USGS 7.5 MINUTE SERIES BELLPORT / PATCHOGUE, NY QUADRANGLE MAP, DATED 2016

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 85-852	PARKING REQUIREMENTS: MAJOR RESTAURANT WITH DRIVE-THRU 1 SPACE / 100 SF = 0.079 SF = 21 SPACES	15 SPACES (V)*
§ 85-852	DRIVE-THRU QUEUING SPACES 12 QUEUING SPACES PER WINDOW (12 SPACES / WINDOW) * 12 QUEUING SPACES	8 SPACES (V)*
§ 85-854.B	PARKING SPACE SIZE REQUIREMENTS: 90 DEGREE STALL 9 FT X 19 FT	9 FT X 19 FT
§ 85-854.D	DRIVE-THRU QUEUE SPACE SIZE REQUIREMENTS: 9 FT X 22 FT	9 FT X 22 FT

(\*): PROPOSED PARKING AND DRIVE-THRU QUEUING SPACE DEFICIENCIES ARE CONSIDERED RELAXATIONS SUBJECT TO PLANNING BOARD APPROVAL

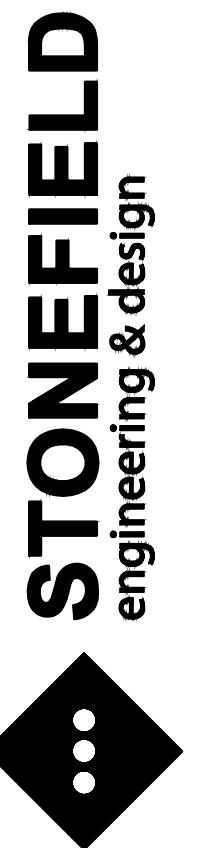
IMPERVIOUS AREAS			
BUFFER AREA	IMPERVIOUS AREA	PERVIOUS AREA	TOTAL AREA
100' STATE REGULATED WETLAND BUFFER	10,432 SF	46,284 SF	56,716 SF
150' TOWN REGULATED WETLAND BUFFER	21,257 SF	61,649 SF	82,906 SF

SPECIAL PERMIT CRITERIA		
CODE SECTION	REQUIRED	PROPOSED
§ 85-483.B.(1)	DRIVE-THROUGH FACILITIES MAY ONLY BE LOCATED TO THE REAR OR THE SIDE OF THE PRINCIPAL BUILDING.	COMPLIES
§ 85-483.B.(4)	DRIVE-THROUGH FACILITIES SHALL NOT TRAVERSE ANY FRONT YARD.	COMPLIES
§ 85-483.B.(5)	QUEUING SHALL BE PROVIDED PURSUANT TO TOWN CODE STANDARDS.	DOES NOT COMPLY (V)
§ 85-483.B.(6)	DRIVE-THROUGH FACILITIES SHALL BE SCREENED FROM VIEW OF THE PRIMARY OR SECONDARY MAIN STREET.	COMPLIES

(V): WAIVER

SYMBOL	DESCRIPTION
— — — —	PROPERTY LINE
— — — —	SETBACK LINE
— — — —	SAWCUT LINE
— — — —	PROPOSED CURB
— — — —	PROPOSED DEPRESSED CURB
— — — —	PROPOSED FLUSH CURB
— — — —	PROPOSED NYSDOT LAND DONATION
— — — —	PROPOSED SIGNS / BOLLARDS
— — — —	PROPOSED BUILDING
— — — —	PROPOSED CONCRETE
— — — —	PROPOSED AREA LIGHT
— — — —	PROPOSED RETAINING WALL
— — — —	PROPOSED CHAINLINK FENCE
— — — —	PROPOSED BUILDING DOORS

#### NOT APPROVED FOR CONSTRUCTION



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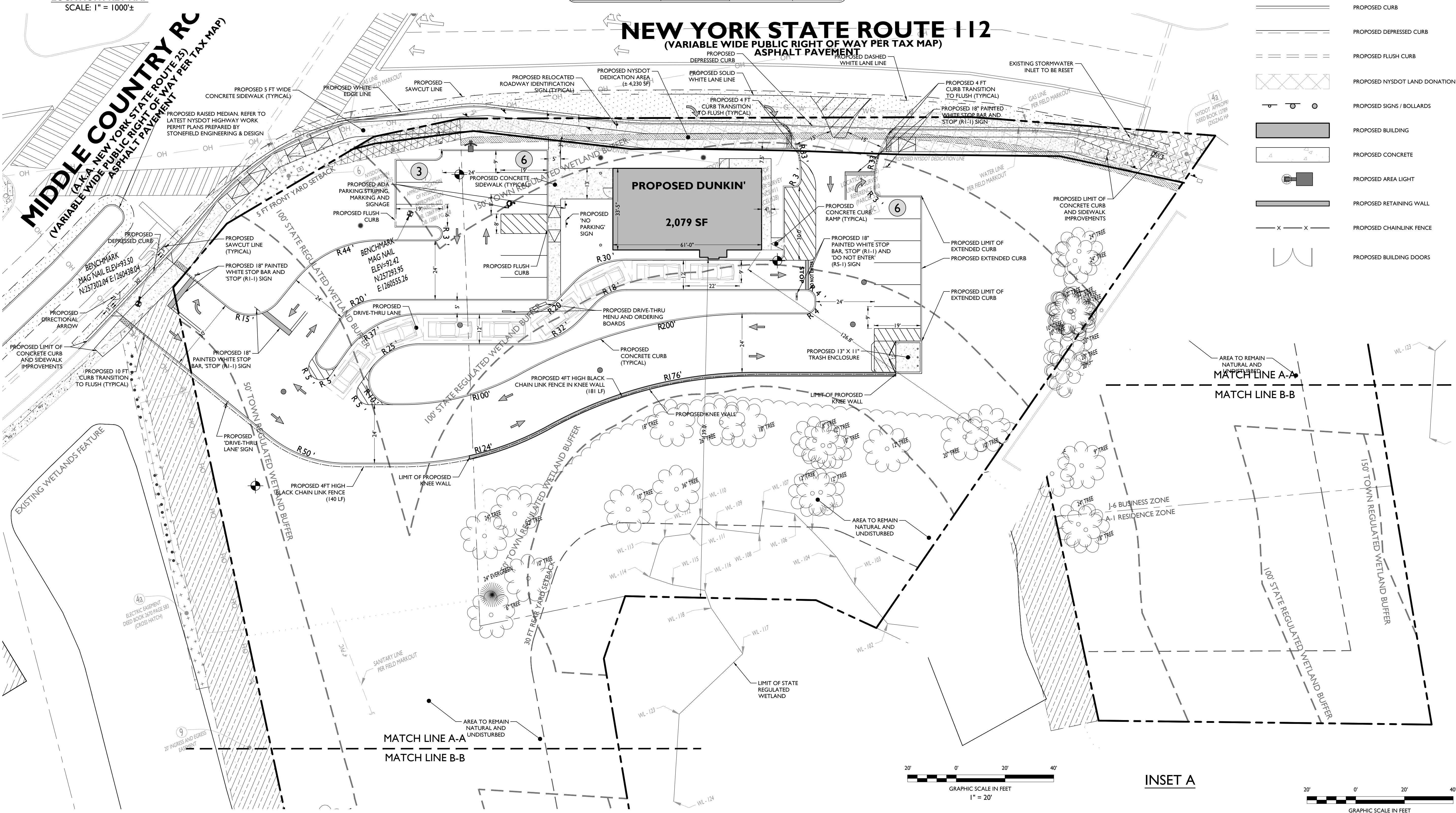
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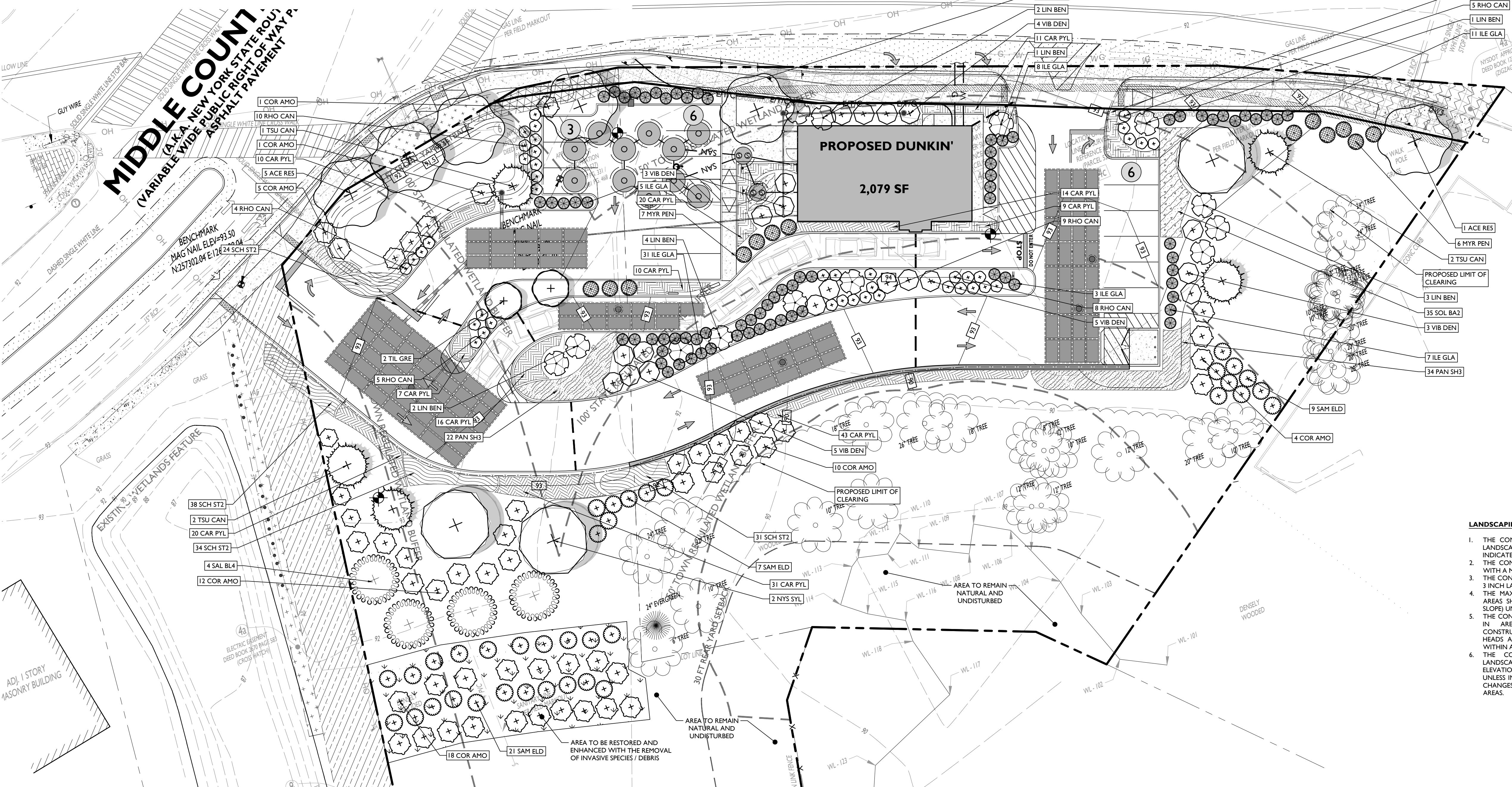
Phone 7/18/608305





PLANT SCHEDULE							
PLANT TYPE	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	POT	REMARKS
+	ACE RES	6	ACER RUBRUM	RED MAPLE	2.5"-3" CAL	B&B	NATIVE
+	NYS SYL	3	NYSSA SYLVATICA	SOUR GUM	2.5"-3" CAL	B&B	NATIVE
+	SAL BL4	4	SALIX NIGRA	BLACK WILLOW	6' HT	B&B	NATIVE
+	TIL GRE	2	TLIA CORDATA 'GREENSPIRE'	GREENSPIRE LITTLELEAF LINDEN	2.5"-3" CAL	B&B	NATIVE
+	TSU CAN	5	TSUGA CANADENSIS	CANADIAN HEMLOCK	6' HT	B&B	NATIVE
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	POT	REMARKS
+	COR AMO	52	CORNUS AMOMUM	SILKY DOGWOOD	5 GAL	POT	NATIVE
+	ILE GLA	76	ILEX GLABRA	INKBERRY HOLLY	5 GAL	POT	NATIVE
+	LIN BEN	13	LINDERA BENZOIN	SPICEBUSH	3'-4' HT	B&B	NATIVE
+	MYR PEN	13	MYRICA PENSYLVANICA	NORTHERN BAYBERRY	5 GAL	POT	NATIVE
+	RHO CAN	41	RHODODENDRON CANESCENS	WILD AZALEA	5 GAL	POT	NATIVE
+	SAM ELD	37	SAMBUCUS CANADENSIS	ELDERBERRY	5 GAL	POT	NATIVE
+	VIB DEN	20	VIBURNUM DENTATUM 'ARROWWOOD'	ARROWWOOD VIBURNUM	5 GAL	POT	NATIVE
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	REMARKS
+	CAR PYL	205	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	3 GAL	36" o.c.	NATIVE
+	PAN SH3	64	PANICUM VIRGATUM 'SHENANDOAH'	SWITCH GRASS	5 GAL	48" o.c.	NATIVE
+	SCH ST2	127	SCHIZACHYRUM SCOPARIUM 'STANDING OVATION'	STANDING OVATION LITTLE BLUESTEM GRASS	3 GAL	30" o.c.	NATIVE
+	SOL BA2	45	SOLIDAGO CANADENSIS 'BABY GOLD'	GOLDENROD	3 GAL	36" o.c.	NATIVE

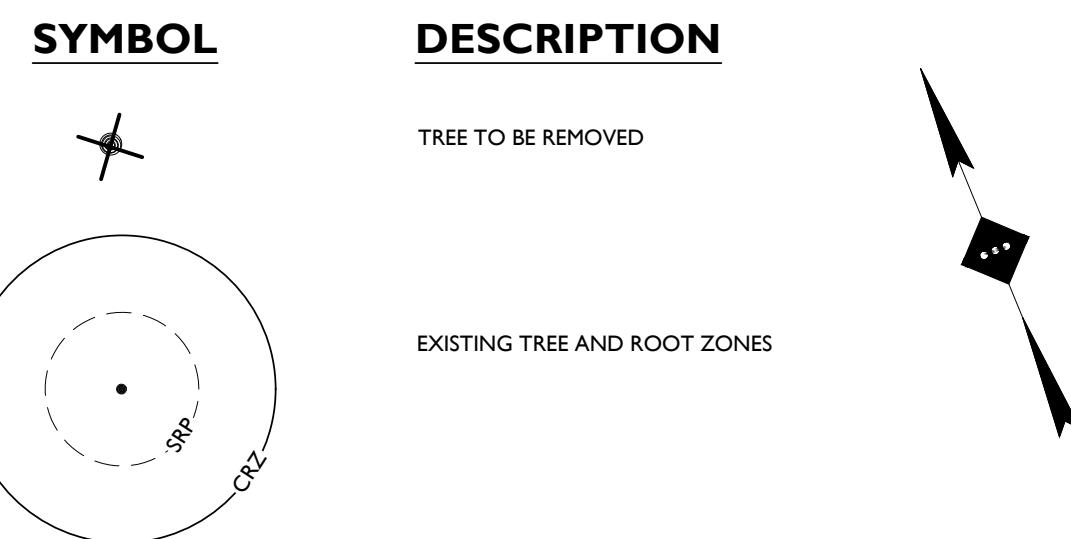
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.



LANDSCAPING REQUIREMENTS			
CODE SECTION	REQUIRED	EXISTING	PROPOSED
§ 85-200.C	ONE STREET TREE SHALL BE LOCATED EVERY 30 FEET ALONG PROPERTIES THAT ARE ADJACENT TO THE CORRIDOR. IN ADDITION, IF A PREVIOUSLY APPROVED PARKING LOT FRONTS ALONG A DESIGNATED CORRIDOR, AND A TWENTY-FOOT-WIDE BUFFER CANNOT BE PROVIDED AS DETERMINED BY THE PLANNING BOARD, THEN AN EVERGREEN HEDGE WILL BE PLANTED AND MAINTAINED ALONG THE FRONTAGE. THE HEDGE SHOULD REACH 24 INCHES IN HEIGHT AT Maturity AND BE CONTINUOUS.	NO FORMAL STREETS EXIST ALONG THE PROPERTIES FRONTAGE	7 STREET TREES TO BE PROVIDED
§ 85-223.E.I	TREE CLEARANCE REQUIREMENTS NO MORE THAN 33% OF THE SITE'S NATURAL VEGETATION SHALL BE CLEARED*	---	52.0% (50,001 SF) CLEARED, 48.0% NATURAL TO REMAIN COMPLIES
§ 57A-4.I.B.b	FERTILIZER DEPENDANT LANDSCAPING REQUIREMENT NO MORE THAN 15 % OF THE TREE CLEARANCE SHOULD BE ESTABLISHED IN FERTILIZER DEPENDENT VEGETATION	---	8.6% (2000 SF) LAWN COMPLIES

TREE NOTES:  
ALL TREES SHOWN ON SITE ARE GREATER THAN 4" CALIPER.  
TREES THAT ARE TO BE REMOVED ARE COVERED WITH AN "X".

TREE REPLACEMENT:  
# OF TREES TO BE REMOVED: 30  
# OF MAJOR TREES TO BE PLANTED: 15  
# OF MINOR TREES TO BE PLANTED: 24



### SYMBOL

TREE TO BE REMOVED

EXISTING TREE AND ROOT ZONES

### DESCRIPTION

NOT APPROVED FOR CONSTRUCTION	ISSUE DATE	BY	DESCRIPTION
14	10/19/2022	JF	ISSUED FOR SITE PLAN APPROVAL
13	07/26/2022	JF	UPDATED FOR MUNICIPAL COMMENTS
12	03/16/2022	FT	UPDATED PER NYSDC COMMENTS
11	02/01/2022	BR	UPDATED SITE PLAN LAYOUT
10	05/24/2022	AKM	RESUBMISSION TO THE TOWN
09	05/05/2022	FT	RESUBMISSION TO THE TOWN
08	04/01/2022	FT	RESUBMISSION TO THE TOWN
07	03/02/2022	FT	RESUBMISSION TO THE TOWN
06	01/27/2022	CMG	RESUBMISSION TO THE TOWN
01	05/02/2022	ZC	SUBMISSION TO TOWN



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SCALE: 1" = 20' PROJECT ID: K-18035

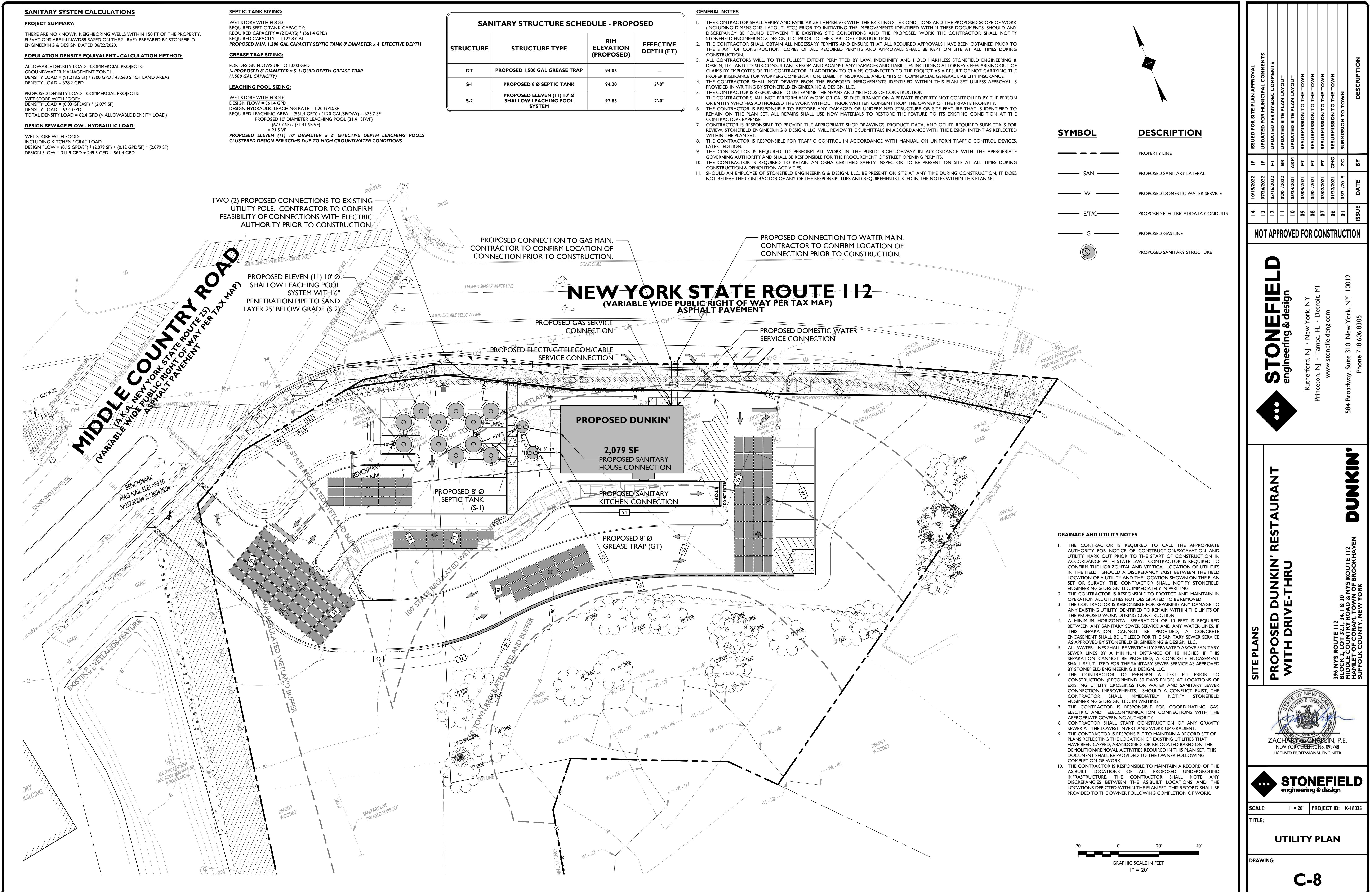
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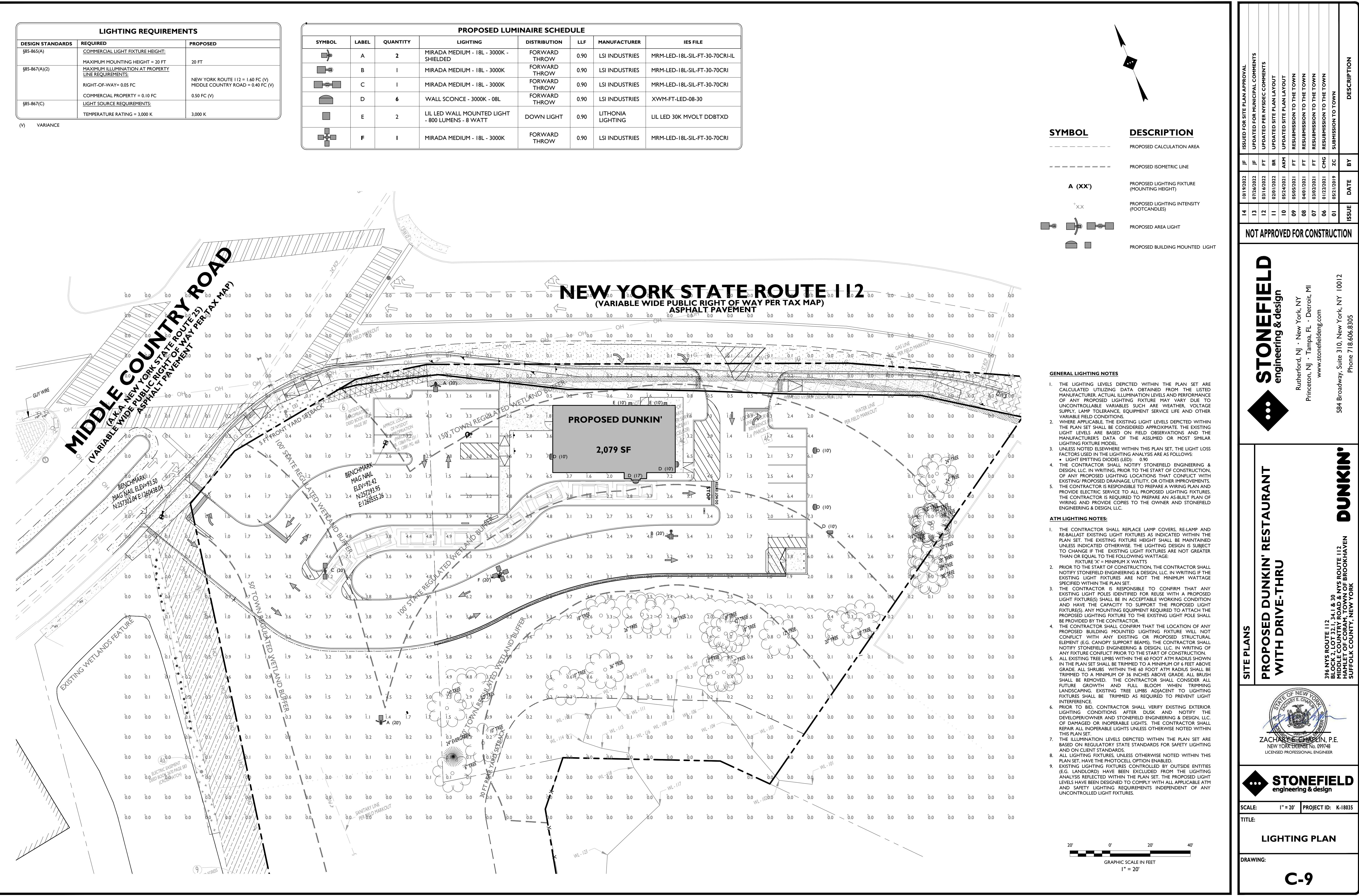
LANDSCAPING PLAN

DRAWING:

**C-6**

NOTES:		GENERAL LANDSCAPING NOTES:		PLANT QUALITY AND HANDLING NOTES:	
1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.	1. FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.	2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.	2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.	3. SOIL AMENDMENTS:	3. SOIL AMENDMENTS:
• MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM	• MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM	• MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX	• MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX	4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEEDLINGS TO THE GOVERNING MUNICIPAL OFFICIAL.	4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEEDLINGS TO THE GOVERNING MUNICIPAL OFFICIAL.
5. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FADED IN COLOR AS TO APPEAR HEALTHY, VIBRANT AND SYMMETRICAL.	5. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FADED IN COLOR AS TO APPEAR HEALTHY, VIBRANT AND SYMMETRICAL.	6. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY, TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.	6. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY, TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.	7. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAKEN WITH THE PROPER NAME AND SIZE.	7. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAKEN WITH THE PROPER NAME AND SIZE.
8. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.	8. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.	9. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.	9. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.	10. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.	10. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
11. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.	11. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.	12. WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND SURVIVAL OF THE PLANTS. UNFAVORABLE WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.	12. WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND SURVIVAL OF THE PLANTS. UNFAVORABLE WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.	13. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FADED IN COLOR AS TO APPEAR HEALTHY, VIBRANT AND SYMMETRICAL.	13. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FADED IN COLOR AS TO APPEAR HEALTHY, VIBRANT AND SYMMETRICAL.
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20. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY, THEY SHOULD BE KEPT MOIST AND COVERED WITH MOISTENED MULCH OR aged WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNTIED AND PROPER SPACING SHALL BE ALLOWED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.	20. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY, THEY SHOULD BE KEPT MOIST AND COVERED WITH MOISTENED MULCH OR aged WOODCHIPS. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNTIED AND PROPER SPACING SHALL BE ALLOWED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.	21. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FREEZING SOIL.	21. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FREEZING SOIL.	22. PLANT MATERIAL SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.	22. PLANT MATERIAL SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
23. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT.	23. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM THE CONTRACT.	24. IF PLANTS ARE PROPOSED WITHIN SIGHT TRANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.	24. IF PLANTS ARE PROPOSED WITHIN SIGHT TRANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.	25. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:	25. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
PLANTS (MARCH 15 - DECEMBER 15)	PLANTS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)	1. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVAL OF NEW PLANT SITE. ESTABLISHMENT OF THE TREE PROTECTION ZONE, FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAILS". NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULLILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.	1. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVAL OF NEW PLANT SITE. ESTABLISHMENT OF THE TREE PROTECTION ZONE, FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAILS". NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULLILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.	1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.	1. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.
NOTES:	NOTES:	2. WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND SURVIVAL OF THE PLANTS. UNFAVORABLE WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.	2. WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND SURVIVAL OF THE PLANTS. UNFAVORABLE WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.	3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FADED IN COLOR AS TO APPEAR HEALTHY, VIBRANT AND SYMMETRICAL.	3. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FADED IN COLOR AS TO APPEAR HEALTHY, VIBRANT AND SYMMETRICAL.
1. FOR THE CONTAINER-GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOL TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.	1. FOR THE CONTAINER-GROWN SHRUBS, USE FINGERS OR SMALL HAND TOOL TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.	2. THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.	2. THOROUGHLY SOAK THE SHRUB ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.	3. SOIL AMENDMENTS:	3. SOIL AMENDMENTS:
• MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM	• MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM	• MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX	• MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX	4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEEDLINGS TO THE GOVERNING MUNICIPAL OFFICIAL.	4. IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEEDLINGS TO THE GOVERNING MUNICIPAL OFFICIAL.
5. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FADED IN COLOR AS TO APPEAR HEALTHY, VIBRANT AND SYMMETRICAL.	5. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FADED IN COLOR AS TO APPEAR HEALTHY, VIBRANT AND SYMMETRICAL.	6. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY, TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.	6. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY, TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.	7. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAKEN WITH THE PROPER NAME AND SIZE.	7. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAKEN WITH THE PROPER NAME AND SIZE.
8. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.	8. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.	9. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.	9. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.	10. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.	10. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
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14. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY, TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.	14. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY, TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.	15. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAKEN WITH THE PROPER NAME AND SIZE.	15. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAKEN WITH THE PROPER NAME AND SIZE.	16. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.	16. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
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20. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY, THEY SHOULD BE KEPT MOIST AND COVER					





ITEM	DESCRIPTION	DATE	ISSUE
13	07/26/2022	JF	UPDATED FOR MUNICIPAL COMMENTS
12	03/16/2022	FT	UPDATED PER NYSDEC COMMENTS
11	02/01/2022	BR	UPDATED SITE PLAN LAYOUT
10	05/24/2021	AKM	UPDATED SITE PLAN LAYOUT
09	05/05/2021	FT	RESUBMISSION TO THE TOWN
08	04/01/2021	FT	RESUBMISSION TO THE TOWN
07	03/02/2021	FT	RESUBMISSION TO THE TOWN
06	01/22/2021	CMG	RESUBMISSION TO THE TOWN
01	05/21/2019	ZC	SUBMISSION TO TOWN

### **SEQUENCE OF CONSTRUCTION:**

1. OBTAIN PLAN APPROVAL AND ALL APPLICABLE PERMITS.
2. HOLD PRE-CONSTRUCTION MEETING AT LEAST ONE WEEK PRIOR TO STARTING CONSTRUCTION.
3. ESTABLISH CONTRACTOR STAGING AREA.
4. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE / HAY BALES AS SHOWN. THIS SHALL BE THE ONLY ENTRANCE AND EXIT FOR THE CONSTRUCTION SITE.
5. CONSTRUCTION AREA SECURITY FENCING MAY BE INSTALLED ALONG PERIMETER OF SITE AS LONG AS NO CONFLICTS OCCUR WITH THE REQUIREMENTS PROPOSED IN THE SEDIMENT CONTROL PLAN AND DETAILS.
6. INSTALL INLET FILTER PROTECTION AS REQUIRED.
7. BEGIN DEMOLITION OF EXISTING PUMPS AND TANKS PER NYSDEC REQUIREMENTS. ALL EXPOSED SOIL AREAS FOR DEMOLITION SHALL BE STABILIZED TEMPORARILY UNTIL NEXT PHASE OF CONSTRUCTION BEGINS. ALL DEMOLITION MATERIALS SHALL BE CONTAINED WITHIN THE AREA SHOWN ON THIS PLAN.
8. BEGIN DEMOLITION OF EXISTING BUILDING AND ALL OTHER SITE FEATURES TO BE REMOVED.
9. STOCKPILE WILL BE STABILIZED, LEVELED AND PROTECTED FROM WIND AND RUNOFF EROSION WITH PLASTIC COVERS, AND PROTECTED WITH HAY BALES AND SILT FENCE. STOCKPILE TO BE STABILIZED WITH SEED AND MULCH.
8. BEGIN UTILITY INSTALLATIONS AND CONNECTIONS TO PROPOSED BUILDING LOCATION
9. BEGIN EXCAVATION FOR PROPOSED PUMPS AND TANKS.
10. INSTALL UNDERGROUND TANKS.
11. UPON COMPLETION OF FILL ACTIVITIES, BEGIN PAVEMENT SUBGRADE PREPARATION AND CONSTRUCTION OF ON-SITE CURBING AND PAVEMENT / CONCRETE PAD BASE COURSE.
12. COMPLETE FINAL GRADING FOR BUILDING.
13. INSTALL ASPHALT PAVEMENT AND CONCRETE PAD.

## 14. CONSTRUCT CANOPY AND PUMPS. 15. CONSTRUCT BUILDING

16. COMPLETE CONSTRUCTION / INSTALLATION OF SITE FEATURES.
17. SPREAD TOPSOIL AND PERMANENTLY STABILIZE ANY PROPOSED LANDSCAPING AREAS UPSTREAM OF THE STORMWATER MANAGEMENT FACILITIES WITH SEEDING AND MULCH.
18. INSTALL RAIN GARDEN.
19. INSTALL PROPOSED PLANTINGS PER THE LANDSCAPE PLAN.
20. AFTER THE SITE IS PERMANENTLY STABILIZED, REMOVE ANY REMAINING TEMPORARY SEDIMENT CONTROLS AND DEVICES. FINE GRADE AND PROVIDE STABILIZATION WITH PERMANENT SEED AND MULCH FOR ANY AREAS DISTURBED IN THIS PROCESS.

**TEMPORARY STABILIZATION OF WORK AREA:**

1. STABILIZE ALL BARE SOIL AREAS TO REMAIN UNDISTURBED FOR MORE THAN 7 DAYS. METHODS SUCH AS SEED AND MULCH SHALL BE APPLIED IN STRICT ACCORDANCE WITH THE SWPPP. WHEN RAIN IS FORECASTED, TEMPORARILY STABILIZE ALL DISTURBED AREAS AT THE END OF EACH WORK DAY IN ACCORDANCE WITH THE SWPPP.
2. INSPECT ALL PERIMETER EROSION CONTROL AND REPAIR AS DIRECTED.
3. INSTALL/REPAIR ALL INLET/OUTLET PROTECTION

**PERMANENT STABILIZATION NOTE:**

TOPSOIL SHALL BE INSTALLED AS FOLLOWS:

1. PAVEMENT/CONCRETE - NOT APPLICABLE
2. RAIN GARDEN - 12" OF AMENDED SOIL PER LANDSCAPE PLAN AND DETAIL
3. ALL OTHER AREAS - 3" OF TOPSOIL.

## **EROSION AND SEDIMENT CONTROL**

ACCORDANCE WITH THE CURRENT EDITION OF THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL".

2. CONTRACTOR TO FOLLOW NYSDEC GUIDELINES AND REQUIREMENTS FOR CONSTRUCTION EFFORTS.
  - 2.1. AFTER INITIAL SITE CLEARING, CONTRACTOR SHALL STABILIZE DISTURBED AREAS OF THE PROJECT SITE TO THE SATISFACTION OF NYSDEC REQUIREMENTS. STABILIZATION TO BE CURRENT WITH NYSDEC REQUIREMENTS AND PER THE CURRENT EDITION OF THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL".
  - 2.2. AREAS OF THE SITE THAT ARE NOT PART OF ACTIVE CONSTRUCTION EFFORT ARE TO BE IMMEDIATELY STABILIZED AFTER INITIAL SITE CLEARING AS NOTED ABOVE.
3. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES AND DEVICES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. ALL EROSION AND SEDIMENT CONTROL STRUCTURES AND DEVICES SHALL BE INSPECTED A MINIMUM OF A WEEKLY BASIS AND AFTER EACH RAINFALL EVENT OF 0.5 INCHES OR GREATER WITHIN A 24 HOUR PERIOD. FIELD BOOKS ARE TO BE MAINTAINED TO DOCUMENT COMPLIANCE WITH ALL APPLICABLE MEASURES. ALL SUPERINTENDENTS AND PROJECT TEAM MEMBERS SHALL BE PROPERLY TRAINED FOR MAINTENANCE, INSPECTION AND ENFORCEMENT OF ALL APPLICABLE PROCEDURES.

4. THE CONTRACTOR SHALL KEEP ALL ROADWAYS ADJACENT TO THE IMPROVEMENT AREA CLEAR OF SOIL AND DEBRIS

6. TEMPORARY SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AFTER THE AREA OF DISTURBANCE HAS BEEN PERMANENTLY STABILIZED.
7. BEST CONSTRUCTION PRACTICES SHALL BE IMPLEMENTED TO REDUCE/ELIMINATE DUST AND DEBRIS WITHIN AND ADJACENT TO THE WORK AREAS, INCLUDING WETTING SOIL SURFACES, COVERING TRUCKS AND STORED MATERIALS WITH TARPS AND PROPERLY MAINTAINING EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL APPLICABLE LOCAL, STATE AND FEDERAL AIR QUALITY STANDARD LAWS FOR DUST CONTROL.
8. INTERIM EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AS NECESSARY BETWEEN CONSTRUCTION PHASES, AS WARRANTED BY CONSTRUCTION AND IN ORDER TO MINIMIZE EROSION AND TRANSPORT OF SOIL AND DEBRIS FROM THE SITE.
9. CONTRACTOR TO PREVENT SEDIMENT FROM ENTERING STORM SEWERS DURING CONSTRUCTION.
10. EXISTING ON-SITE INLETS TO BE PROVIDED WITH APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES UNTIL ON-SITE STORM SEWERS HAVE BEEN REMOVED FROM THE PROJECT SITE.
11. AREAS THAT HAVE BEEN DISTURBED ARE TO BE RE-STABILIZED AS SOON AS POSSIBLE AFTER CONSTRUCTION IS COMPLETED IN THAT AREA. TEMPORARY STABILIZATION SHALL INCLUDE, BUT NOT BE LIMITED TO, SUCH MEASURES AS HYDROSEEDING, MULCHING, JUTE MESH OR TEMPORARY PAVING AND AS ALLOWED BY THE CURRENT NYSDEC STANDARDS.
12. MISTING AND OTHER CONTROLS SHALL BE UTILIZED TO PREVENT EROSION AND SEDIMENTATION DURING CONSTRUCTION.
13. ALL MATERIALS HAULED FROM THE SITE SHALL BE PLACED IN LEAK PROOF CONTAINERS AND PROPERLY COVERED WITH TARPS, SCREENS AND/OR OTHER MECHANISMS.
14. A SILT FENCE SHALL BE INSTALLED ALONG THE PERIMETER OF THE SITE AND/OR AS SHOWN ON THE ACCOMPANYING PLAN. SILT FENCE SHALL BE LOCATED AT THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
15. STABILIZED CONSTRUCTION ENTRANCE SHALL BE UTILIZED BY ALL VEHICLES ACCESSING THE CONSTRUCTION SITE.

MITIGATE DUST EMISSIONS FROM THE WORK ZONE, THIS INCLUDES DURING THE DEMOLITION OF CONCRETE

STRUCTURES. ALL MATERIALS HAULED FROM THE SITE BE PLACED IN LEAK PROOF CONTAINERS AND PROTECTED WITH TARPS, SCREENS AND/OR MECHANISMS.

2. A SILT FENCE SHALL BE INSTALLED ALONG THE PERIMETER OF THE SITE AND/OR AS SHOWN ON THE ACCOMPANYING PLAN. SILT FENCE SHALL BE LOCATED AT THE TOE OF CRITICAL CUT AND FILL SLOPES.

3. STABILIZED CONSTRUCTION ENTRANCE SHALL BE USED BY ALL VEHICLES ACCESSING THE CONSTRUCTION SITE.

# SYMBOL

## **DESCRIPTION**

	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	PROPOSED LIMIT OF DISTURBANCE
	PROPOSED SILT FENCE
	PROPOSED TREE PROTECTION FENCE
	PROPOSED STOCKPILE & EQUIPMENT STORAGE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED INLET PROTECTION FILTER

## NOT APPROVED FOR CONSTRUCTION

# STONEFIELD

engineering & design

Rutherford, NJ • New York, NY  
Princeton, NJ • Tampa, FL • Detroit, MI  
[www.stonefieldleng.com](http://www.stonefieldleng.com)

[www.schneideberg.com](http://www.schneideberg.com)

1 Broadway, Suite 30, New York, NY 10012  
Phone 718.606.8305

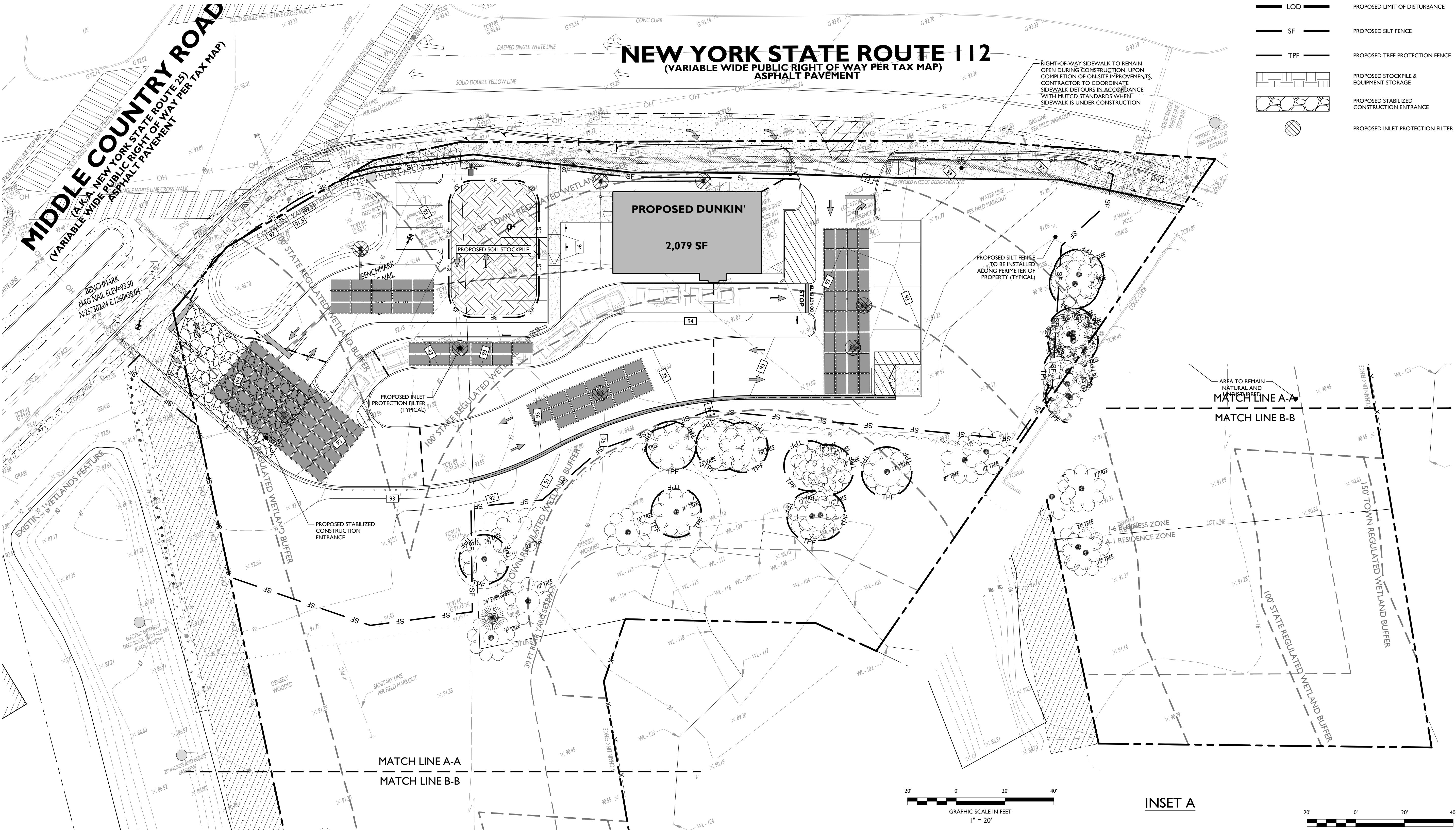
# PROPOSED DUNKIN' RESTAURANT WITH DRIVE-THRU

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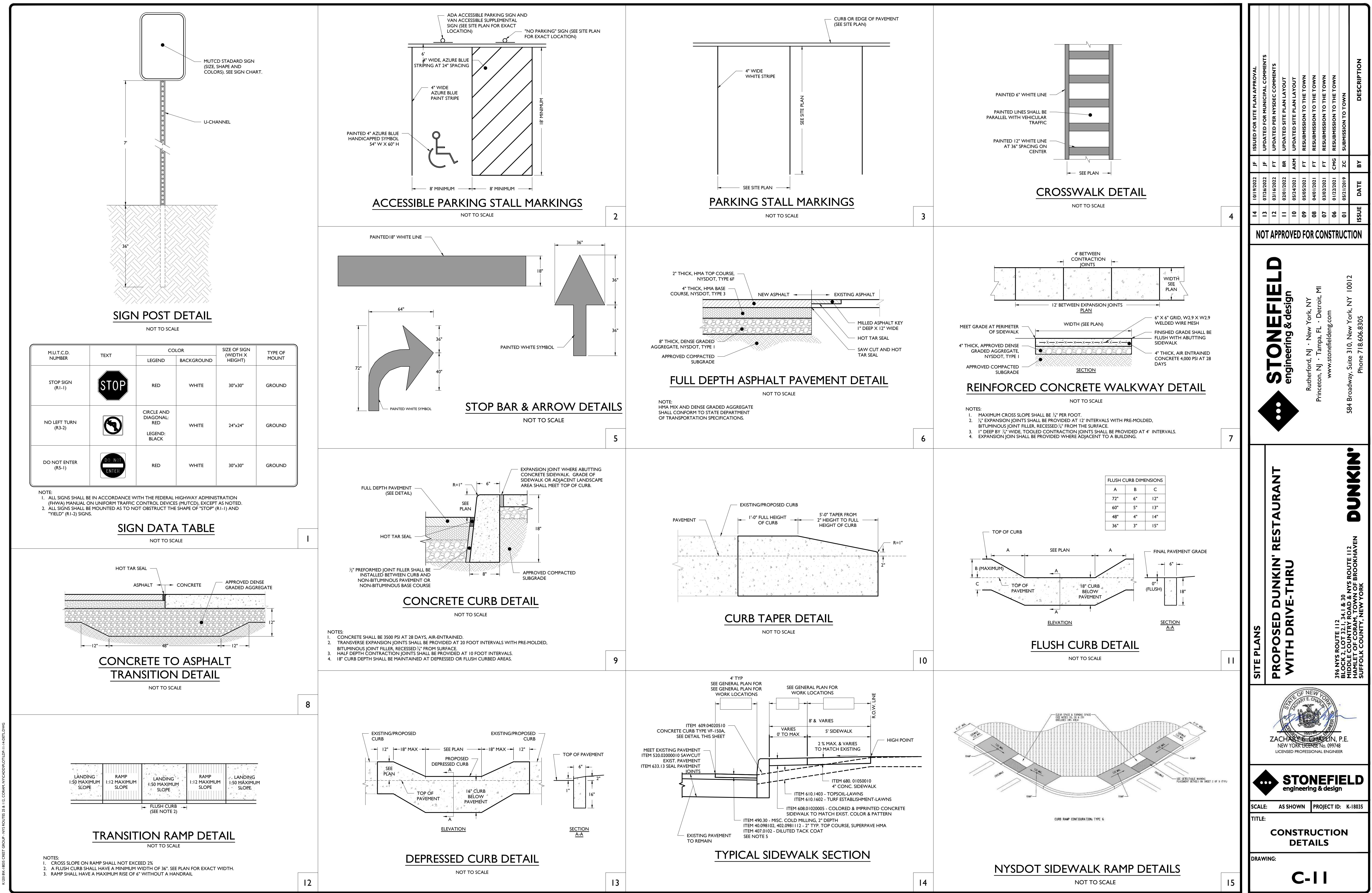
## SITE PLANS

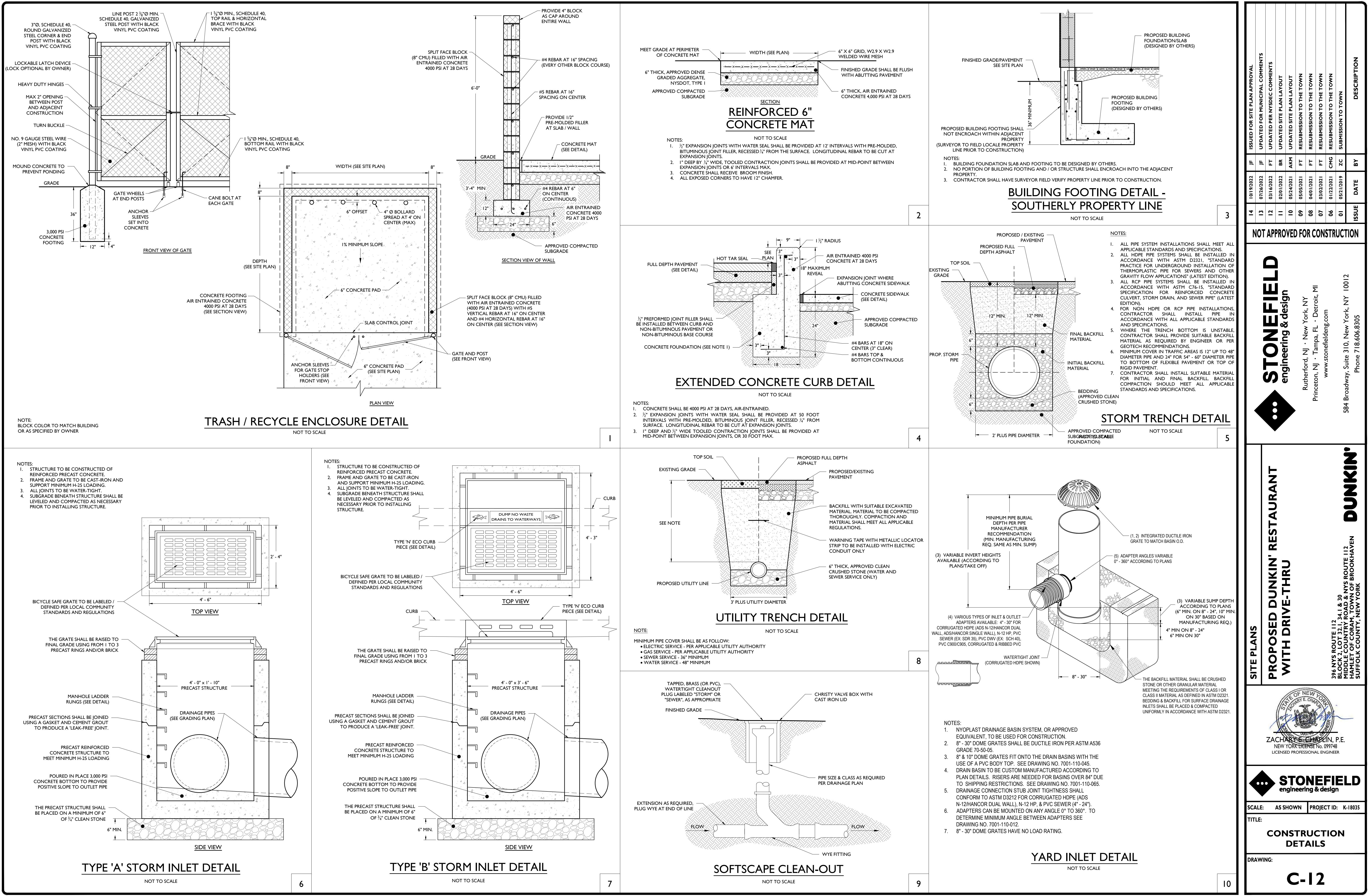
**DUNKIN'**  
396 NYS ROUTE 112  
BLOCK 2, LOT 32.1, 34.1 & 30  
MIDDLE COUNTRY ROAD & NYS ROUTE 112  
HAMLET OF CORAM, TOWN OF BROOKHAVEN  
SUFFOLK COUNTY, NEW YORK

**MIDDLE COUNTRY ROAD & NY 5  
HAMLET OF CORAM, TOWN OF  
SUFFOLK COUNTY, NEW YORK**



K:12018\K-18035 CREST GROUP - NYS ROUTES 25 & 112, CORAM, NY\CAD\PLT\TLD\10-SE5.CDWG







**Contractor Select™**  
**LIL LED**  
Wall Mount Lighting

The Lithonia Lighting® LIL LED wall pack is just 5 in x 5 inch in size and delivers 800 lumens using only 8 watts. It is the ideal, compact "over-the-door" lighting solution for commercial and residential applications.

**FEATURES:**

- Replaces up to 100W incandescent lamps, saves 90% energy
- Elegant and compact LED solution, photocell and battery pack options available
- Back box accessory available for conduit wiring

**ACCESSORY ORDERING INFORMATION<sup>1</sup>** (Accessories are field installed)

Description	Order Number
XWM SW BLK - Surface Wiring Box (Available in black only)	9569150_K
DF268 - Double Fusing	DF268
DF277 - Single Fusing	DF277
DF347 - Single Fusing	DF347
IMSPC - Remote Configurator Tool <sup>2</sup>	584029

**FOOTNOTES:**

- 1 - For related controls, information and accessories, see Controls Section
- 2 - Photocell, On/Off and override switch. Not compatible with battery back-up, IMS or HS Option.
- 3 - Not compatible with IMS Option
- 4 - Not compatible with DM or Wireless Control System
- 5 - Not compatible with Wireless Control System
- 6 - Not compatible with BR, C2000, 2000, 2000, 2000 or Wireless Control System
- 7 - IMS is the WatsChoper Dual Sensor (Daylight & Motion) which is field adjustable, via a handheld remote configuration tool<sup>4</sup>
- 8 - Output based on type 3 optics in cool white color temperature, see IES files for exact delivered lumens

**DIMENSIONS**

**MIRADA WALL SCONCE (XWM)**  
LUMINAIRE ORDERING INFORMATION

**TYPICAL ORDER EXAMPLE:** XWM FT LED 08L 50 UE WHT IMS

Prefix	Distribution	Light Source	Output <sup>1</sup>	Color Temperature	Input Voltage	Finish	Optional Controls	Optional Sensor Options
XWM	2 - Type 3 (Wide Throw)	LED	800 - 5,400 lumens 141 - 9,400 lumens 161 - 8,600 lumens	50 - 500K 40 - 400K 30 - 300K	UE - Universal PC - Power GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus WHT - White	SLK - Black BLK - Black GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus WHT - White	Wireless Control System <sup>2</sup> WAT - WatsChoper GCM - Gold Control System PCT - Power Control PLP - Platinum Plus WHT - White	IMS - Integral Motion Sensor <sup>3</sup> ALSC - AirLink Syntac ALSCS - AirLink Syntac ALSCS01 - AirLink Syntac ALSCS02 - AirLink Syntac ALSCS03 - AirLink Syntac ALSCS04 - AirLink Syntac ALSCS05 - AirLink Syntac ALSCS06 - AirLink Syntac ALSCS07 - AirLink Syntac ALSCS08 - AirLink Syntac ALSCS09 - AirLink Syntac ALSCS10 - AirLink Syntac ALSCS11 - AirLink Syntac ALSCS12 - AirLink Syntac ALSCS13 - AirLink Syntac ALSCS14 - AirLink Syntac ALSCS15 - AirLink Syntac ALSCS16 - AirLink Syntac ALSCS17 - AirLink Syntac ALSCS18 - AirLink Syntac ALSCS19 - AirLink Syntac ALSCS20 - 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