

Hargrave, Julie

From: Antoinette (Toni) Rivera <arivera@brookhavenny.gov>
Sent: Monday, October 31, 2022 1:41 PM
To: Bruce Schaal; Brooke Kelsey; Peter Fountaine; Kerri Berberich; PB Hargrave, Julie; Kennedy, Kimberly; scdhswb@suffolkcountyny.gov; Kouril, Torey K (DEC); Anthony Todaro; Chris Mehrman; Keith Williams; Neil Thomas; Melik Tariq; Mohammad Islam
Cc: Michael Albano
Subject: 22SP0048 Crest Coram 1, LLC
Attachments: 22SP0048 10-31-22 Initial Coordination Letter.pdf; 22SP0048 10-25-22 Site Plans.pdf; 22SP0048 10-25-22 Application.pdf; 22SP0048 10-25-22 EAF.pdf

CAUTION: This email originated from outside of SCWA. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon,

Please be advised that the Planning Board of the Town of Brookhaven has received a new application for the above referenced action. For your review and consideration, please find attached a copy of the project application, EAF & site plans.

The Planning Board would like to encourage your agency to make any comments or suggest mitigation measures, particularly with respect to your areas of expertise and jurisdiction, which would enhance the utilization of this site or provide additional protection to the community.

Please print as needed.

Have a great day,

Antoinette (Toni) Rivera

Town of Brookhaven, Planning Division
631-451-6400



Town of Brookhaven Long Island

Edward P. Romaine, Supervisor

DATE: October 31, 2022

TO: Bruce Schaal, Town of Brookhaven, Division of Engineering
Peter E. Fountaine, Town of Brookhaven, Division of Environmental Protection
Christopher Mehrman, Town of Brookhaven, Division of Fire Prevention
Kerri Berberich Town of Brookhaven, Division of Traffic Safety
Judy Jakobsen, Central Pine Barrens Joint Planning & Policy Commission
Kimberly Kennedy, Suffolk County Water Authority
Gregson H. Pigott, Suffolk County, Department of Health Services
Melik Tariq, New York State, Department of Transportation
Torey Kouril, New York State, Department of Environmental Conservation

FROM: Michael Albano
Planning Division

RE: Site Plan: **Crest Coram 1, LLC**, Log # **22SP0048**
Demo of existing building and parking and construction of new commercial building, drive-thru, and associated site improvements.
396 Route 25 Middle Country Rd., S/o Route 112, Coram
Suffolk County Tax Map #: 0200 47600 0200 032001, 034001& 030000, 2.19 acres

Please be advised that the Planning Board of the Town of Brookhaven has received an application for the above referenced action. For your review and consideration, please find enclosed a copy of the project application, EAF & site plans.

The Planning Board would like to encourage your agency to make any comments or suggest mitigation measures, particularly with respect to your areas of expertise and jurisdiction, which would enhance the utilization of this site or provide additional protection to the community.

It is requested that any comment letter be sent directly to the applicant with a copy to this office. Your reply is kindly requested within 30 days of the date of this mailing.

Thank you for your continued cooperation. If you have any questions or need any further information, please contact this Division.

MA/ar

Planning, Environment and Land Management
James M. Tullo, Commissioner

One Independence Hill • Farmingville • NY 11738 • Phone (631) 451-6400 • Fax (631) 451-6419
www.brookhavenny.gov

RECEIVED

By Planning Division at 12:08 pm, Oct 25, 2022

Print Form



Town of

Brookhaven

Long Island, New York

Land Use Application

One Independence Hill, Farmingville, NY 11738

Form PL-01 rev E 1/1/2019

Page 1 of 11

Please check the appropriate application request:

1. TOWN BOARD:

- ☐ 1a. AMENDMENT OF RESTRICTIVE COVENANT (TBR)
- ☐ 1b. CHANGE OF ZONE (CZ)
- ☐ 1c. PLANNED DEVELOPMENT DISTRICT (PDD)(CZ)
- ☐ 1d. SPECIAL PERMIT (CZ)

Case Number:	<input type="text"/>
Application Date:	<input type="text"/>

Town Use Only

2. PLANNING BOARD:

- ☐ 2a. AMEND RESTRICTIVE COVENANT (Relief of Covenant) PBR
- ☐ 2b. FINAL SUBDIVISION - FS
- ☐ 2c. LAND DIVISION - LD
- ☒ 2d. PLANNING BOARD VARIANCE
- ☐ 2e. PRELIMINARY FINAL SUBDIVISION - FS
- ☐ 2f. PRELIMINARY SUBDIVISION - PS
- ☐ 2g. ROAD IMPROVEMENT/RESUBDIVISION - RI
- ☐ 2h. SINGLE FAMILY RESIDENCE - SF
- ☒ 2i. SITE PLAN- SP
- ☐ 2j. SPECIAL PERMIT - SP
- ☐ 2k. 278 CLUSTER TREATMENT (Submitted w/PS, FS, PF, LD or RI)
- ☐ 2l. OTHER:

Application is hereby made to the Town of Brookhaven for the application type requested.

By application submittal, the applicant does hereby authorize employees or agents of the Town of Brookhaven to enter and inspect the project site as necessary in conjunction with this application.

3. PLANNING DIVISION:

- ☐ 3a. CHANGE OF USE - CU
(including facade and minor additions up to 500 sf)
- ☐ 3b. FIRE/AMBULANCE, ETC. - OM
- ☐ 3c. TEST HOLE - TH
- ☐ 3d. TREE CLEARING - TC
- ☐ 3e. REVEGETATION PLAN- RV



Town of

Brookhaven

Long Island, New York

Land Use ApplicationForm **PL-01** rev E 1/1/2019

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I. GENERAL APPLICATION:
A. PROPERTY LOCATION:

Suffolk County Tax Map (SCTM) Property Number: (Use "Scope of Work" section below to list any additional SCTM #'s)

DISTRICT	SECTION	BLOCK	LOT
0200	- 47600	- 0200	- 32.1, 34.1, 30.0

Name of Application: Crest Coram I LLC

Located at #: 396, on the ☐ N ☐ E ☒ S ☐ W side of: Middle Country Road (NYS Route 25)Distance: 0, ☐ N ☐ E ☒ S ☐ W of: Patchogue Port Jefferson Road (NYS Route 112)

Hamlet: Coram

Post Office: Coram

Ambulance District: Coram

School District: Longwood CSD

Fire District: Coram

***Total Proposed S.F. of Building(s):** 2,079

Property Size (Acres): 2.19

OR Square Feet:

Disturbed Property Size (Acres): 1.51

OR Square Feet:

Present Zoning/Use of Site
*and A1 Residential J6 Business DistrictProposed Zoning/Use of Site
*and A1 Residential J6 Business District

Name of Subdivision: N/A

Subdivision Lot Number: N/A

☒ Yes ☐ No Does the property in question conform to the lot area requirement?

Scope of Proposed Work: (Please list all SCTM #'s associated with application)

SCTM No. 0200-476.00-02.00-034.001, 032.001, 030.000

The applicant seeks, from the Planning Board, a parking variance from the number of parking stalls required by Code Section 85-852 (21 required, 15 proposed), and site plan approval, in connection with demolishing the existing building and parking, and constructing a new commercial building (2,079 square feet), with a drive-through, together with parking facilities, lighting, drainage, landscaping and other site improvements. On September 29, 2022, the applicant received approval from the Town Board for a special permit for a major restaurant, with accessory drive-through, pursuant to Code Section 85-477(B), and a waiver from the special permit criteria of Code Sections 85-483 and 85-852 requiring 12 queuing stalls (8 queuing stalls approved).



Town of
Brookhaven
Long Island, New York

Land Use Application

Form PL-01 rev E 6/2/15

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B. PROPERTY OWNER/ENTITY CONSENT: *(separate sheets may be used for multiple owners)*

Be advised that I am the owner of record of the property referenced herein and hereby consent to this application. By this application, the owner does hereby authorize employees or agents of the Town of Brookhaven, in conjunction with this application, to enter and inspect the project site as necessary.

Owner/Entity Name: Crest Coram I LLC

Firm Name:

Address: 1201 Route 112, Suite 900

Hamlet: Port Jefferson Station

State: NY

Zip: 11776

Tel#: (631) 582-4800

E-mail: d.scardae@crestorg.com

Fax#: (631) 582-4955

If corporation, name of responsible officer: Daniele P. Scarida Title Manager

IN WITNESS WHEREOF I have hereto set my hand onto this 12 day of OCTOBER, 2022


Sign By Owner/Officer

STATE OF NEW YORK)

COUNTY OF SUFFOLK)

On the 12th day of October in the year 2022 before me, the undersigned, personally appeared Daniele P. Scarida personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.


Notary Public

RAVEN A. PETERSON
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01PE6326123
Qualified in Suffolk County
Commission Expires June 15, 2023



Town of
Brookhaven
Long Island, New York

Land Use Application

Form PL-01 rev E 6/2/15

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B. PROPERTY OWNER/ENTITY CONSENT: *(separate sheets may be used for multiple owners)*

Be advised that I am the owner of record of the property referenced herein and hereby consent to this application. By this application, the owner does hereby authorize employees or agents of the Town of Brookhaven, in conjunction with this application, to enter and inspect the project site as necessary.

Owner/Entity Name: Middle Country LLC

Firm Name:

Address: 1201 Route 112, Suite 900

Hamlet: Port Jefferson Station

State: NY

Zip: 11776

Tel#: (631) 582-4800

E-mail: d.scarda@crestorg.com

Fax#: (631) 582-4955

If corporation, name of responsible officer: Danielle P. Scarda

Title Manager

IN WITNESS WHEREOF I have hereto set my hand onto this 12 day of OCTOBER, 2022


Sign By Owner/Officer

STATE OF NEW YORK)

COUNTY OF SUFFOLK)

On the 12th day of October in the year 2022 before me, the undersigned, personally appeared Danielle P. Scarda personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their capacity (ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

) ss.:


Notary Public

RAVEN A. PETERSON
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01PE6326123
Qualified in Suffolk County
Commission Expires June 15, 2023



Town of

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Long Island, New York

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C. APPLICANT/CONTRACT VENDEE/LESSEE

(If same as owner, state in name field below)

Name: same as owner

Firm Name:

Street Address: 1201 Route 112, Suite 900

City: Port Jefferson Station

State: NY

Zip: 11776

Tel#: (631) 582-4800

E-mail: d.scarda@crestorg.com

Fax#: (631)-582-4955

D. PLAN PREPARER

Name: Zachary Chaplin

Firm Name: Stonefield Engineering & Design

Street Address: 584 Broadway, Suite 310

City: New York

State: NY

Zip: 10012

Tel#: (718) 606-8305

E-mail: zchaplin@stonefieldeng.com

Fax#:

E. ATTORNEY/AGENT (If applicable):

Name: William P. Caffrey, Jr. Esq

Firm Name: The Crest Group LLC

Street Address: 1201 Route 112, Suite 900

City: Port Jefferson Station

State: NY

Zip: 11776

Tel#: (631) 582-4800

E-Mail: w.caffrey@thecrestgroupllc.com

Fax#: (631) 582-4955

F. Removal of Excess Materials**Engineers Certification:**The site plan or subdivision submitted to the Board depicts an excess of 500 cubic yards, proposed to be removed from the premises.

Name: Zachary Chaplin

Phone Number: 718-606-8305

E-mail: Zchaplin@Stonefieldeng.com

License Number: 099748

Signature:

Date: 5/21/19



Town of
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II. BOARD OF ETHICS TRANSACTIONAL DISCLOSURE:

Case Number:

A. APPLICANT

Application Date:

Name:

Address:

City:

State:

Zip:

Tel#:

E-Mail:

Fax#:

☐ Yes ☒ No

Does any officer of the State of New York, officer or employee of the Town of Brookhaven, officer or employee of Suffolk County, officer of a political party in Suffolk County or his or her spouse, brother, sister, parent, child, grandchild, or the spouse of any of them have an interest in this application by virtue of being the actual applicant, or, by virtue of having an interest in the corporation, partnership, or association making such application?

B. If you checked "Yes" above, please complete the following section below:

Interested Party and Nature of Interest:

Name:

Address:

City:

State:

Zip:

Title:

Department:

Relationship to Public Officer/Employee and Title if other than Self:

☐ Yes ☐ No

1. Is the owner of greater than five percent (5%) of the corporate stock of the application when the applicant is a corporation whose stock is listed on the New York or American Stock Exchanges,

☐ Yes ☐ No

2. The actual applicant,

☐ Yes ☐ No

3. An Officer, Director, Partner, or Employee of the applicant, or ,

☐ Yes ☐ No

4. Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant.

Daniele P. Scorda

Print Name:

Signature:

On the 12th day of October, in the year 2022, before me, the undersigned, a Notary Public in and for said State, appeared Daniele P. Scorda, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their/ capacity(ies), and they by his/her/their signature(s), on the instrument, the individual(s), or the person(s) upon behalf of which the individual(s) acted, executed the instrument.

Raven A. Peterson

Notary Public:

RAVEN A. PETERSON
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01PE6326123
Qualified in Suffolk County
Commission Expires June 15, 2023



Town of
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II. BOARD OF ETHICS TRANSACTIONAL DISCLOSURE:

Case Number:

A. APPLICANT

Application Date:

Name:

Address:

City:

State:

Zip:

Tel#:

E-Mail:

Fax#:

☐ Yes ☒ No

Does any officer of the State of New York, officer or employee of the Town of Brookhaven, officer or employee of Suffolk County, officer of a political party in Suffolk County or his or her spouse, brother, sister, parent, child, grandchild, or the spouse of any of them have an interest in this application by virtue of being the actual applicant, or, by virtue of having an interest in the corporation, partnership, or association making such application?

B. If you checked "Yes" above, please complete the following section below:

Interested Party and Nature of Interest:

Name:

Address:

City:

State:

Zip:

Title:

Department:

Relationship to Public Officer/Employee and Title if other than Self:

- ☐ Yes ☐ No 1. Is the owner of greater than five percent (5%) of the corporate stock of the application when the applicant is a corporation whose stock is listed on the New York or American Stock Exchanges,
- ☐ Yes ☐ No 2. The actual applicant,
- ☐ Yes ☐ No 3. An Officer, Director, Partner, or Employee of the applicant, or,
- ☐ Yes ☐ No 4. Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant.

Daniele P. Scarda

Print Name:

Signature:

On the 12th day of October, in the year 2022 before me, the undersigned, a Notary Public in and for said State, appeared Daniele P. Scarda, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their/ capacity(ies), and they by his/her/their signature(s), on the instrument, the individual(s), or the person(s) upon behalf of which the individual(s) acted, executed the instrument.

Notary Public:

RAVEN A. PETERSON
NOTARY PUBLIC, STATE OF NEW YORK
Registration No. 01PE6326123
Qualified in Suffolk County
Commission Expires June 15, 2023



Town of

Brookhaven

Long Island, New York

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III. A. PROJECT DATA

- ☐ Yes ☒ No 1. Is the property within 500' of the boundary of any village or town? Village/Town
- ☒ Yes ☐ No 2. Within 500' of any existing or proposed County or State Parkway, Thruway, Expressway or highway?
- ☒ Yes ☐ No 3. Within 500' of any existing or proposed boundary of any County, State or Federal owned land?
- ☒ Yes ☐ No 4. Within 500' of any existing or proposed place of public assembly?
- ☒ Yes ☐ No 5. Within 100' of any freshwater or tidal wetland system?
- ☐ Yes ☒ No 6. Within Carmans River Watershed area?
- ☐ Yes ☒ No 7. Within a designated Historic District or Historic District Transition Zone?
- ☐ Yes ☒ No 8. Are there any existing covenants or restrictions affecting the premises for which the approval is sought?
If **Yes**, please attach a copy certified by the Suffolk County Clerk.
- ☐ Yes ☒ No 9. Are there covenants or conditions being offered which would affect the use or development of this property?
- ☒ Yes ☐ No 10. Is the property improved with any structures or signs? If **Yes**, attach a copy of any Certificate of Occupancy(s), Certificates of Existing Use(s), and/or Certificate of Zoning Compliance(s) for all of the existing structures and/or signs.
- ☒ Yes ☐ No 11. Is the property located within the New York State Hydrogeologic Sensitive Zone?
- ☒ Yes ☐ No 12. Is the property located within the New York State designated Central Pine Barrens area?
- ☐ Yes ☒ No 13. Is there any Pine Barrens Credits being purchased?
- ☐ Yes ☒ NO 14. Does the owner/applicant own or have any interest in any contiguous property?
If **Yes**, list the SCTM numbers below:

- ☐ Yes ☒ No 15. Have you applied for Health Department approval for sanitary waste for the proposed use?
- ☐ Yes ☒ No 16. Do any Special Districts or utilities service the site?
If **Yes**, please explain below:

- ☐ Yes ☒ No 17. Will there be any use, manufacture, or disposal of any hazardous materials, and/or ground water resources be utilized in any other way other than for normal potable consumption, and/or any air, noise or light emissions occur. If **Yes**, please explain below:

- ☒ Yes ☐ No 18. Is the property located on an improved road?
- ☐ Yes ☒ No 19. Is the road Town maintained?
- ☒ Yes ☐ No 20. Does the proposed property disturb more than one acre of land? If **Yes**, please prepare a Stormwater Pollution Prevention Plan.
- ☐ Yes ☒ No 21. Is the property located within a designated Zoning Overlay District?
- ☐ Yes ☒ No 22. Was the property subject to a public hearing on a change of zone application within the last 12 months?



Town of Brookhaven Long Island, New York	Land Use Application
	Form PL-01 rev E 6/2/15 Page 7 of 11

III. B. PROJECT DATA: ECONOMIC IMPACTS

Completed for all commercial/industrial projects and residential projects greater than 10 Units
(If not applicable, check here and go to Section IV) ☐ N/A

1. Does project involved Local, State or Federal funding? ☐ Yes ☒ No

2. **If single phase project:**

Anticipated period of construction months. (including demolition).

9-12 months

3. **If multi-phased:**

a. Total number of phases anticipated.

b. Expected date of commencement Phase 1. (including demolition)

c. Approximate completion date of final phase. (month/year)

d. Is Phase 1 functionally dependent on subsequent phases?

☐ Yes ☐ No

4. Number of jobs generated during construction. (full time equivalent)

40

5. Number of jobs generated after completion. (full time equivalent)

12

6. Number of jobs eliminated by this project.

0

7. What are the current tax revenues generated by the project site?

24,416.30

8. What tax revenues will project generate after completion?

27,474.00

9. What is the estimated cost of construction?

1,000,000

10. How many schoolchildren is the project expected to generate? ☒ N/A

11. What is the estimated cost of educating the school-age children generated by the completion of this project?

☒ N/A



Town of

Brookhaven

Long Island, New York

Land Use Application

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IV. SPECIAL USE PERMITS & VARIANCES:

A1. If the proposed project requires a **Special Permit**, please **check** the appropriate **Board** and describe the Special Permit request in the space below:

☐

Town Board

☐

Planning Board

☐

Zoning Board of Appeals

N/A

B1. If the proposed project requires **Variances, or Waivers**, please **check** the appropriate **Board**, state the nature of the request and the reason in the space below:

☐

Town Board

☒

Planning Board

☐

Zoning Board of Appeals

The applicant seeks, among other things, from the Planning Board, a parking variance from the number of parking stalls required by Code Section 85-852 (21 required, 15 proposed), in connection with demolishing the existing building and parking, and constructing a new commercial building (2,079 square feet), with a drive-through, together with parking facilities, lighting, drainage, landscaping and other site improvements. On September 29, 2022, the applicant received approval from the Town Board for a special permit for, among other things, a waiver from the special permit criteria of Code Sections 85-483 and 85-852 requiring 12 queuing stalls (8 queuing stalls approved).

Planning Board Variance from Code Section 85-852: 21 parking stalls required - 15 parking stalls proposed

2. VARIANCES/WAIVERS REQUESTED: Please check the type of variance/waiver request and specify the size proposed:

[Note: Upon application review, additional variance/waiver request(s) may be added by Town Application Examiners.]

☐

Lot Area

☐

1st Story Sq. Ft.

☐

Lot Width

☐

2nd Story Sq. Ft.

☐

Front Yard Setback

☐Special Permit
Criteria☐

Rear Yard Setback

☒

Other

Parking Stalls 21/15

☐

Side Yard Setback

Minimum

Total

3. List the structure(s) requiring variance/waiver(s): Specify whether each structure is PROPOSED or EXISTING:

Commercial building (2,079 SF) with drive-through & parking (15 stalls)

☒☐☐☐☐☐



Town of

Brookhaven

Long Island, New York

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- C1.** If the proposed project requires an **Amendment to a Restrictive Covenant**, please **check** the appropriate **Board** and describe: A) Existing covenant for which relief is sought; B) Description of requested relief; and, C) Reason for requested relief, in the space below:

☐

Town Board

☐

Planning Board

☐

Zoning Board of Appeals

N/A

2. Percentage of current covenant area affected: %. Proposed percentage of covenant area affected: %.

3. Percentage of current buffer area affected: %. Proposed percentage of buffer area affected: %.

V. SUBDIVISION/LAND DIVISION:

- A1.** Complete for all subdivision/land division/road improvements

Deed(s) recorded in the Suffolk County Clerk's Office:

Date:

Liber:

Number of Lots:

Page:

N/A		

- ☐ Yes ☐ No 2. Are there encumbrances or liens against this land other than mortgages?
- ☐ Yes ☐ No 3. Will the final plat be filed in sections, or will it cover the entire preliminary layout?
- ☐ Yes ☐ No 4. Are all the public open spaces shown on the layout to be dedicated for public purposes?
5. How many acres are to be dedicated for public park or playground purposes?

Reset Form

**TOWN OF BROOKHAVEN
TRANSACTIONAL DISCLOSURE FORM
(Conflict of Interest Form)**

A Transactional Disclosure form is required when someone submits certain applications to Brookhaven Town. The purpose of the disclosure is to alert the Town if a party of influence has an interest in this application or if someone within the Town who will participate in the decision has an interest.

***Note:** It is required that a copy of this form be sent to the Director of the Board of Ethics.

Name Crest Coram I LLC Address 1201 Route 112, Suite 900
City Port Jefferson Station State NY Zip 11788
631.582.4800 Email d.scarda@thecrestgroupllc.com Fax 631.582.4955
Telephone _____

This form is for:

- ☐ An individual ☐ A partnership ☒ Limited Liability Company
☐ A corporation ☐ An association

Nature of Application:

- ☐ Property Assessment Grievance for non-residential parcel ☒ Variance
☐ Amendment ☐ Change of Zone
☐ Approval of Plat ☐ Exemption from Plat or Official Map
☐ License or Permit affecting real property ☐ Bidding on contract(s)
☒ Site Plan Approval

396 Middle Country Road, Coram, NY
SCTM No.: 0200-476.00-02.00-030.000, 032.001, 034.001

Affected parcel (address) _____

Does any officer or employee of the Town of Brookhaven, member of an executive committee of a political party, or his/her spouse, brother, sister, parent, child, grandchild or spouse of any of them, have an interest in this application by virtue of being the actual applicant, being the owner of the actual property or having an interest in the corporation, partnership or association making such application? Yes _____ No ☒

If Yes, complete the appropriate section below.

If No, sign and date at end of form.

Please complete the following relevant section below:

For individual:

Interested Party:

Name _____ Address _____
City _____ State _____ Zip _____

Effective 5/15/2018

For corporation:

Interested Party:

Name _____ Address _____

City _____ State _____ Zip _____

Title _____ Department _____

Relationship to Public Officer/Employee and Title, if other than Self: _____

Yes ___ No ___ Is the owner of greater than five percent (5%) of the corporate stock of the application when the applicant is a corporation whose stock is publicly traded.

Yes ___ No ___ The actual applicant,

Yes ___ No ___ An Officer, Director, Partner, or Employee of the applicant, or

Yes ___ No ___ Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant.

For partnership or association:

Interested Party:

Name _____ Address _____

City _____ State _____ Zip _____

Title _____ Department _____

Relationship to Public Officer/Employee and Title, if other than Self: _____

Yes ___ No ___ Does the owner hold greater than five percent (5%) interest of publicly traded shares?

Yes ___ No ___ The actual applicant,

Yes ___ No ___ An Officer, Director, Partner, or Employee of the applicant, or

Yes ___ No ___ Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant.

ALL APPLICANTS PLEASE FILL OUT BELOW:

Print Name By: Crest Coram I, LLC Date 10/12/22
Title: Member

Signature 

Effective 05/15/2018

**TOWN OF BROOKHAVEN
TRANSACTIONAL DISCLOSURE FORM
(Conflict of Interest Form)**

A Transactional Disclosure form is required when someone submits certain applications to Brookhaven Town. The purpose of the disclosure is to alert the Town if a party of influence has an interest in this application or if someone within the Town who will participate in the decision has an interest.

***Note:** It is required that a copy of this form be sent to the Director of the Board of Ethics.

Name Middle Country LLC Address 1201 Route 112, Suite 900
City Port Jefferson Station State NY Zip 11788
631.582.4800 Email d.scarda@thecrestgroupllc.com Fax 631.582.4955
Telephone _____

This form is for:

- ☐ An individual ☐ A partnership ☒ Limited Liability Company
☐ A corporation ☐ An association

Nature of Application:

- ☐ Property Assessment Grievance for non-residential parcel ☒ Variance
☐ Amendment ☐ Change of Zone
☐ Approval of Plat ☐ Exemption from Plat or Official Map
☐ License or Permit affecting real property ☐ Bidding on contract(s)
☒ Site Plan Approval

Affected parcel (address) 396 Middle Country Road, Coram, NY
SCTM No.: 0200-476.00-02.00-030.000, 032.001, 034.001

Does any officer or employee of the Town of Brookhaven, member of an executive committee of a political party, or his/her spouse, brother, sister, parent, child, grandchild or spouse of any of them, have an interest in this application by virtue of being the actual applicant, being the owner of the actual property or having an interest in the corporation, partnership or association making such application? Yes _____ No x _____

If Yes, complete the appropriate section below.

If No, sign and date at end of form.

Please complete the following relevant section below:

For individual:

Interested Party:

Name _____ Address _____
City _____ State _____ Zip _____

Effective 5/15/2018

For corporation:

Interested Party:

Name _____ Address _____

City _____ State _____ Zip _____

Title _____ Department _____

Relationship to Public Officer/Employee and Title, if other than Self: _____

Yes ___ No ___ Is the owner of greater than five percent (5%) of the corporate stock of the application when the applicant is a corporation whose stock is publicly traded.

Yes ___ No ___ The actual applicant,

Yes ___ No ___ An Officer, Director, Partner, or Employee of the applicant, or

Yes ___ No ___ Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant.

For partnership or association:

Interested Party:

Name _____ Address _____

City _____ State _____ Zip _____

Title _____ Department _____

Relationship to Public Officer/Employee and Title, if other than Self: _____

Yes ___ No ___ Does the owner hold greater than five percent (5%) interest of publicly traded shares?

Yes ___ No ___ The actual applicant,

Yes ___ No ___ An Officer, Director, Partner, or Employee of the applicant, or

Yes ___ No ___ Legally or beneficially owns or controls any stock of a non-publicly traded corporate applicant or is a member of a partnership or association of the applicant.

ALL APPLICANTS PLEASE FILL OUT BELOW:

Print Name By: Danielle P. Scudro Date 10/12/22
Middle Country LLC
Title: Member

Signature [Signature]

Effective 05/15/2018

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Crest Coram I LLC		
Project Location (describe, and attach a general location map): <small>396 Middle Country Road (NYS Route 25), southwest corner of Middle Country Road and Patchogue Port Jefferson Road (NYS Route 112), Coram, NY. SCTM District 200, Section 476, Block 2, Lots 32.1, 34.1, 30.0</small>		
Brief Description of Proposed Action (include purpose or need): The applicant seeks, from the Planning Board, a parking variance from the number of parking stalls required by Code Section 85-852 (21 required, 15 proposed), and site plan approval, in connection with demolishing the existing building and parking, and constructing a new commercial building (2,079 square feet), with a drive-through, together with parking facilities, lighting, drainage, landscaping and other site improvements. On September 29, 2022, the applicant received approval from the Town Board for a special permit for a major restaurant, with accessory drive-through, pursuant to Code Section 85-477(B), and a waiver from the special permit criteria of Code Sections 85-483 and 85-852 requiring 12 queuing stalls (8 queuing stalls approved).		
Name of Applicant/Sponsor: Crest Coram I LLC	Telephone: 631-582-4800	
	E-Mail: d.scarda@crestorg.com	
Address: 1201 ROUTE 112, Suite 900		
City/PO: Port Jefferson Station	State: NY	Zip Code: 11776
Project Contact (if not same as sponsor; give name and title/role): ZACHARY CHAPLIN, PROJECT MANAGER	Telephone: 718 - 606 - 8305	
	E-Mail: zchaplin@stonefieldeng.com	
Address: 584 BROADWAY, SUITE 310		
City/PO: NEW YORK CITY	State: NY	Zip Code: 10012
Property Owner (if not same as sponsor): SAME AS SPONSOR	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	TOWN BOARD - SPECIAL PERMIT FOR MAJOR RESTAURANT WITH DRIVE-THRU	Conditionally approved on 09/29/2022
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	TOWN PLANNING BOARD - SITE PLAN /TREE CLEARANCE APPROVAL - PARKING VARIANCE	TBD
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	TOWN DEPARTMENT OF ENV. PROTECTION - WETLANDS AND WATERWAYS PERMIT	TBD
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SUFFOLK COUNTY WATER AUTHORITY SUFFOLK COUNTY DEPARTMENT OF HEALTH	TBD
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	CENTRAL PINE BARRENS	TBD
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DOT - HIGHWAY WORK PERMIT, NYSDEC - SPDES PERMIT, NYSDEC - WETLANDS AND WATERWAYS PERMIT	TBD
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☐ No
N/A

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☐ Yes ☒ No
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐ Yes ☐ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☒ Yes ☐ No

If Yes, identify the plan(s):

NYS Heritage Areas:LI North Shore Heritage Area

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No
If Yes, what is the zoning classification(s) including any applicable overlay district?

J BUSINESS 6 ZONE, A RESIDENTIAL 1 ZONE

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☒ No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? LONGWOOD CSD

b. What police or other public protection forces serve the project site?

SUFFOLK COUNTY POLICE DEPARTMENT - 6TH PRECINCT

c. Which fire protection and emergency medical services serve the project site?

CORAM FIRE DEPARTMENT

d. What parks serve the project site?

BIRCHWOOD ROAD PARK

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

COMMERCIAL

b. a. Total acreage of the site of the proposed action? 2.19 acres

b. Total acreage to be physically disturbed? 1.51 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 2.19 acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☒ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☒ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? ☐ Yes ☐ No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? ☐ Yes ☒ No

i. If No, anticipated period of construction: 12 months

ii. If Yes:

- Total number of phases anticipated _____

- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year

- Anticipated completion date of final phase _____ month _____ year

- Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes,	
i. Total number of structures _____ 1_____ ii. Dimensions (in feet) of largest proposed structure: _____ 22'-0" height; _____ 33'-5" width; and _____ 61'-0" length iii. Approximate extent of building space to be heated or cooled: _____ 2,079 square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes,	
i. Purpose of the impoundment: _____ ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input type="checkbox"/> Other specify: _____ iii. If other than water, identify the type of impounded/contained liquids and their source. _____ iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____ _____	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) If Yes:	
i. What is the purpose of the excavation or dredging? _____ ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site? • Volume (specify tons or cubic yards): _____ • Over what duration of time? _____ iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____ _____ iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, describe. _____ _____ v. What is the total area to be dredged or excavated? _____ acres vi. What is the maximum area to be worked at any one time? _____ acres vii. What would be the maximum depth of excavation or dredging? _____ feet viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input type="checkbox"/> No ix. Summarize site reclamation goals and plan: _____ _____ _____	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____ _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☐ No
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No
If Yes:

i. Total anticipated water usage/demand per day: _____ 800 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No
If Yes:

- Name of district or service area: SUFFOLK COUNTY WATER AUTHORITY
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☒ No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☐ No
If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No
If Yes:

i. Total anticipated liquid waste generation per day: _____ 550 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
SANITARY WASTEWATER

iii. Will the proposed action use any existing public wastewater treatment facilities? ☐ Yes ☒ No
If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? ☐ Yes ☐ No
- Is the project site in the existing district? ☐ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☐ No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? _____ • Will a line extension within an existing district be necessary to serve the project? _____ <p>If Yes:</p> <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ _____ _____ 	<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
<p>iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? _____</p> <p>If Yes:</p> <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ <p>v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): _____</p> <p>THE SANITARY WASTEWATER WILL BE TREATED VIA ON-SITE SEPTIC SYSTEM IN ACCORDANCE WITH THE SUFFOLK COUNTY REQUIREMENTS AND STORM WATER RUNOFF WILL BE MAINTAINED ON-SITE IN ACCORDANCE WITH LOCAL AND COUNTY REQUIREMENTS.</p> <p>vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____</p> <p>NOT APPLICABLE</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? _____</p> <p>If Yes:</p> <p>i. How much impervious surface will the project create in relation to total size of project parcel?</p> <p> <u>24,892</u> Square feet or <u>0.57</u> acres (impervious surface)</p> <p> <u>95,220</u> Square feet or <u>2.19</u> acres (parcel size)</p> <p>ii. Describe types of new point sources. <u>FLOW WILL BE DIRECTED ALONG CURBS TO INLETS, WHERE WATER WILL BE CONVEYED VIA PIPE FLOW TO SHALLOW LEACHING GALLEYS.</u></p> <p>iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? _____</p> <p><u>STORMWATER RUNOFF WILL BE DIRECTED TOWARDS STORMWATER MANAGEMENT FACILITIES INCLUDING ON-SITE SHALLOW LEACHING GALLEYS AND A BIORETENTION BASIN,</u></p> <ul style="list-style-type: none"> • If to surface waters, identify receiving water bodies or wetlands: _____ _____ • Will stormwater runoff flow to adjacent properties? _____ 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? _____</p> <p>If Yes, identify:</p> <p>i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) _____</p> <p>ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) _____</p> <p>iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) _____</p>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<p>g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? _____</p> <p>If Yes:</p> <p>i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) _____</p> <p>ii. In addition to emissions as calculated in the application, the project will generate:</p> <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input type="checkbox"/> Morning <input type="checkbox"/> Evening <input type="checkbox"/> Weekend <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____</p> <p>iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____</p> <p>iv. Does the proposed action include any shared use parking? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____ TBD</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): <u>NATIONAL GRID/PSEG LONG ISLAND</u></p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7:00A-4:30P</u> • Saturday: <u>N/A</u> • Sunday: <u>N/A</u> • Holidays: <u>N/A</u> </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>TBD</u> • Saturday: <u>TBD</u> • Sunday: <u>TBD</u> • Holidays: <u>TBD</u> </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7:00A-4:30P</u> • Saturday: <u>N/A</u> • Sunday: <u>N/A</u> • Holidays: <u>N/A</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>TBD</u> • Saturday: <u>TBD</u> • Sunday: <u>TBD</u> • Holidays: <u>TBD</u>
<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>7:00A-4:30P</u> • Saturday: <u>N/A</u> • Sunday: <u>N/A</u> • Holidays: <u>N/A</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>TBD</u> • Saturday: <u>TBD</u> • Sunday: <u>TBD</u> • Holidays: <u>TBD</u> 		

<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p><u>AREA LIGHTING AND BUILDING LIGHTING WILL BE PROVIDED IN ACCORDANCE WITH THE LOCAL REQUIREMENTS.</u></p> <p>_____</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ TBD tons per _____ (unit of time) • Operation : _____ 10 tons per _____ YEAR (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: <u>ON-SITE RECYCLABLE WASTE DISPOSAL PROVIDED. RECYCLING TO BE COLLECTED THROUGHOUT CONSTRUCTION, AND APPROPRIATELY DISPOSED OF.</u> • Operation: <u>ON-SITE STORAGE PROVIDED (TRASH & RECYCLING ENCLOSURE) TO BE PICKED UP BY PRIVATE COMPANY.</u> <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: <u>ON-SITE WASTE DISPOSAL PROVIDED. WASTE TO BE COLLECTED THROUGHOUT CONSTRUCTION, AND APPROPRIATELY DISPOSED OF USING DUMP TRUCKS.</u> • Operation: <u>ON-SITE STORAGE PROVIDED (TRASH & RECYCLING ENCLOSURE) TO BE PICKED UP BY PRIVATE COMPANY.</u> 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☐ Urban ☐ Industrial ☒ Commercial ☐ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☐ Other (specify): _____

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	0.76	0.57	-0.19
• Forested	1.35	1.22	-0.13
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)	0.05	0.05	0.05
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: <u>VEGETATED (GRASS & LANDSCAPE)</u>	0.03	0.35	+0.32

c. Is the project site presently used by members of the community for public recreation? i. If Yes: explain: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? If Yes, i. Identify Facilities: _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
e. Does the project site contain an existing dam? If Yes: i. Dimensions of the dam and impoundment: <ul style="list-style-type: none"> • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet ii. Dam's existing hazard classification: _____ iii. Provide date and summarize results of last inspection: _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: i. Has the facility been formally closed? <ul style="list-style-type: none"> • If yes, cite sources/documentation: _____ ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: <div style="display: flex; justify-content: space-between; align-items: flex-start; margin-top: 5px;"> <div style="width: 45%;"> <input type="checkbox"/> Yes – Spills Incidents database <input type="checkbox"/> Yes – Environmental Site Remediation database <input type="checkbox"/> Neither database </div> <div style="width: 50%;"> Provide DEC ID number(s): _____ Provide DEC ID number(s): _____ </div> </div> ii. If site has been subject of RCRA corrective activities, describe control measures: _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If yes, provide DEC ID number(s): _____ iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____ _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input type="checkbox"/> No <ul style="list-style-type: none"> If yes, DEC site ID number: _____ Describe the type of institutional control (e.g., deed restriction or easement): _____ Describe any use limitations: _____ Describe any engineering controls: _____ Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No Explain: _____ _____ 																							
E.2. Natural Resources On or Near Project Site																							
a. What is the average depth to bedrock on the project site? _____ ±900 feet																							
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %																							
c. Predominant soil type(s) present on project site: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%; border-bottom: 1px solid black;">CUT AND FILL LAND</td> <td style="width: 40%; text-align: right; border-bottom: 1px solid black;">100 %</td> </tr> <tr> <td style="border-bottom: 1px solid black;"> </td> <td style="text-align: right; border-bottom: 1px solid black;"> </td> </tr> <tr> <td style="border-bottom: 1px solid black;"> </td> <td style="text-align: right; border-bottom: 1px solid black;"> </td> </tr> </table>		CUT AND FILL LAND	100 %																				
CUT AND FILL LAND	100 %																						
d. What is the average depth to the water table on the project site? Average: _____ ±3 feet																							
e. Drainage status of project site soils: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30px;"><input type="checkbox"/></td> <td style="width: 150px;">Well Drained:</td> <td style="width: 100px; border-bottom: 1px solid black;"> </td> <td style="width: 100px; text-align: right;">% of site</td> </tr> <tr> <td><input type="checkbox"/></td> <td>Moderately Well Drained:</td> <td style="border-bottom: 1px solid black;"> </td> <td style="text-align: right;">% of site</td> </tr> <tr> <td><input checked="" type="checkbox"/></td> <td>Poorly Drained</td> <td style="border-bottom: 1px solid black;">100</td> <td style="text-align: right;">% of site</td> </tr> </table>		<input type="checkbox"/>	Well Drained:		% of site	<input type="checkbox"/>	Moderately Well Drained:		% of site	<input checked="" type="checkbox"/>	Poorly Drained	100	% of site										
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<input type="checkbox"/>	Moderately Well Drained:		% of site																				
<input checked="" type="checkbox"/>	Poorly Drained	100	% of site																				
f. Approximate proportion of proposed action site with slopes: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30px;"><input checked="" type="checkbox"/></td> <td style="width: 150px;">0-10%:</td> <td style="width: 100px; border-bottom: 1px solid black;">100</td> <td style="width: 100px; text-align: right;">% of site</td> </tr> <tr> <td><input type="checkbox"/></td> <td>10-15%:</td> <td style="border-bottom: 1px solid black;"> </td> <td style="text-align: right;">% of site</td> </tr> <tr> <td><input type="checkbox"/></td> <td>15% or greater:</td> <td style="border-bottom: 1px solid black;"> </td> <td style="text-align: right;">% of site</td> </tr> </table>		<input checked="" type="checkbox"/>	0-10%:	100	% of site	<input type="checkbox"/>	10-15%:		% of site	<input type="checkbox"/>	15% or greater:		% of site										
<input checked="" type="checkbox"/>	0-10%:	100	% of site																				
<input type="checkbox"/>	10-15%:		% of site																				
<input type="checkbox"/>	15% or greater:		% of site																				
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe: _____ _____																							
h. Surface water features. <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%;">i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?</td> <td style="width: 20%; text-align: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> </tr> <tr> <td>ii. Do any wetlands or other waterbodies adjoin the project site?</td> <td style="text-align: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> </tr> </table> If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i. <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%;">iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?</td> <td style="width: 20%; text-align: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> </tr> </table> iv. For each identified regulated wetland and waterbody on the project site, provide the following information: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">•</td> <td style="width: 10%;">Streams:</td> <td style="width: 30%;">Name _____</td> <td style="width: 10%;">Classification _____</td> </tr> <tr> <td>•</td> <td>Lakes or Ponds:</td> <td>Name 922-49</td> <td>Classification C</td> </tr> <tr> <td>•</td> <td>Wetlands:</td> <td>Name NYS Wetland, Federal Waters, Federal Waters</td> <td>Approximate Size NYS Wetland (in a...</td> </tr> <tr> <td>•</td> <td>Wetland No. (if regulated by DEC)</td> <td colspan="2">P-16</td> </tr> </table>		i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	ii. Do any wetlands or other waterbodies adjoin the project site?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	•	Streams:	Name _____	Classification _____	•	Lakes or Ponds:	Name 922-49	Classification C	•	Wetlands:	Name NYS Wetland, Federal Waters, Federal Waters	Approximate Size NYS Wetland (in a...	•	Wetland No. (if regulated by DEC)	P-16	
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ii. Do any wetlands or other waterbodies adjoin the project site?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																						
iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																						
•	Streams:	Name _____	Classification _____																				
•	Lakes or Ponds:	Name 922-49	Classification C																				
•	Wetlands:	Name NYS Wetland, Federal Waters, Federal Waters	Approximate Size NYS Wetland (in a...																				
•	Wetland No. (if regulated by DEC)	P-16																					
v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____ _____																							
i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																							
j. Is the project site in the 100-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																							
k. Is the project site in the 500-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																							
l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 10%;">i.</td> <td style="width: 10%;">Name of aquifer:</td> <td style="width: 80%;">Sole Source Aquifer Names: Nassau-Suffolk SSA</td> </tr> </table>		i.	Name of aquifer:	Sole Source Aquifer Names: Nassau-Suffolk SSA																			
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<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p><u>Northern Long-Eared Bat</u> _____</p> <p>_____</p>	
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p><u>Northern Long-eared Bat</u></p> <p>_____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p> <p><u>Mottled Duskywing</u></p> <p>_____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: <u>SGPA, Central Suffolk Pine Barrens</u></p> <p style="margin-left: 20px;">ii. Basis for designation: <u>Protect groundwater, Benefit to human health & protect drinking water</u></p> <p style="margin-left: 20px;">iii. Designating agency and date: <u>Agency: Long Island Regional Planning, Agency: Suffolk County, Date: 3-19-93, Date: 2-10-88</u></p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? If Yes: i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District ii. Name: _____ iii. Brief description of attributes on which listing is based: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? If Yes: i. Describe possible resource(s): _____ ii. Basis for identification: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? If Yes: i. Identify resource: _____ ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ iii. Distance between project and resource: _____ miles.	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? If Yes: i. Identify the name of the river and its designation: _____ ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No

F. Additional Information


Attach any additional information which may be needed to clarify your project.

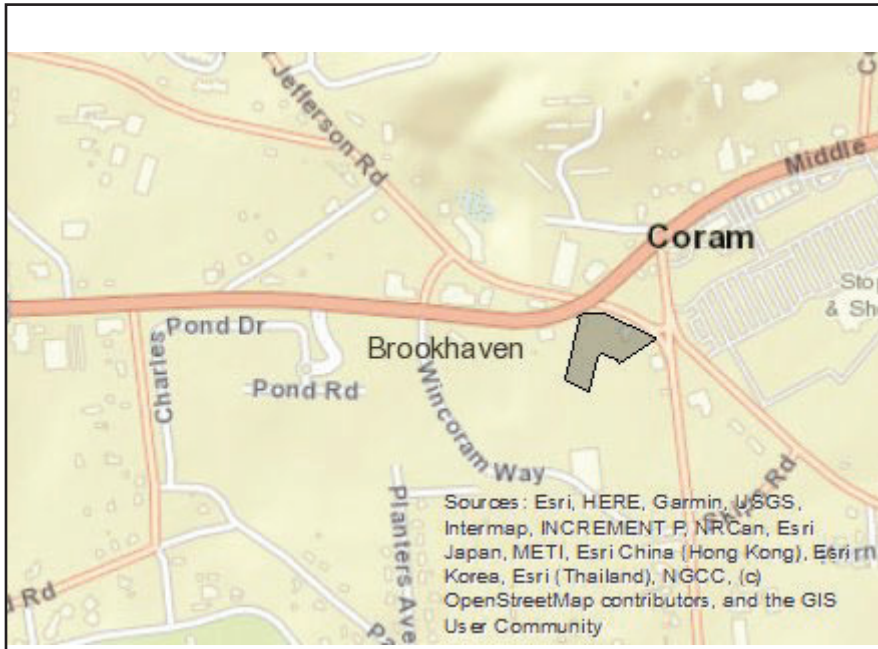
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name ZACHARY CHAPLIN, PE Date 10/20/2022

Signature  Title PROJECT ENGINEER



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

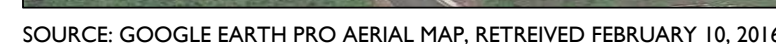


B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas:LI North Shore Heritage Area
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Lake/Pond Name]	922-49
E.2.h.iv [Surface Water Features - Lake/Pond Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	NYS Wetland, Federal Waters
E.2.h.iv [Surface Water Features - Wetlands Size]	NYS Wetland (in acres):7.8
E.2.h.iv [Surface Water Features - DEC Wetlands Number]	P-16

E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Sole Source Aquifer Names:Nassau-Suffolk SSA
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Northern Long-eared Bat
E.2.p. [Rare Plants or Animals]	Yes
E.2.p. [Rare Plants or Animals - Name]	Mottled Duskywing
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	Yes
E.3.d [Critical Environmental Area - Name]	SGPA, Central Suffolk Pine Barrens
E.3.d.ii [Critical Environmental Area - Reason]	Protect groundwater, Benefit to human health & protect drinking water
E.3.d.iii [Critical Environmental Area – Date and Agency]	Agency:Long Island Regional Planning, Agency:Suffolk County, Date:3-19-93, Date:2-10-88
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No



SCALE: 1" = 1000'±



SCALE: 1" = 200'±

By Planning Division at 12:07 pm, Oct 25, 2022

THE CREST GROUP, LLC
1201 ROUTE 112, SUITE 900
PORT JEFFERSON STATION, NY 11776
(O) (631) 582-4800
(F) (631) 582-4955
INFO@THECRESTGROUPLLC.COM

SOURCE: SUFFOLK COUNTY GIS VIEWER TAX MAPS, DATED APRIL, 2019

SCALE: 1" = 200'±

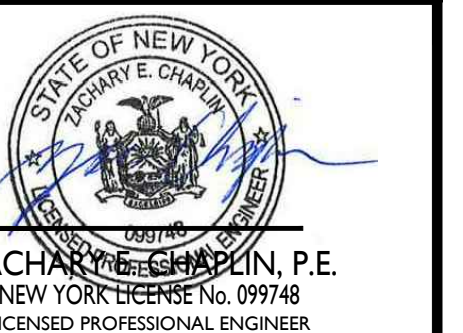
DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING & DRAINAGE PLAN	C-5
LANDSCAPING PLAN	C-6 - C-7
UTILITY PLAN	C-8
LIGHTING PLAN	C-9
SOIL EROSION & SEDIMENT CONTROL PLAN	C-10
CONSTRUCTION DETAILS	C-11 - C-14
DISTURBANCE PLAN	C-15



ISSUE	DATE	BY	DESCRIPTION
14	10/19/2022	JF	ISSUED FOR SITE PLAN APPROVAL
13	07/26/2022	JF	UPDATED FOR MUNICIPAL COMMENTS
12	03/16/2022	FT	UPDATED PER NYDEC COMMENTS
11	02/01/2022	BR	UPDATED SITE PLAN LAYOUT
10	05/24/2021	AKM	UPDATED SITE PLAN LAYOUT
09	05/05/2021	FT	RESUBMISSION TO THE TOWN
08	04/01/2021	FT	RESUBMISSION TO THE TOWN
07	03/02/2021	FT	RESUBMISSION TO THE TOWN
06	01/22/2021	CMG	RESUBMISSION TO THE TOWN
01	05/21/2019	ZC	SUBMISSION TO TOWN

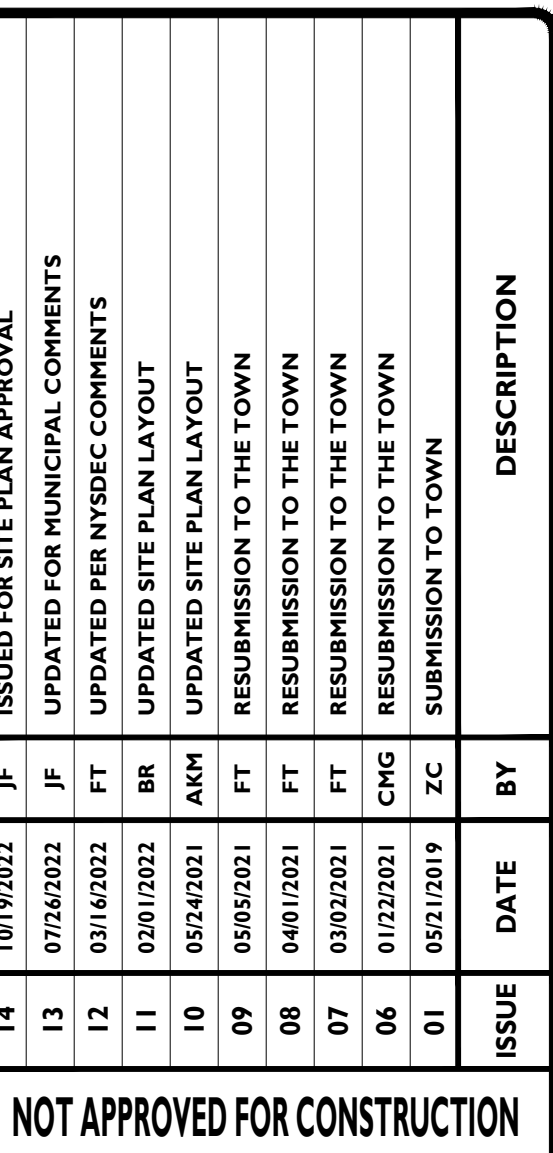
Rutherford, NJ • New York, NY
Princeton, NJ • Tampa, FL • Detroit, MI
www.stonefieldeng.com

BLOCK 2, LOT 32.1, 34.1 & 30
MIDDLE COUNTRY ROAD & NYS ROUTE 112
HAMLET OF CORAM, TOWN OF BROOKHAVEN
SUFFOLK COUNTY, NEW YORK



C-1

4. THE ADDRESS FOR THIS PROPERTY IS 396 MIDLAND COUNTRY ROAD, CORAN, NY FROM RECORD DOCUMENTS.
5. THIS SURVEY AND THE BOUNDARIES SHOWN HEREON ARE THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED DURING (03/28/2019) BY MEASUREMENT OF AVAILABLE MAPS AND DEEDS OF RECORD, AND PHYSICAL EVIDENCE.
6. THIS SURVEY IS VALID ONLY WHEN AN EMBOSSED SEAL IS AFFIXED HERETO.
7. THE IDENTIFICATION SHOWN HEREON IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS.
8. LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE AND ARE BASED ON OBVIOUS ABOVE GROUND UTILITIES. THE LOCATION AFTER THE DATE OF THIS MEASUREMENT, THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED BY DIGGING TEST HOLES PRIOR TO ANY DESIGN OR CONSTRUCTION, ADDITIONAL UNDERGROUND UTILITIES MAY EXIST.
9. BEARINGS ARE REFERENCED TO THE NJ STATE PLANE COORDINATE SYSTEM, NAD 83 (NAD 83). ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1988 (NAD 88), ESTABLISHED BY NYS RTK GPS OBSERVATIONS.
10. THE PROPERTY HAS DIRECT ACCESS TO MIDDLE COUNTRY ROAD & NEW YORK ROUTE 112.
11. A WRITTEN COMMENT AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C. 41 (C458-B36) AND N.J.A.C. 17:30.5-1 (D).



SITE PLANS

**PROPOSED DUNKIN' RESTAURANT
WITH DRIVE-THRU**

DUNKIN'

396 NYS ROUTE 112
BLOCK 2, LOT 32.1, 34.1 & 30
MIDDLE COUNTRY ROAD & NYS ROUTE 112
SHEPARD TOWN OF CORAUN, TOWN OF BROOKHAVEN
SUFFOLK COUNTY, NEW YORK

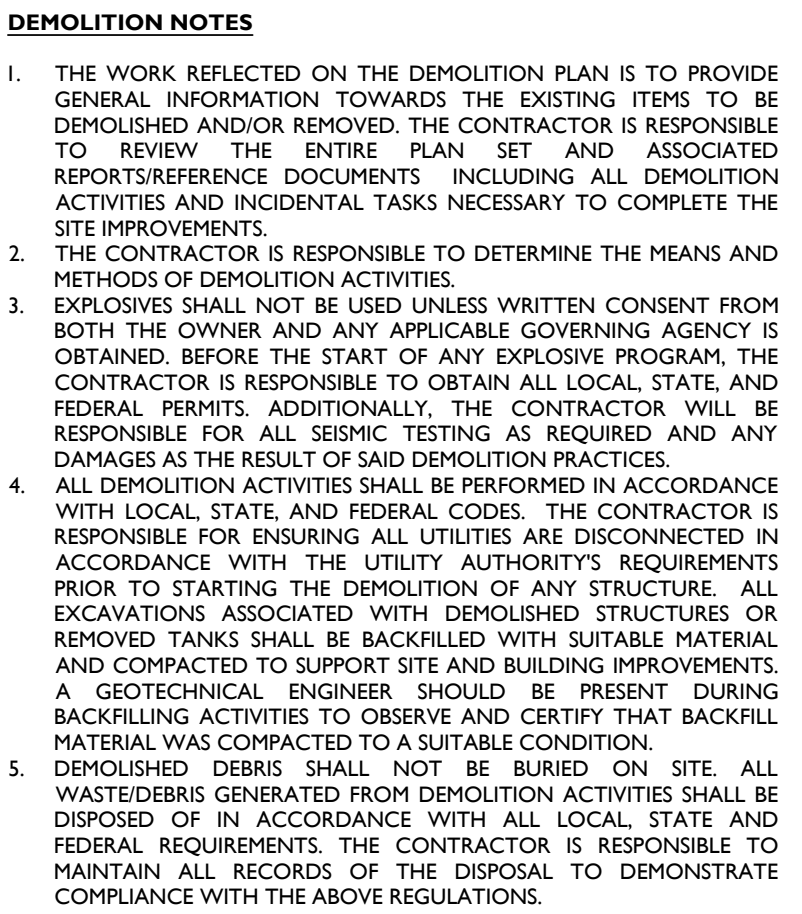


EXISTING CONDITIONS PLAN

C-2

The logo for 811, featuring the numbers "811" in a large, bold, black font. Below the numbers is a stylized, black and white graphic of a shovel head, with the "1" partially overlapping it. A small registered trademark symbol (®) is located to the right of the shovel head.

<u>SYMBOL</u>	<u>DESCRIPTION</u>
— — — — —	FEATURE TO BE REMOVED / DEMOLISHED
— LOD —	LIMIT OF DISTURBANCE



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SITE PLANS

**PROPOSED DUNKIN' RESTAURANT
WITH DRIVE-THRU**

DUNKIN'

396 NYS ROUTE 112
BLOCK 2, LOT 32.1, 34.1 & 30
MIDDLE COUNTRY ROAD & NYS ROUTE 112
HAMLET OF CORAM, TOWN OF BROOKHAVEN
SUFFOLK COUNTY, NEW YORK



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SCALE:	1" = 20'	PROJECT ID: K-18035
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DEMOLITION PLAN

DRAWING:

C-3



SOURCE: USGS 7.5 MINUTE SERIES BELLPORT PATCHOGUE, NY
QUADRANGLE MAP, DATED 2016
LOCATION / KEY MAP
SCALE: 1" = 1000'±

TABLE OF LAND USE AND ZONING			
DISTRICT 200 SECTION 476 BLOCK 2 LOTS 32.1, 34.1 AND 30.0			
J BUSINESS 6 ZONE & A-1 RESIDENCE ZONE			
PROPOSED USE			
MAJOR RESTAURANT WITH DRIVE-THRU		SPECIAL PERMIT FROM TOWN BOARD	
RETAIL STORE		PERMITTED USE	
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA	4,000 SF (0.09 AC)	95,545 SF (2.19 AC)	95,545 SF (2.19 AC)
MINIMUM LOT WIDTH	50 FT	> 50 FT	> 50 FT
MAXIMUM FLOOR AREA RATIO	60% (57,132.3 SF)	2.0% (1,954 SF)	2.2% (2,079 SF)
MAXIMUM BUILDING HEIGHT	35 FT / 2 1/2 STORIES	1 STORY	22 FT
MINIMUM FRONT YARD SETBACK	5 FT	13.2 FT	7.5 FT
MAXIMUM FRONT YARD SETBACK	25 FT	13.2 FT	7.5 FT
MINIMUM SIDE YARD SETBACK	0 FT	9.6 FT	126.8 FT
MINIMUM REAR YARD SETBACK	30 FT	124.5 FT	139.0 FT
MAXIMUM SITE CLEARANCE	63.4% *	-	37.9% (LOSS OF 23,215 SF)

(*) MAXIMUM SITE CLEARANCE IS BASED ON A WEIGHTED AVERAGE OF PERMISSIBLE CLEARANCE OF LOT 30.0, AND LOTS 32.1 AND 34.1.
PER FIGURE 5-1, THE MAXIMUM ALLOWABLE CLEARANCE ON LOT 30.0 IS 53%. THE MAXIMUM ALLOWABLE CLEARANCE ON LOTS 32.1 AND 34.1 IS 65%.

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 85-852	PARKING REQUIREMENTS: MAJOR RESTAURANT WITH DRIVE-THRU 1 SPACE PER 100 SF GFA (1 SPACE / 100 SF) * 2,079 SF = 21 SPACES	15 SPACES (V)*
§ 85-852	DRIVE-THRU QUEUING SPACES 12 QUEUING SPACES PER WINDOW (12 SPACES / WINDOW) * 1 WINDOW = 12 QUEUING SPACES	8 SPACES (V)*
§ 85-854.B	PARKING SPACE SIZE REQUIREMENTS: 90 DEGREE STALL: 9 FT X 19 FT	9 FT X 19 FT
§ 85-854.D	DRIVE-THRU QUEUE SPACE SIZE REQUIREMENTS: 9 FT X 22 FT	9 FT X 22 FT

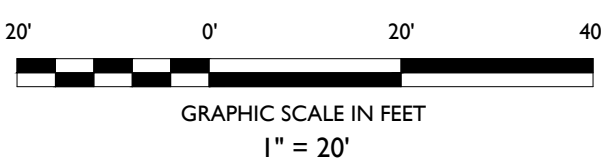
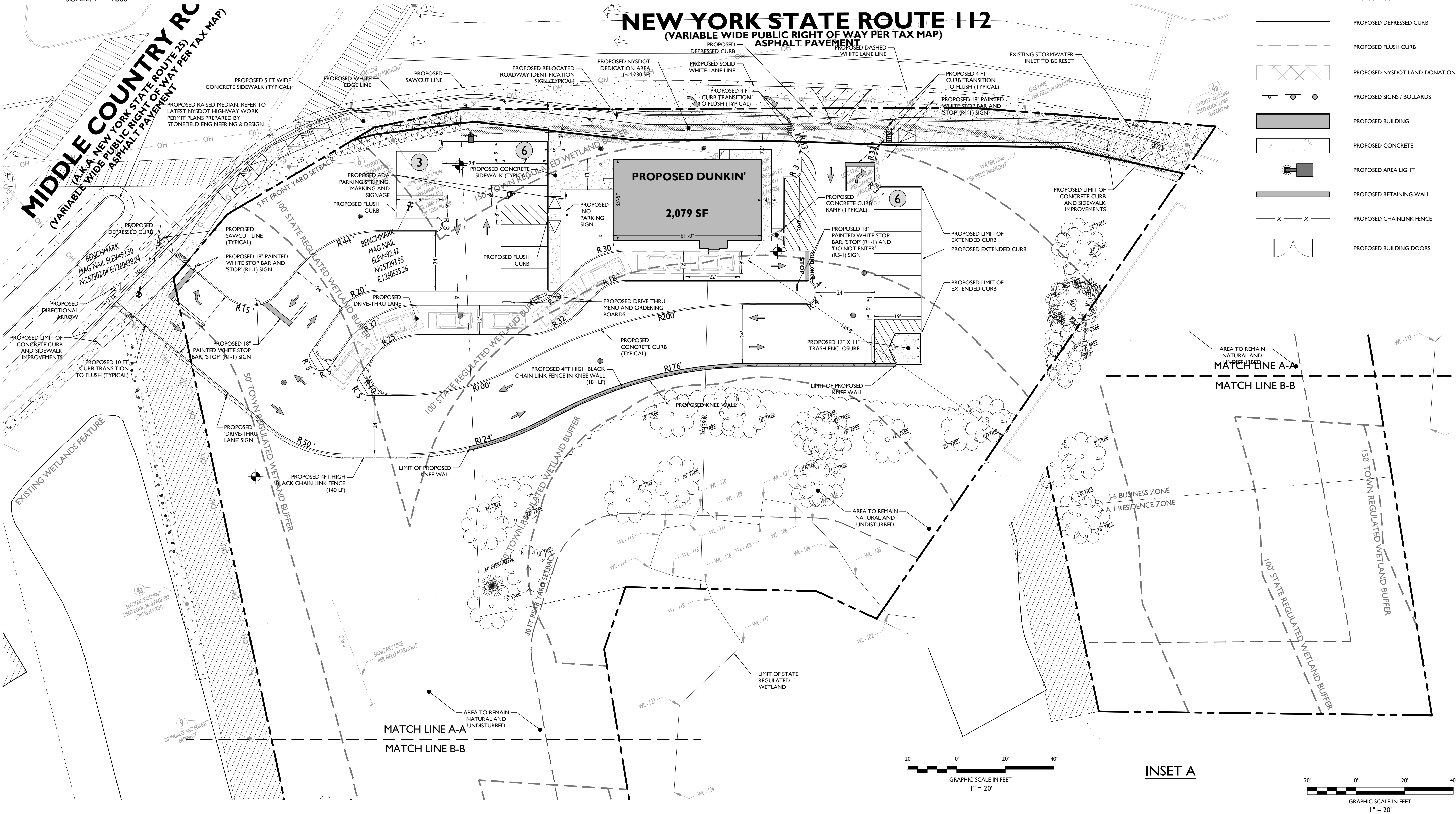
(*) PROPOSED PARKING AND DRIVE-THRU QUEUING SPACE DEFICIENCIES ARE CONSIDERED RELAXATIONS SUBJECT TO PLANNING BOARD APPROVAL

IMPERVIOUS AREAS			
BUFFER AREA	IMPERVIOUS AREA	PERVIOUS AREA	TOTAL AREA
100' STATE REGULATED WETLAND BUFFER	10,432 SF	46,284 SF	56,716 SF
150' TOWN REGULATED WETLAND BUFFER	21,257 SF	61,649 SF	82,906 SF

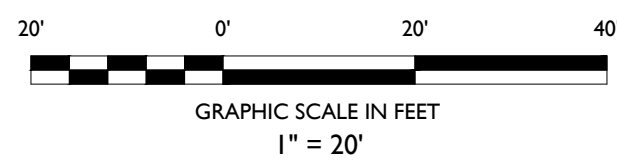
SPECIAL PERMIT CRITERIA		
CODE SECTION	REQUIRED	PROPOSED
§ 85-483.B.(1)	DRIVE-THROUGH FACILITIES MAY ONLY BE LOCATED TO THE REAR OR THE SIDE OF THE PRINCIPAL BUILDING.	COMPLIES
§ 85-483.B.(4)	DRIVE-THROUGH FACILITIES SHALL NOT TRAVERSE ANY FRONT YARD.	COMPLIES
§ 85-483.B.(5)	QUEUING SHALL BE PROVIDED PURSUANT TO TOWN CODE STANDARDS.	DOES NOT COMPLY (W)
§ 85-483.B.(6)	DRIVE-THROUGH FACILITIES SHALL BE SCREENED FROM VIEW OF THE PRIMARY OR SECONDARY MAIN STREET.	COMPLIES

(W) WAIVER

SYMBOL	DESCRIPTION
---	PROPERTY LINE
---	SETBACK LINE
---	SAWCUT LINE
---	PROPOSED CURB
---	PROPOSED DEPRESSED CURB
---	PROPOSED FLUSH CURB
---	PROPOSED NYS DOT LAND DONATION
---	PROPOSED SIGNS / BOLLARDS
---	PROPOSED BUILDING
---	PROPOSED CONCRETE
---	PROPOSED AREA LIGHT
---	PROPOSED RETAINING WALL
---	PROPOSED CHAINLINK FENCE
---	PROPOSED BUILDING DOORS



INSET A



SITE PLANS

PROPOSED DUNKIN' RESTAURANT WITH DRIVE-THRU



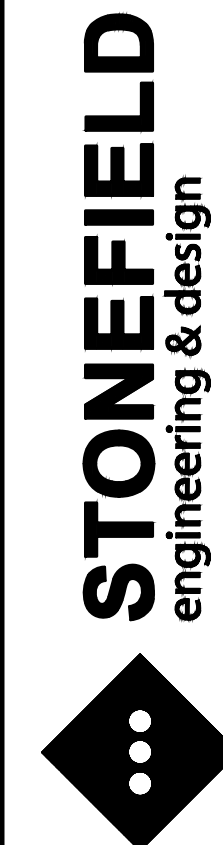
SCALE: 1" = 20' PROJECT ID: K-18035

TITLE:

SITE PLAN

DRAWING:

C-4



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DUNKIN'

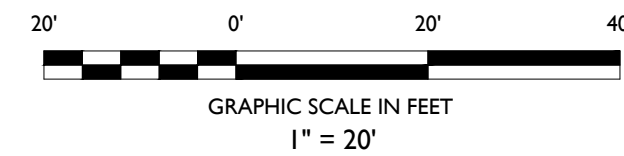
204 NYS ROUTE 112
BLOCK 2, LOT 32.1, 34.1 & 30
MIDDLE COUNTRY ROAD & NYS ROUTE 112
HAMLET OF CORAM, TOWN OF BROOKHAVEN
SUFFOLK COUNTY, NEW YORK

1. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR STORMWATER IMPROVEMENTS. SHOULD A CONFLICT WITH AN EXISTING UTILITY BE IDENTIFIED, IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
2. CONTRACTOR SHALL START CONSTRUCTION OF STORM LINES AT THE LOWEST INVERT AND WORK UP-GRADIENT.
3. PRIOR TO THE START OF CONSTRUCTION, THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES AND RECORD THE UTILITIES EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY. THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
4. CONTRACTOR SHALL RESURFACE THE ROAD TO THE RIGHT OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEFINED ON THE PLAN SET. THE PLAN SET SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

2. THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATIONS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER RECORD.
4. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SHORING FOR ALL EXCAVATIONS AS REQUIRED. CONTRACTOR SHALL HAVE THE SHORING DESIGN PREPARED BY A QUALIFIED PROFESSIONAL. SHORING DESIGNS SHALL BE SUBMITTED TO THE OWNER FOR REVIEW BY THE DESIGN, LLC, AND THE OWNER PRIOR TO THE START OF CONSTRUCTION.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE OSHA 1926 SUBPART P.
6. THE CONTRACTOR IS RESPONSIBLE FOR ANY Dewatering DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR DEWATERING OPERATIONS AND GROUNDWATER DISPOSAL.



* UNDERGROUND STORAGE PROVIDED EXCEEDS THE STORAGE REQUIREMENT OF 3" OF RAINFALL AS THERE IS INSUFFICIENT PONDING STORAGE WITHIN THE DRAINAGE AREA FOR THE 2" OF RAINFALL ALLOWANCE



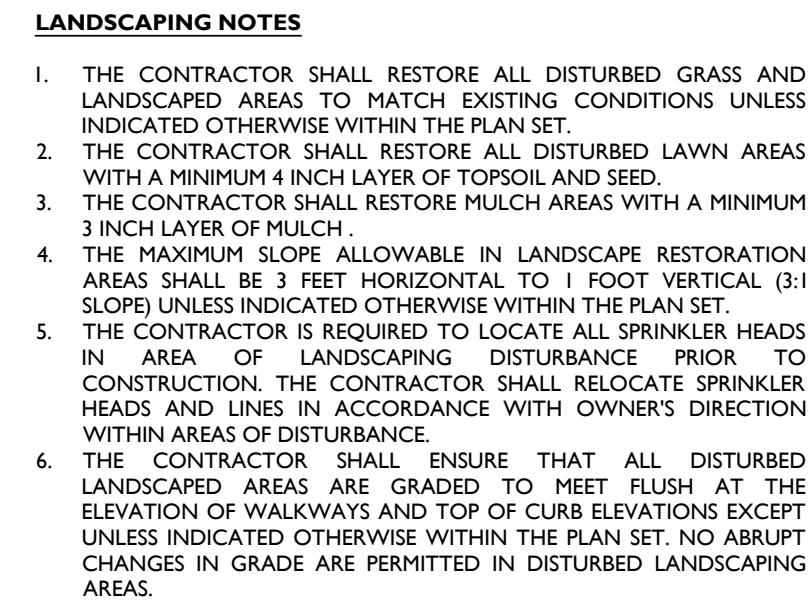
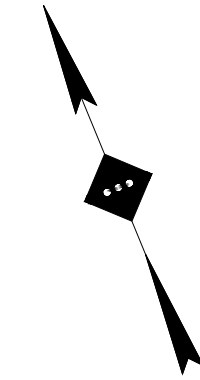
NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.

* MAXIMUM SITE CLEARANCE IS BASED ON A WEIGHTED AVERAGE OF PERMISSIBLE CLEARANCE OF LOT 30.0, AND LOTS 32.1 AND 34.1. PER FIGURE 5-1, THE MAXIMUM ALLOWABLE CLEARANCE ON LOT 30.0 IS 53%. THE MAXIMUM ALLOWABLE CLEARANCE ON LOTS 32.1 AND 34.1 IS 65%. THE WEIGHTED AVERAGE IS 63.4%


A diagram showing the Sun at the top, represented by a small circle with a cross. Below it are two concentric circles. The inner circle is dashed and labeled 'SPP'. The outer circle is solid and labeled 'CRZ'.

TREE TO BE REMOVED

EXISTING TREE AND ROOT ZONES



NOT APPROVED FOR CONSTRUCTION



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HAMLET OF CORAM, TOWN OF BROOKHAVEN
SUFFOLK COUNTY, NEW YORK



SCALE:	1" = 20'	PROJECT ID: K-18035
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TITLE:

LANDSCAPING PLAN

DRAWING:

C-6

SANITARY SYSTEM CALCULATIONS

PROJECT SUMMARY:

THERE ARE NO KNOWN NEIGHBORING WELLS WITHIN 150 FT OF THE PROPERTY. ELEVATIONS ARE IN NAVD83 BASED ON THE SURVEY PREPARED BY STONEFIELD ENGINEERING & DESIGN DATED 06/22/2020.

POPULATION DENSITY EQUIVALENT - CALCULATION METHOD:

ALLOWABLE DENSITY LOAD - COMMERCIAL PROJECTS:
GROUNDWATER MANAGEMENT ZONE III
DENSITY LOAD = (91,218.5 SF) * (800 GPD / 43,560 SF OF LAND AREA)
DENSITY LOAD = 628.2 GPD

PROPOSED DENSITY LOAD - COMMERCIAL PROJECTS:

WET STORE WITH FOOD:
DESIGN FLOW = (0.03 GPD/SF) * (2,079 SF)
DENSITY LOAD = 62.4 GPD
TOTAL DENSITY LOAD = 62.4 GPD (< ALLOWABLE DENSITY LOAD)

DESIGN SEWAGE FLOW - HYDRAULIC LOAD:

WET STORE WITH FOOD:
INCLUDING KITCHEN / GRAY LOAD
DESIGN FLOW = (0.15 GPD/SF) * (2,079 SF) + (0.12 GPD/SF) * (2,079 SF)
DESIGN FLOW = 311.9 GPD + 249.5 GPD = 561.4 GPD

SEPTIC TANK SIZING:

WET STORE WITH FOOD:

REQUIRED SEPTIC TANK CAPACITY:
REQUIRED CAPACITY = (2 DAYS) * (561.4 GPD)
REQUIRED CAPACITY = 1,122.8 GAL
PROPOSED MIN. 1,200 GAL CAPACITY SEPTIC TANK 8' DIAMETER x 4' EFFECTIVE DEPTH

GREASE TRAP SIZING:

FOR DESIGN FLOWS UP TO 1,000 GPD
1- PROPOSED 8' DIAMETER x 5' LIQUID DEPTH GREASE TRAP
(1,500 GAL CAPACITY)

LEACHING POOL SIZING:

WET STORE WITH FOOD:
DESIGN FLOW = 561.4 GPD
DESIGN HYDRAULIC LEACHING RATE = 1.20 GPD/SF
REQUIRED LEACHING AREA = (561.4 GPD) / (1.20 GAL/SF/DAY) = 673.7 SF
PROPOSED 10' DIAMETER LEACHING POOL (31.41 SFV)
= (673.7 SF) / (31.41 SFV)
= 21.5 V

PROPOSED ELEVEN (11) 10' DIAMETER x 2' EFFECTIVE DEPTH LEACHING POOLS
CLUSTERED DESIGN PER SCDS DUE TO HIGH GROUNDWATER CONDITIONS

SANITARY STRUCTURE SCHEDULE - PROPOSED

STRUCTURE	STRUCTURE TYPE	RIM ELEVATION (PROPOSED)	EFFECTIVE DEPTH (FT)
GT	PROPOSED 1,500 GAL GREASE TRAP	94.05	--
S-1	PROPOSED 8' Ø SEPTIC TANK	94.20	5'-0"
S-2	PROPOSED ELEVEN (11) 10' Ø SHALLOW LEACHING POOL SYSTEM	92.85	2'-0"

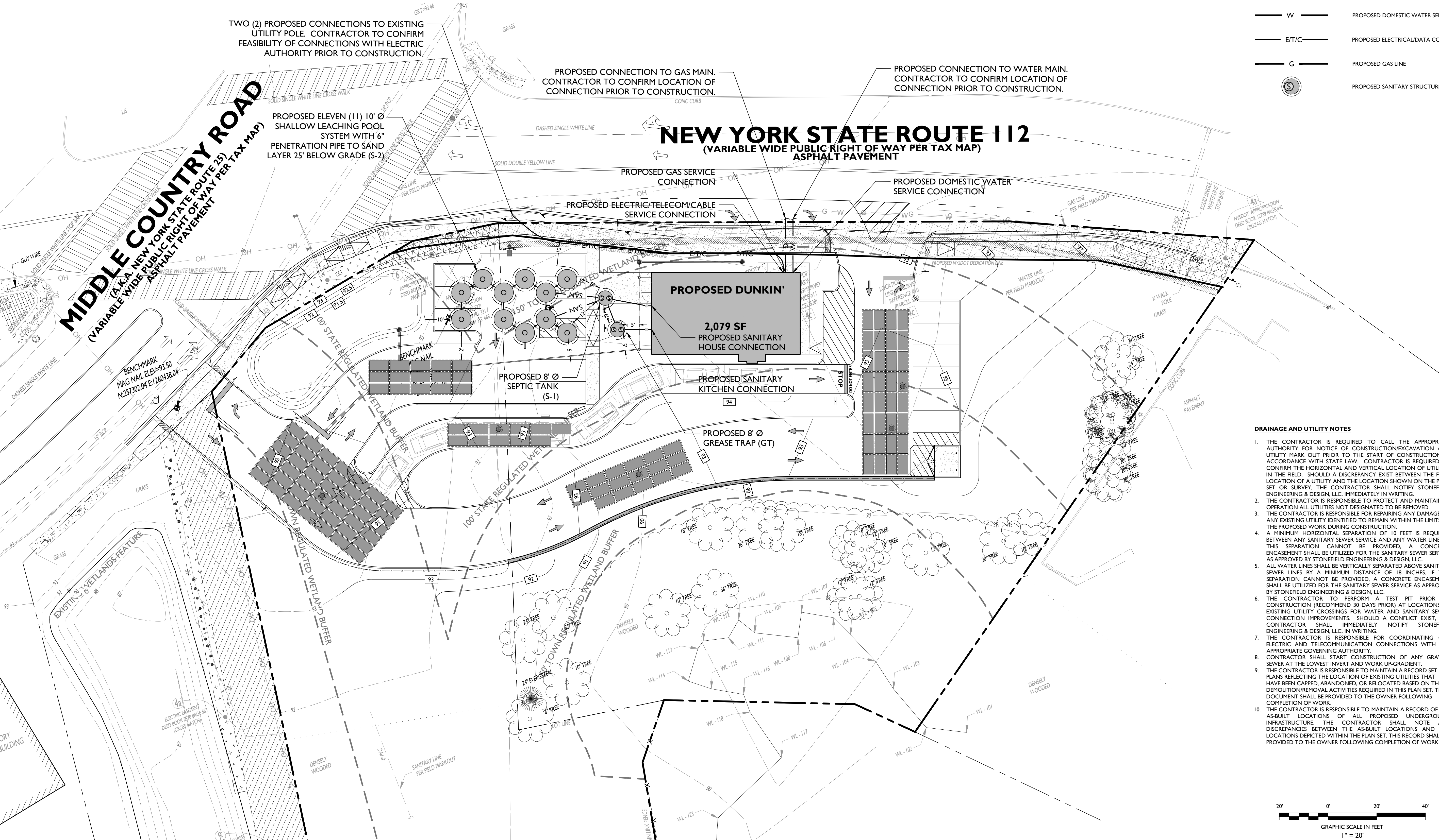
GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
- ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
- THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
- THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
- THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
- THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
- THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
- SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

SYMBOL

---	PROPERTY LINE
— SAN —	PROPOSED SANITARY LATERAL
— W —	PROPOSED DOMESTIC WATER SERVICE
— E/T/C —	PROPOSED ELECTRICAL/DATA CONDUITS
— G —	PROPOSED GAS LINE
⊙	PROPOSED SANITARY STRUCTURE

DESCRIPTION



DRAINAGE AND UTILITY NOTES

- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
- A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
- THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
- CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADE.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
- THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.

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PROPOSED DUNKIN' RESTAURANT
WITH DRIVE-THRU

ZACHARY E. CHAPLIN, P.E.
NEW YORK LICENSE NO. 099748
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: K-18035

TITLE:

UTILITY PLAN

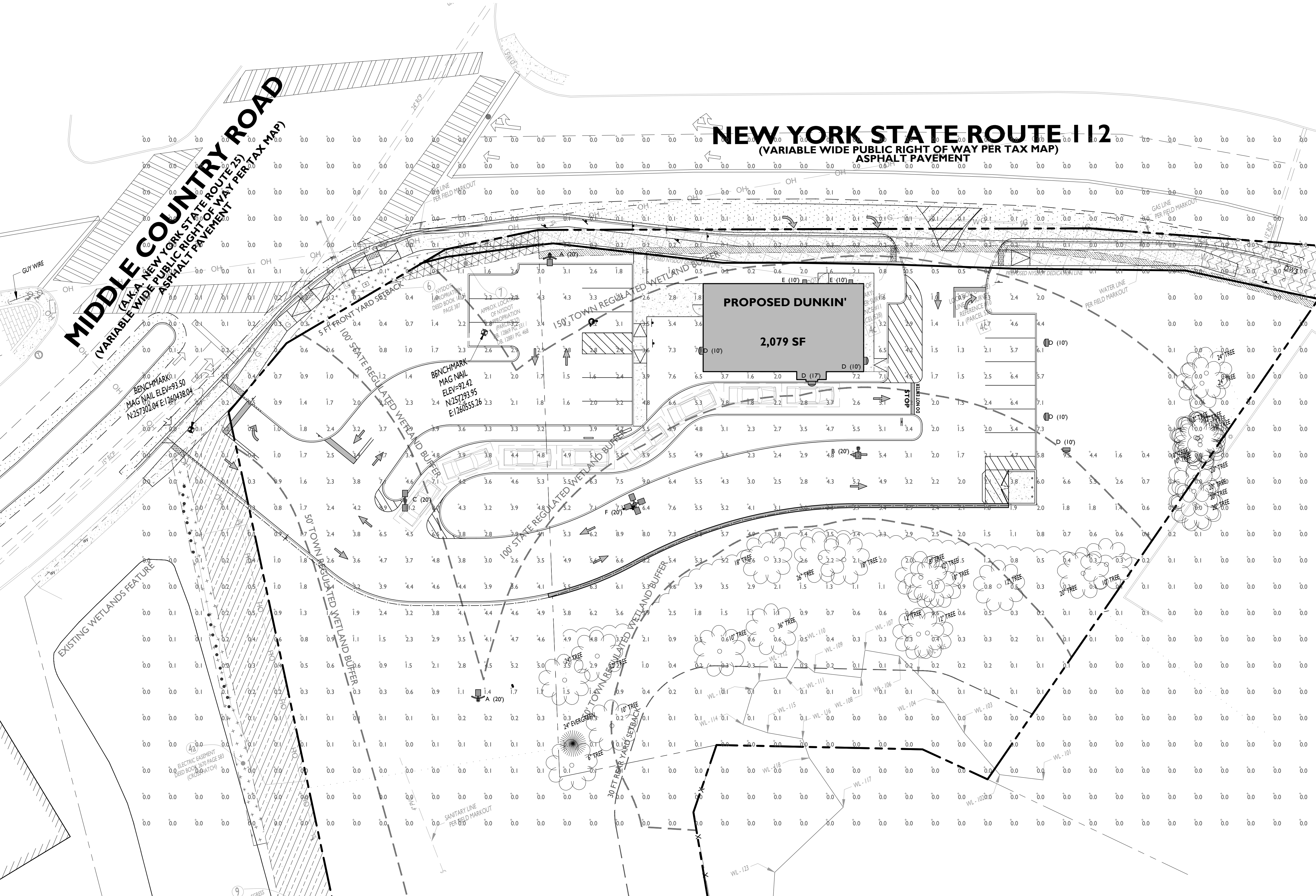
DRAWING:

C-8

LIGHTING REQUIREMENTS		
DESIGN STANDARDS	REQUIRED	PROPOSED
\$85-865(A)	COMMERCIAL LIGHT FIXTURE HEIGHT:	20 FT
	MAXIMUM MOUNTING HEIGHT = 20 FT	
\$85-867(A)(2)	MAXIMUM ILLUMINATION AT PROPERTY LINE REQUIREMENTS:	NEW YORK ROUTE 112 = 1.60 FC (V) MIDDLE COUNTRY ROAD = 0.40 FC (V)
	RIGHT-OF-WAY = 0.05 FC	
\$85-867(C)	COMMERCIAL PROPERTY = 0.10 FC	0.50 FC (V)
	LIGHT SOURCE REQUIREMENTS:	
	TEMPERATURE RATING = 3,000 K	3,000 K

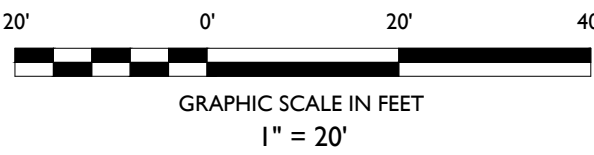
(V) VARIANCE

PROPOSED LUMINAIRE SCHEDULE						
SYMBOL	LABEL	QUANTITY	LIGHTING	DISTRIBUTION	LLF	MANUFACTURER
	A	2	MIRADA MEDIUM - 18L - 3000K - SHIELDED	FORWARD THROW	0.90	LSI INDUSTRIES
	B	1	MIRADA MEDIUM - 18L - 3000K	FORWARD THROW	0.90	LSI INDUSTRIES
	C	1	MIRADA MEDIUM - 18L - 3000K	FORWARD THROW	0.90	LSI INDUSTRIES
	D	6	WALL SCONCE - 3000K - 08L	FORWARD THROW	0.90	LSI INDUSTRIES
	E	2	LIL LED WALL MOUNTED LIGHT - 800 LUMENS - 8 WATT	DOWN LIGHT	0.90	LITHONIA LIGHTING
	F	1	MIRADA MEDIUM - 18L - 3000K	FORWARD THROW	0.90	LSI INDUSTRIES



SYMBOL	DESCRIPTION
-----	PROPOSED CALCULATION AREA
-----	PROPOSED ISOMETRIC LINE
A (XX')	PROPOSED LIGHTING FIXTURE (MOUNTING HEIGHT)
+XX	PROPOSED LIGHTING INTENSITY (FOOTCANDLES)
	PROPOSED AREA LIGHT
	PROPOSED BUILDING MOUNTED LIGHT

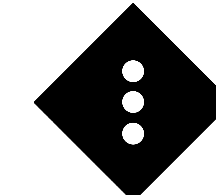
- GENERAL LIGHTING NOTES**
- THE LIGHTING LEVELS DEPICTED WITHIN THE PLAN SET ARE CALCULATED UTILIZING DATA OBTAINED FROM THE LISTED MANUFACTURER. ACTUAL ILLUMINATION LEVELS AND PERFORMANCE OF ANY PROPOSED LIGHTING FIXTURE MAY VARY DUE TO UNCONTROLLABLE VARIABLES SUCH AS WEATHER, VOLTAGE SUPPLY, LAMP TOLERANCE, EQUIPMENT SERVICE LIFE AND OTHER VARIABLE FIELD CONDITIONS.
 - WHERE APPLICABLE, THE EXISTING LIGHT LEVELS DEPICTED WITHIN THE PLAN SET SHALL BE CONSIDERED APPROXIMATE. THE EXISTING LIGHT LEVELS ARE BASED ON FIELD OBSERVATIONS AND THE MANUFACTURER'S DATA OF THE ASSUMED OR MOST SIMILAR LIGHTING FIXTURE MODEL.
 - UNLESS NOTED ELSEWHERE WITHIN THIS PLAN SET, THE LIGHT LOSS FACTORS USED IN THE LIGHTING ANALYSIS ARE AS FOLLOWS:
 - LIGHT EMITTING DIODES (LED): 0.90
 - THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING, PRIOR TO THE START OF CONSTRUCTION, OF ANY PROPOSED LIGHTING LOCATIONS THAT CONFLICT WITH EXISTING/ PROPOSED DRAINAGE, UTILITY, OR OTHER IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE TO PREPARE A WIRING PLAN AND PROVIDE ELECTRIC SERVICE TO ALL PROPOSED LIGHTING FIXTURES. THE CONTRACTOR IS REQUIRED TO PREPARE AN AS-BUILT PLAN OF WIRING AND PROVIDE COPIES TO THE OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC.
- ATM LIGHTING NOTES:**
- THE CONTRACTOR SHALL REPLACE LAMP COVERS, RE-LAMP AND RE-BALLAST EXISTING LIGHT FIXTURES AS INDICATED WITHIN THE PLAN SET. THE EXISTING FIXTURE HEIGHT SHALL BE MAINTAINED UNLESS INDICATED OTHERWISE. THE LIGHTING DESIGN IS SUBJECT TO CHANGE IF THE EXISTING LIGHT FIXTURES ARE NOT GREATER THAN OR EQUAL TO THE FOLLOWING WATTAGE:
FIXTURE "X" = MINIMUM X WATTS
 - PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING IF THE EXISTING LIGHT FIXTURES ARE NOT THE MINIMUM WATTAGE SPECIFIED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE TO CONFIRM THAT ANY EXISTING LIGHT POLES IDENTIFIED FOR REUSE WITH A PROPOSED LIGHT FIXTURE(S) SHALL BE IN ACCEPTABLE WORKING CONDITION AND HAVE THE CAPACITY TO SUPPORT THE PROPOSED LIGHT FIXTURE(S). ANY MOUNTING EQUIPMENT REQUIRED TO ATTACH THE PROPOSED LIGHTING FIXTURE TO THE EXISTING LIGHT POLE SHALL BE PROVIDED BY THE CONTRACTOR.
 - THE CONTRACTOR SHALL CONFIRM THAT THE LOCATION OF ANY PROPOSED BUILDING MOUNTED LIGHTING FIXTURE WILL NOT CONFLICT WITH ANY EXISTING OR PROPOSED STRUCTURAL ELEMENT (E.G. CANOPY SUPPORT BEAMS). THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC, IN WRITING OF ANY FIXTURE CONFLICT PRIOR TO THE START OF CONSTRUCTION. ALL EXISTING TREE LIMBS WITHIN THE 60 FOOT ATM RADIUS SHOWN IN THE PLAN SET SHALL BE TRIMMED TO A MINIMUM OF 6 FEET ABOVE GRADE. ALL SHRUBS WITHIN THE 60 FOOT ATM RADIUS SHALL BE TRIMMED TO A MINIMUM OF 36 INCHES ABOVE GRADE. ALL BRUSH SHALL BE REMOVED. THE CONTRACTOR SHALL CONSIDER ALL FUTURE GROWTH AND FULL BLOOM WHEN TRIMMING LANDSCAPING. EXISTING TREE LIMBS ADJACENT TO LIGHTING FIXTURES SHALL BE TRIMMED AS REQUIRED TO PREVENT LIGHT INTERFERENCE.
 - PRIOR TO BID, CONTRACTOR SHALL VERIFY EXISTING EXTERIOR LIGHTING CONDITIONS AFTER DUSK AND NOTIFY THE DEVELOPER/OWNER AND STONEFIELD ENGINEERING & DESIGN, LLC OF DAMAGED OR INOPERABLE LIGHTS. THE CONTRACTOR SHALL REPAIR ALL INOPERABLE LIGHTS UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET.
 - THE ILLUMINATION LEVELS DEPICTED WITHIN THE PLAN SET ARE BASED ON REGULATORY STATE STANDARDS FOR SAFETY LIGHTING AND ON CLIENT STANDARDS.
 - ALL LIGHTING FIXTURES, UNLESS OTHERWISE NOTED WITHIN THIS PLAN SET, HAVE THE PHOTOCELL OPTION ENABLED.
 - EXISTING LIGHTING FIXTURES CONTROLLED BY OUTSIDE ENTITIES (E.G. LANDLORD) HAVE BEEN EXCLUDED FROM THE LIGHTING ANALYSIS REFLECTED WITHIN THE PLAN SET. THE PROPOSED LIGHT LEVELS HAVE BEEN DESIGNED TO COMPLY WITH ALL APPLICABLE ATM AND SAFETY LIGHTING REQUIREMENTS INDEPENDENT OF ANY UNCONTROLLED LIGHT FIXTURES.



ISSUED FOR SITE PLAN APPROVAL		UPDATED PER MUNICIPAL COMMENTS		UPDATED PER NYSDOT COMMENTS		UPDATED SITE PLAN LAYOUT		RESUBMISSION TO THE TOWN		RESUBMISSION TO THE TOWN		RESUBMISSION TO THE TOWN		SUBMISSION TO TOWN		DESCRIPTION	
DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE	BY
10/17/2022	JF	07/26/2022	JF	03/16/2022	FT	02/01/2022	BR	05/24/2021	ARM	05/05/2021	FT	04/01/2021	FT	03/02/2021	FT	01/22/2021	CHG
14	13	12	11	10	09	08	07	06	05	04	03	02	01				

NOT APPROVED FOR CONSTRUCTION

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Phone 718.606.8305

PROPOSED DUNKIN' RESTAURANT WITH DRIVE-THRU

DUNKIN'

206 NYS ROUTE 112, 34-1 & 30
MIDDLE COUNTRY ROAD, TOWN OF BROOKHAVEN
SUFFOLK COUNTY, NEW YORK



ZACHARY E. CHAPLIN, P.E.
NEW YORK LICENSE NO. 099748
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: K-18035

TITLE:

LIGHTING PLAN

DRAWING:

C-9

SEQUENCE OF CONSTRUCTION:

1. OBTAIN PLAN APPROVAL AND ALL APPLICABLE PERMITS.
2. HOLD PRE-CONSTRUCTION MEETING AT LEAST ONE WEEK PRIOR TO STARTING CONSTRUCTION.
3. ESTABLISH CONTRACTOR STAGING AREA.
4. INSTALL STABILIZED CONSTRUCTION ENTRANCE AND PERIMETER SILT FENCE / HAY BALES AS SHOWN. THIS SHALL BE THE ONLY ENTRANCE AND EXIT FOR THE CONSTRUCTION SITE.
5. CONSTRUCTION AREA SECURITY FENCING MAY BE INSTALLED ALONG PERIMETER OF SITE AS LONG AS NO CONFLICTS OCCUR WITH THE REQUIREMENTS PROPOSED IN THE SEDIMENT CONTROL PLAN AND DETAILS.
6. INSTALL INLET FILTER PROTECTION AS REQUIRED.
7. BEGIN DEMOLITION OF EXISTING PUMPS AND TANKS PER NYSDEC REQUIREMENTS. ALL EXPOSED SOIL AREAS FOR DEMOLITION SHALL BE STABILIZED TEMPORARILY UNTIL NEXT PHASE OF CONSTRUCTION BEGINS. ALL DEMOLITION MATERIALS SHALL BE CONTAINED WITHIN THE AREA SHOWN ON THIS PLAN.
8. BEGIN DEMOLITION OF EXISTING BUILDING AND ALL OTHER SITE FEATURES TO BE REMOVED.
9. STOCKPILE WILL BE STABILIZED, LEVELED AND PROTECTED FROM WIND AND RUNOFF EROSION WITH PLASTIC COVERS AND PROTECTED WITH HAY BALES AND SILT FENCE. STOCKPILE TO BE STABILIZED WITH SEED AND MULCH.
10. BEGIN UTILITY INSTALLATIONS AND CONNECTIONS TO PROPOSED BUILDING LOCATION.
11. BEGIN EXCAVATION FOR PROPOSED PUMPS AND TANKS.
12. UPON COMPLETION OF FILL ACTIVITIES, BEGIN PAVEMENT SUBGRADE PREPARATION AND CONSTRUCTION OF ON-SITE CURBING AND PAVEMENT / CONCRETE PAD BASE COURSE.
13. COMPLETE FINAL GRADING FOR BUILDING.
14. INSTALL ASPHALT PAVEMENT AND CONCRETE PAD.

14. CONSTRUCT CANOPY AND PUMPS.
15. CONSTRUCT BUILDING.
16. COMPLETE CONSTRUCTION / INSTALLATION OF SITE FEATURES.
17. SPREAD TOPSOIL AND PERMANENTLY STABILIZE ANY PROPOSED LANDSCAPING AREAS UPSTREAM OF THE STORMWATER MANAGEMENT FACILITIES WITH SEEDING AND MULCH.
18. INSTALL RAIN GARDEN.
19. INSTALL PROPOSED PLANTINGS PER THE LANDSCAPE PLAN.
20. AFTER THE SITE IS PERMANENTLY STABILIZED, REMOVE ANY REMAINING TEMPORARY SEDIMENT CONTROLS AND DEVICES FINE GRADE AND PROVIDE STABILIZATION WITH PERMANENT SEED AND MULCH FOR ANY AREAS DISTURBED IN THIS PROCESS.

TEMPORARY STABILIZATION OF WORK AREA:

1. STABILIZE ALL BARE SOIL AREAS TO REMAIN UNDISTURBED FOR MORE THAN 7 DAYS. METHODS SUCH AS SEED AND MULCH SHALL BE APPLIED IN STRICT ACCORDANCE WITH THE SWPPP. WHEN RAIN IS FORECASTED, TEMPORARILY STABILIZE ALL DISTURBED AREAS AT THE END OF EACH WORK DAY IN ACCORDANCE WITH THE SWPPP.
2. INSPECT ALL PERIMETER EROSION CONTROL AND REPAIR AS DIRECTED.
3. INSTALL/REPAIR ALL INLET/OUTLET PROTECTION

PERMANENT STABILIZATION NOTE:

TOPSOIL SHALL BE INSTALLED AS FOLLOWS:

1. PAVEMENT/CONCRETE - NOT APPLICABLE
2. RAIN GARDEN - 1" OF AMENDED SOIL PER LANDSCAPE PLAN AND DETAIL
3. ALL OTHER AREAS - 3" OF TOPSOIL

EROSION AND SEDIMENT CONTROL NOTES

1. ALL SEDIMENT CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE 'NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL'.
2. CONTRACTOR TO FOLLOW NYSDEC GUIDELINES AND REQUIREMENTS FOR CONSTRUCTION EFFORTS.
- 2.1. AFTER INITIAL SITE CLEARING, CONTRACTOR SHALL STABILIZE DISTURBED AREAS OF THE PROJECT SITE TO THE SATISFACTION OF NYSDEC REQUIREMENTS. STABILIZATION TO BE CURRENT WITH NYSDEC REQUIREMENTS AND PER THE CURRENT EDITION OF THE 'NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL'.
- 2.2. AREAS OF THE SITE THAT ARE NOT PART OF ACTIVE CONSTRUCTION EFFORT ARE TO BE IMMEDIATELY STABILIZED AFTER INITIAL SITE CLEARING AS NOTED ABOVE.
3. TIMELY MAINTENANCE OF SEDIMENT CONTROL STRUCTURES IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL STRUCTURES AND DEVICES SHALL BE MAINTAINED IN GOOD WORKING ORDER AT ALL TIMES. ALL EROSION AND SEDIMENT CONTROL STRUCTURES AND DEVICES SHALL BE INSPECTED A MINIMUM OF A WEEKLY BASIS AND AFTER EACH RAINFALL EVENT OF 0.5 INCHES OR GREATER WITHIN A 24 HOUR PERIOD. FIELD BOOKS ARE TO BE MAINTAINED TO DOCUMENT COMPLIANCE WITH ALL APPLICABLE MEASURES. ALL SUPERINTENDENTS AND PROJECT TEAM MEMBERS SHALL BE PROPERLY TRAINED FOR MAINTENANCE, INSPECTION AND ENFORCEMENT OF ALL APPLICABLE PROCEDURES.

4. THE CONTRACTOR SHALL KEEP ALL ROADWAYS ADJACENT TO THE IMPROVEMENT AREA CLEAR OF SOIL AND DEBRIS.
5. TEMPORARY SEDIMENT AND EROSION CONTROL STRUCTURES SHALL BE REMOVED AFTER THE AREA OF DISTURBANCE HAS BEEN PERMANENTLY STABILIZED.
6. BEST CONSTRUCTION PRACTICES SHALL BE IMPLEMENTED TO REDUCE/ELIMINATE DUST AND DEBRIS WITHIN AND ADJACENT TO THE WORK AREAS, INCLUDING WETTING SOIL SURFACES COVERING TRUCKS AND STORED MATERIALS WITH TARPS AND PROPERLY MAINTAINING EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING ALL APPLICABLE LOCAL, STATE AND FEDERAL AIR QUALITY STANDARD LAWS FOR DUST CONTROL.
7. INTERIM EROSION AND SEDIMENT CONTROL DEVICES SHALL BE INSTALLED AS NECESSARY BETWEEN CONSTRUCTION PHASES, AS WARRANTED BY CONSTRUCTION AND IN ORDER TO MINIMIZE EROSION AND TRANSPORT OF SOIL AND DEBRIS FROM THE SITE.
8. CONTRACTOR TO PREVENT SEDIMENT FROM ENTERING STORM SEWERS DURING CONSTRUCTION.
9. EXISTING ON-SITE INLETS TO BE PROVIDED WITH APPROPRIATE EROSION AND SEDIMENT CONTROL MEASURES UNTIL ON-SITE STORM SEWERS HAVE BEEN REMOVED FROM THE PROJECT SITE.
10. AREAS THAT HAVE BEEN DISTURBED ARE TO BE RE-STABILIZED AS SOON AS POSSIBLE AFTER CONSTRUCTION IS COMPLETED IN THAT AREA. TEMPORARY STABILIZATION SHALL INCLUDE, BUT NOT BE LIMITED TO, SUCH MEASURES AS HYDROSEEDING, MULCHING, JUTE MESH OR TEMPORARY PAVING AND ALLOWED BY THE CURRENT NYSDEC STANDARDS.
11. MISTING AND OTHER CONTROLS SHALL BE UTILIZED TO

- MITIGATE DUST EMISSIONS FROM THE WORK ZONE. THIS INCLUDES DURING THE DEMOLITION OF CONCRETE STRUCTURES. ALL MATERIALS HAULED FROM THE SITE SHALL BE PLACED IN LEAK PROOF CONTAINERS AND PROPERLY COVERED WITH TARPS, SCREENS AND/OR OTHER MECHANISMS.
12. A SILT FENCE SHALL BE INSTALLED ALONG THE PERIMETER OF THE SITE AND/OR AS SHOWN ON THE ACCOMPANYING PLAN. SILT FENCE SHALL BE LOCATED AT THE TOE OF ALL CRITICAL CUT AND FILL SLOPES.
13. STABILIZED CONSTRUCTION ENTRANCE SHALL BE UTILIZED BY ALL VEHICLES ACCESSING THE CONSTRUCTION SITE.

SYMBOL

- PROPERTY BOUNDARY
- ADJACENT PROPERTY BOUNDARY
- PROPOSED LIMIT OF DISTURBANCE
- PROPOSED SILT FENCE
- PROPOSED TREE PROTECTION FENCE
- PROPOSED STOCKPILE & EQUIPMENT STORAGE
- PROPOSED STABILIZED CONSTRUCTION ENTRANCE
- PROPOSED INLET PROTECTION FILTER

DESCRIPTION

NEW YORK STATE ROUTE 112
(VARIABLE WIDE PUBLIC RIGHT OF WAY PER TAX MAP)
ASPHALT PAVEMENT

PROPOSED DUNKIN'
2,079 SF

MATCH LINE A-A
MATCH LINE B-B

20' 0' 20' 40'
GRAPHIC SCALE IN FEET
1" = 20'

INSET A

20' 0' 20' 40'
GRAPHIC SCALE IN FEET
1" = 20'

SITE PLANS

PROPOSED DUNKIN' RESTAURANT
WITH DRIVE-THRU

ZACHARY E. CHAPLIN, P.E.
NEW YORK LICENSE No. 099748
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
engineering & design

SCALE: 1" = 20' PROJECT ID: K-18035

TITLE:
SOIL EROSION &
SEDIMENT CONTROL
PLAN

DRAWING:

C-10

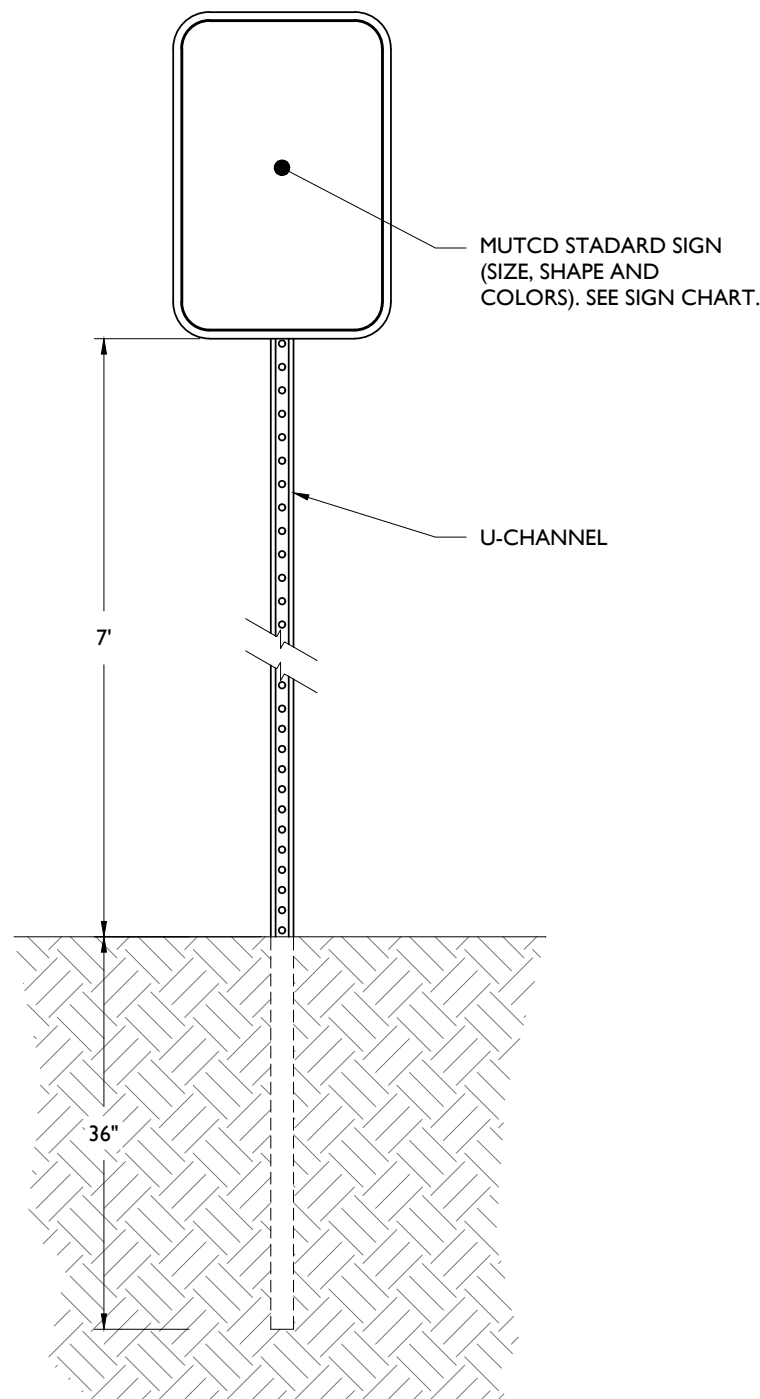
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DUNKIN'

304 NYS ROUTE 112,
LOT 32.1, 34.1 & 30
MIDDLE COUNTRY ROAD & NYS ROUTE 112,
HAMLET OF CORAM, TOWN OF BROOKHAVEN
SUFFOLK COUNTY, NEW YORK

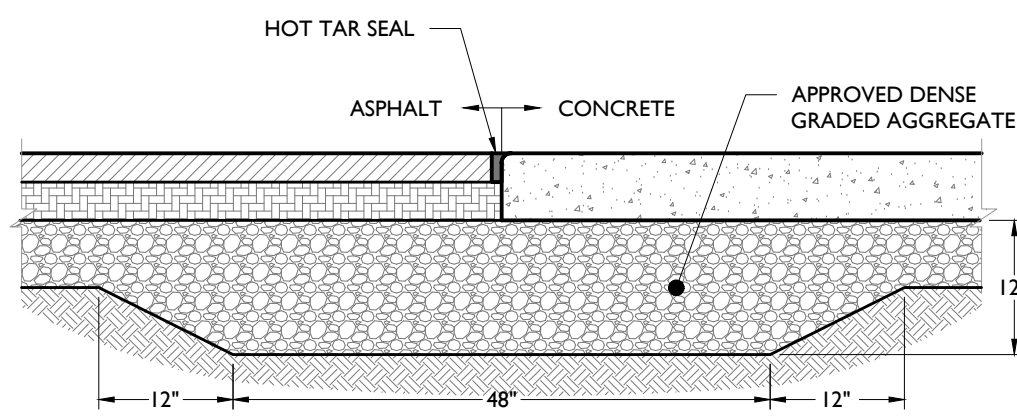


SIGN POST DETAIL
NOT TO SCALE

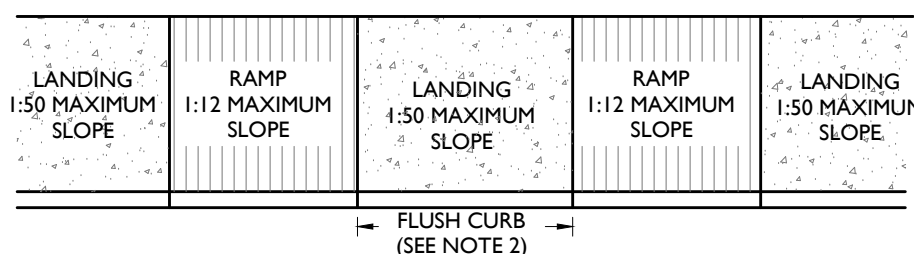
M.U.T.C.D. NUMBER	TEXT	COLOR		SIZE OF SIGN (WIDTH X HEIGHT)	TYPE OF MOUNT
		LEGEND	BACKGROUND		
STOP SIGN (R1-1)		RED	WHITE	30"x30"	GROUND
NO LEFT TURN (R3-2)		CIRCLE AND DIAGONAL-RED LEGEND- BLACK	WHITE	24"x24"	GROUND
DO NOT ENTER (R5-1)		RED	WHITE	30"x30"	GROUND

NOTE:
1. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), EXCEPT AS NOTED.
2. ALL SIGNS SHALL BE MOUNTED AS TO NOT OBSTRUCT THE SHAPE OF "STOP" (R1-1) AND "YIELD" (R1-2) SIGNS.

SIGN DATA TABLE
NOT TO SCALE

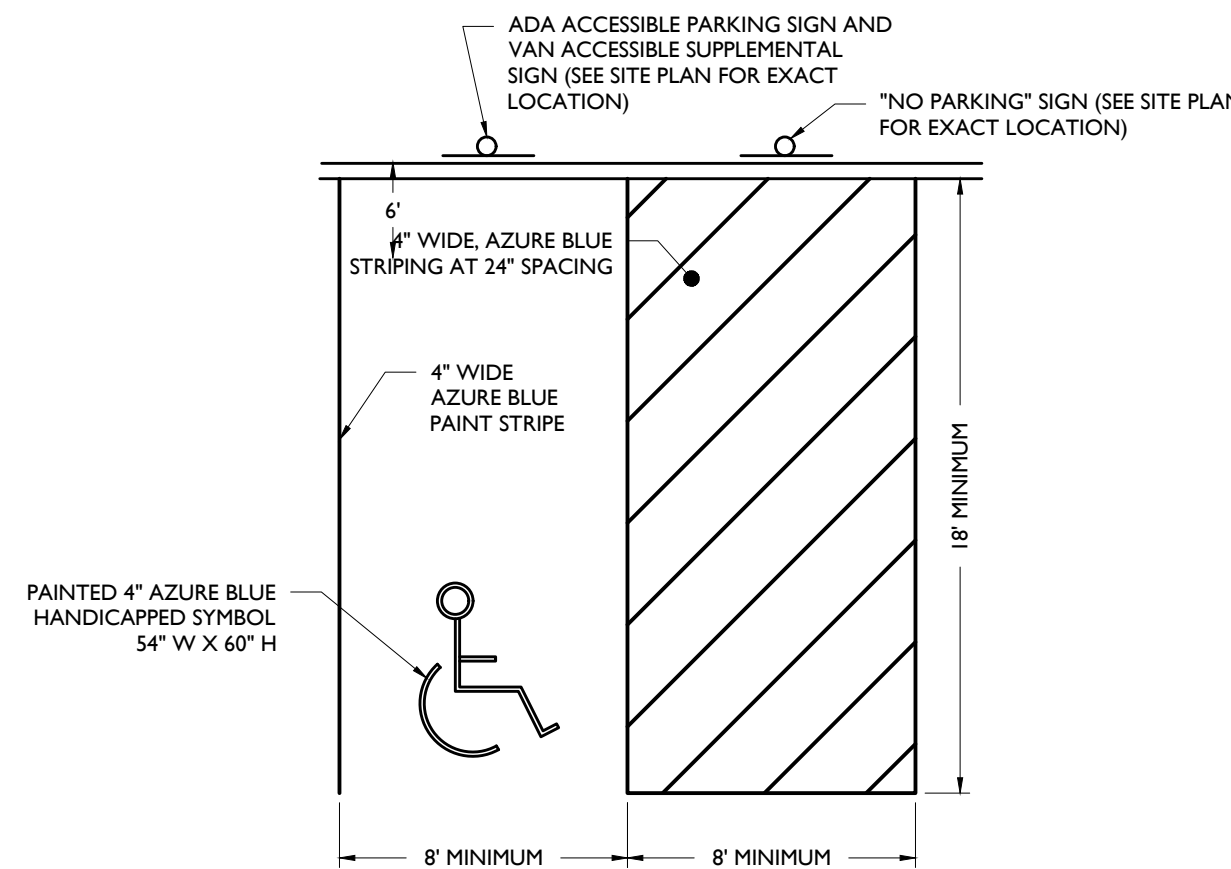


CONCRETE TO ASPHALT TRANSITION DETAIL
NOT TO SCALE

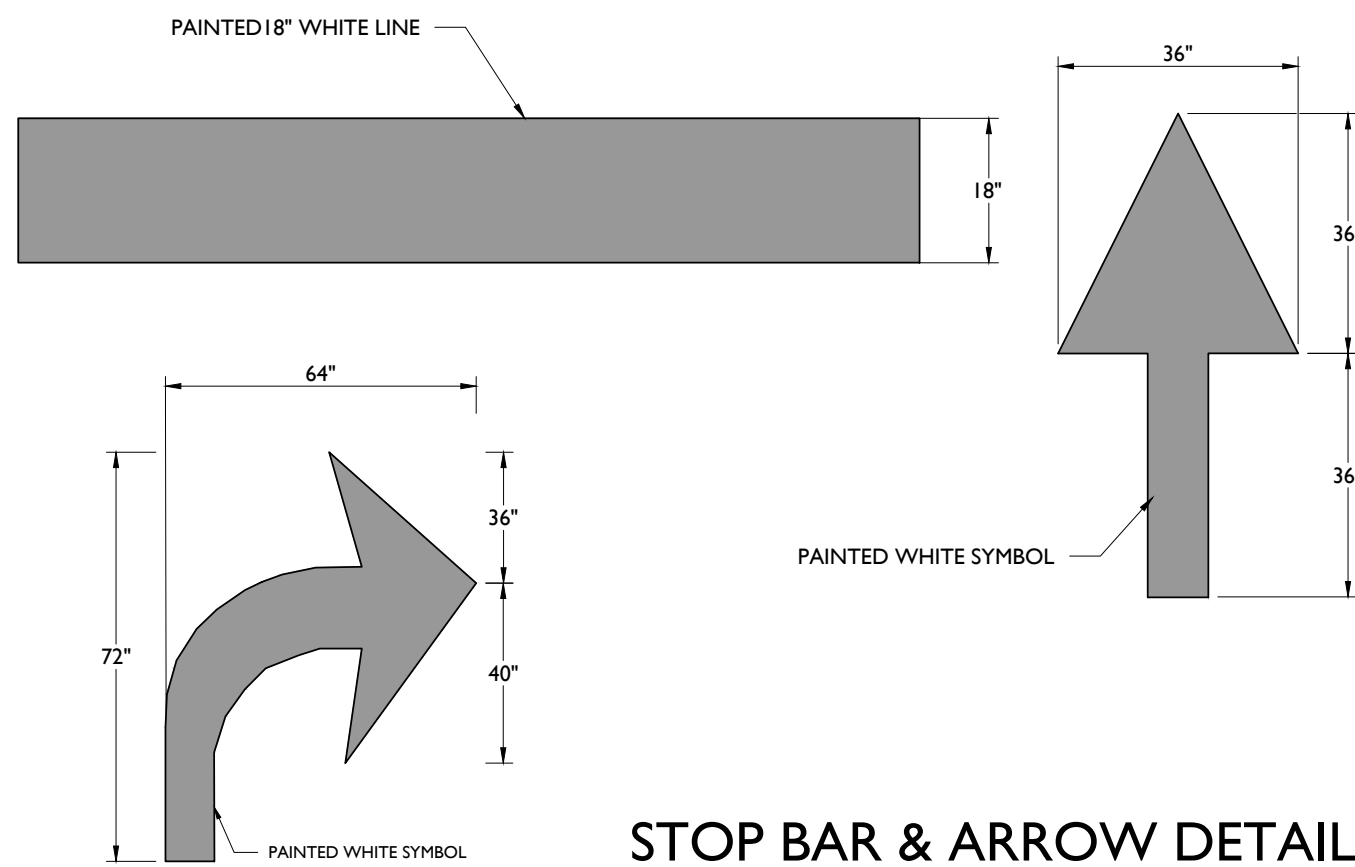


TRANSITION RAMP DETAIL
NOT TO SCALE

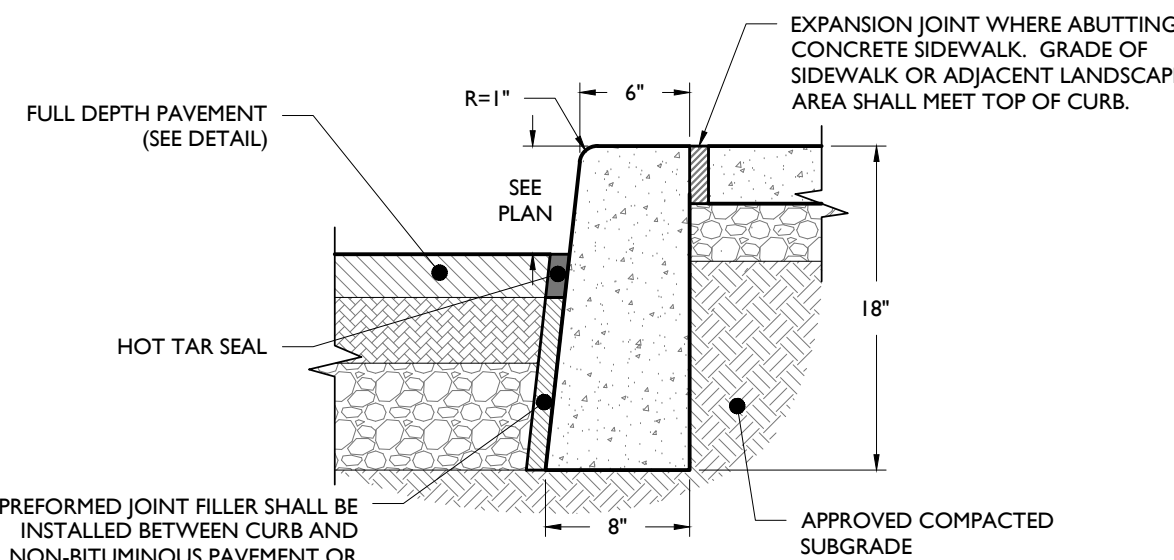
NOTES:
1. CROSS SLOPE ON RAMP SHALL NOT EXCEED 2%
2. A FLUSH CURB SHALL HAVE A MINIMUM WIDTH OF 36". SEE PLAN FOR EXACT WIDTH.
3. RAMP SHALL HAVE A MAXIMUM RISE OF 6" WITHOUT A HANDRAIL.



ACCESSIBLE PARKING STALL MARKINGS
NOT TO SCALE

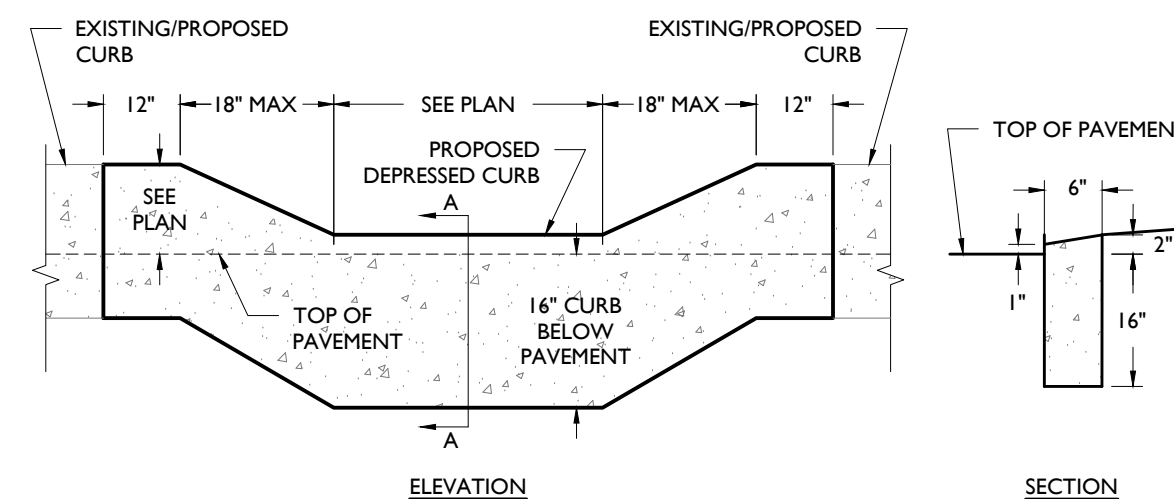


STOP BAR & ARROW DETAILS
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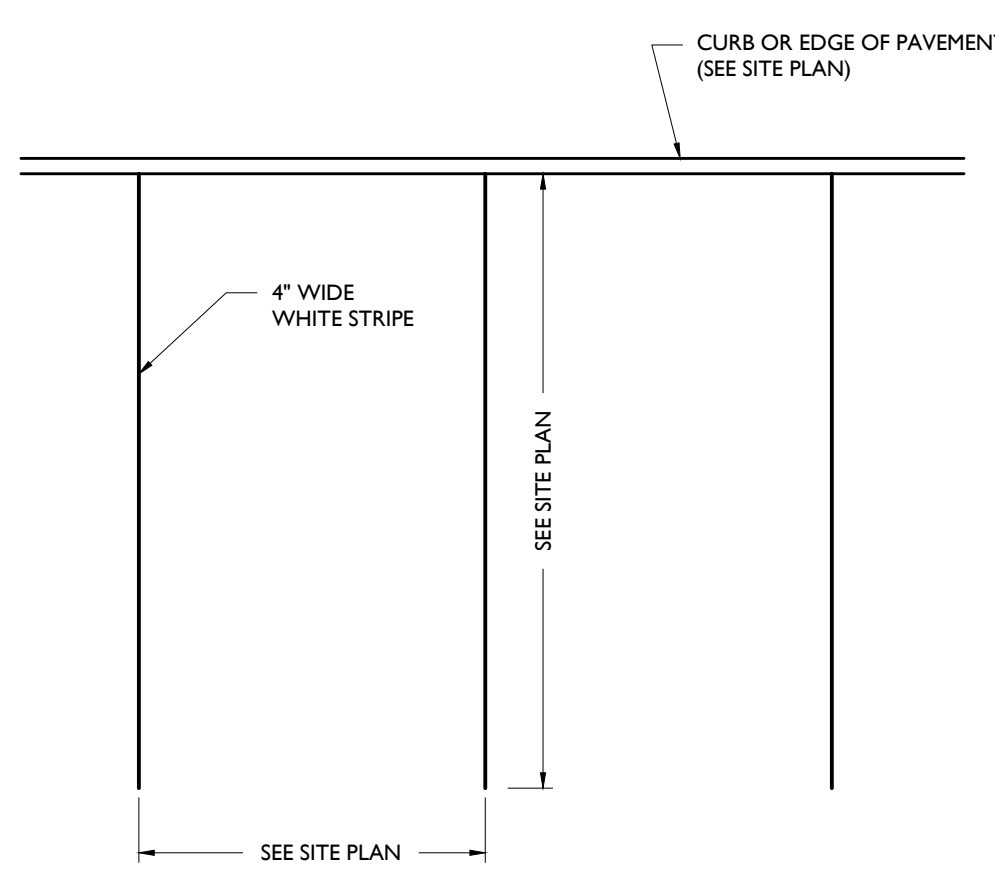


CONCRETE CURB DETAIL
NOT TO SCALE

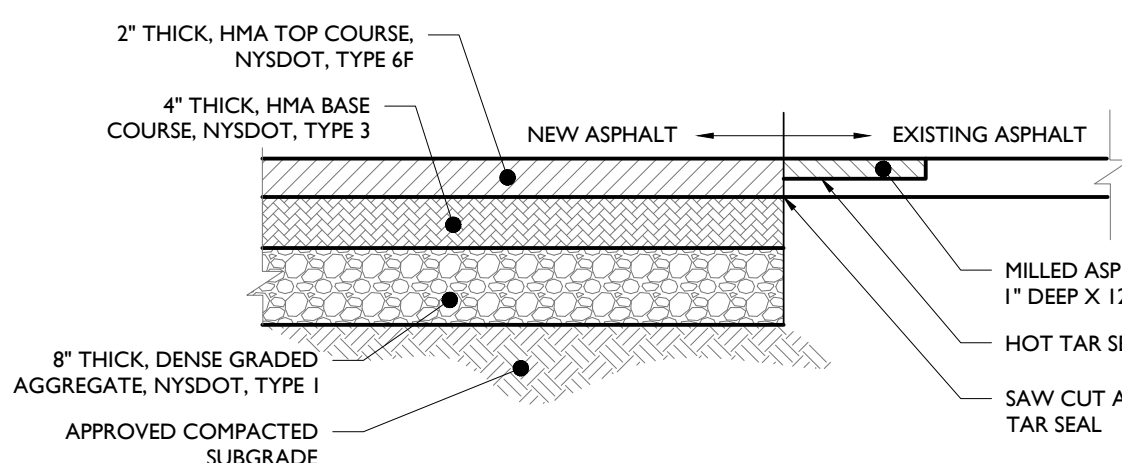
NOTES:
1. CONCRETE SHALL BE 3500 PSI AT 28 DAYS, AIR-ENTRAINED.
2. TRANSVERSE EXPANSION JOINTS SHALL BE PROVIDED AT 20 FOOT INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM SURFACE.
3. HALF DEPTH CONTRACTION JOINTS SHALL BE PROVIDED AT 10 FOOT INTERVALS.
4. 18" CURB DEPTH SHALL BE MAINTAINED AT DEPRESSED OR FLUSH CURBED AREAS.



DEPRESSED CURB DETAIL
NOT TO SCALE

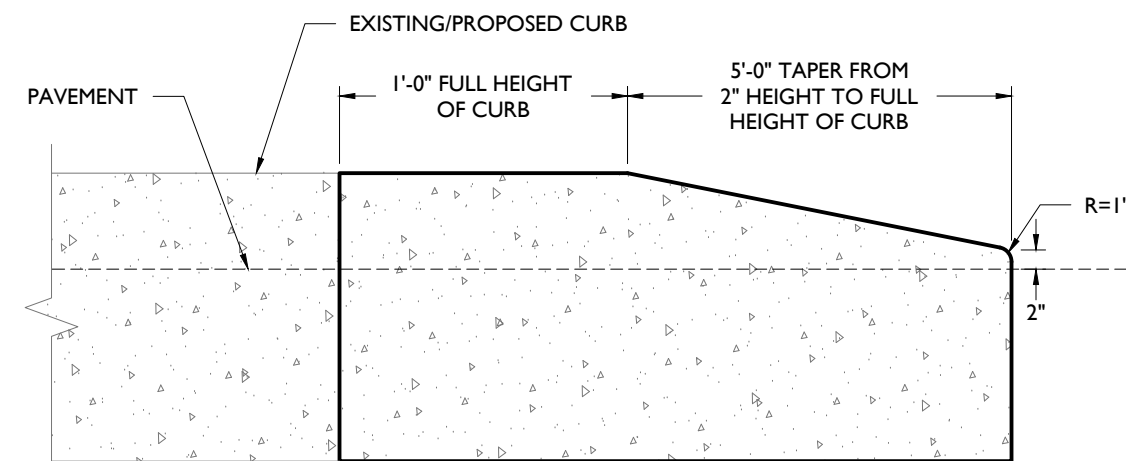


PARKING STALL MARKINGS
NOT TO SCALE

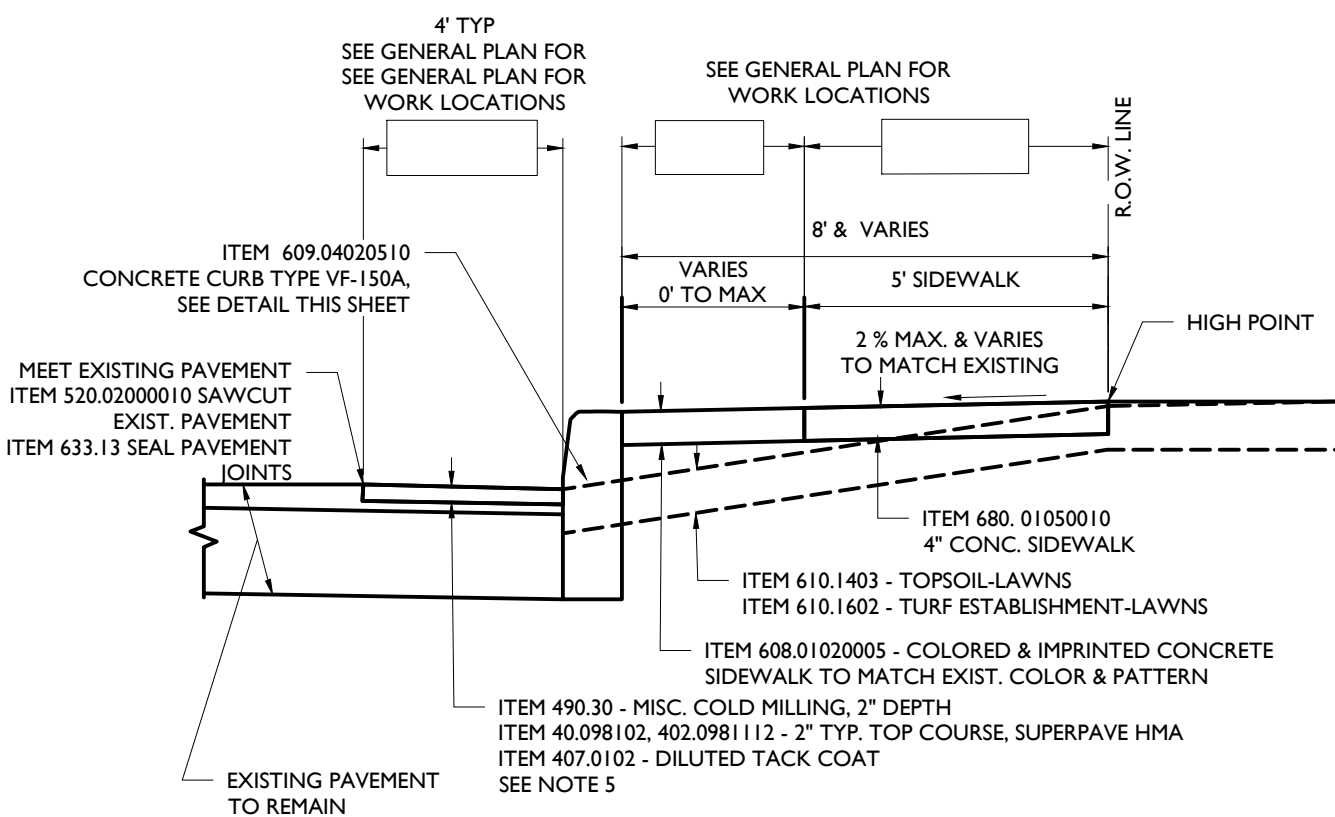


FULL DEPTH ASPHALT PAVEMENT DETAIL
NOT TO SCALE

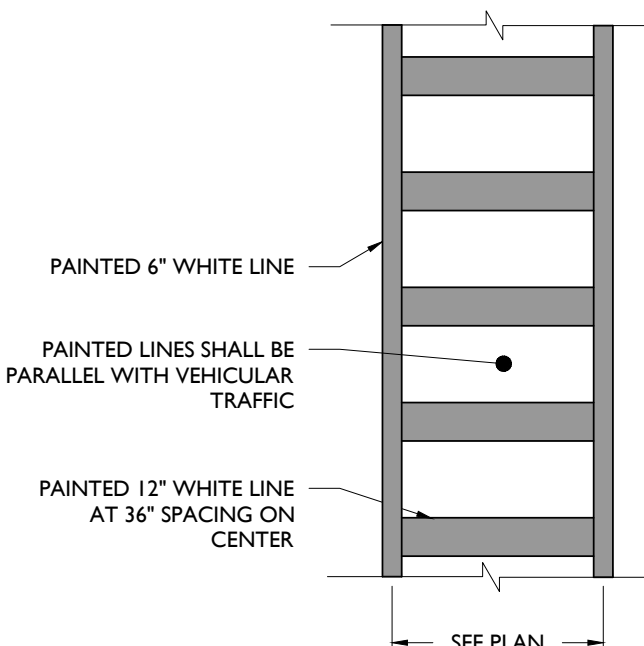
NOTE:
HMA MIX AND DENSE GRADED AGGREGATE SHALL CONFORM TO STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.



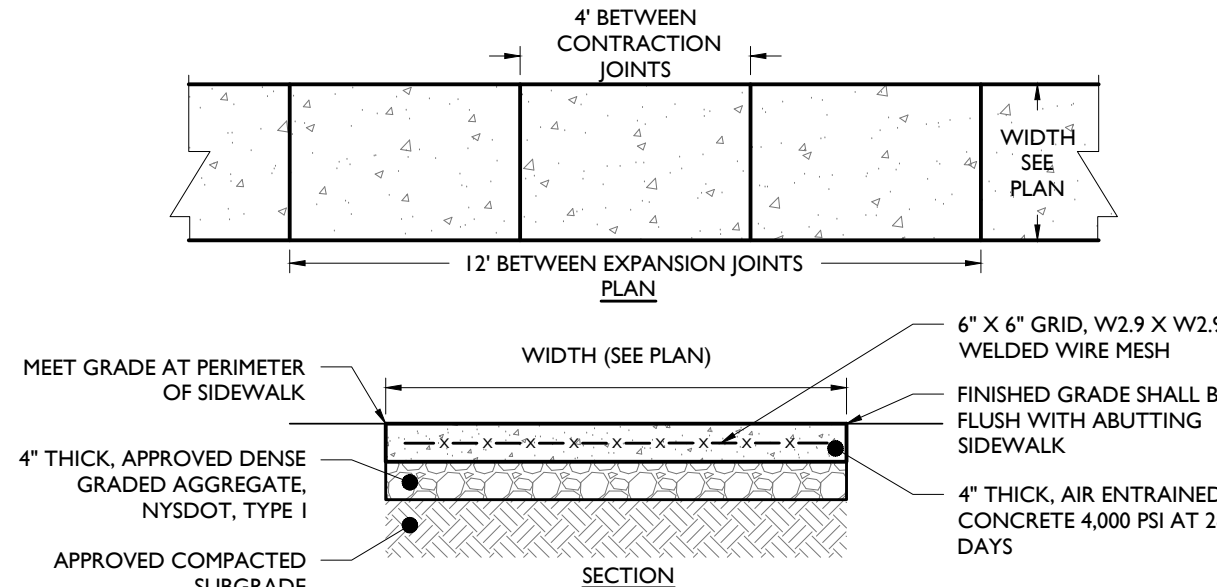
CURB TAPER DETAIL
NOT TO SCALE



TYPICAL SIDEWALK SECTION

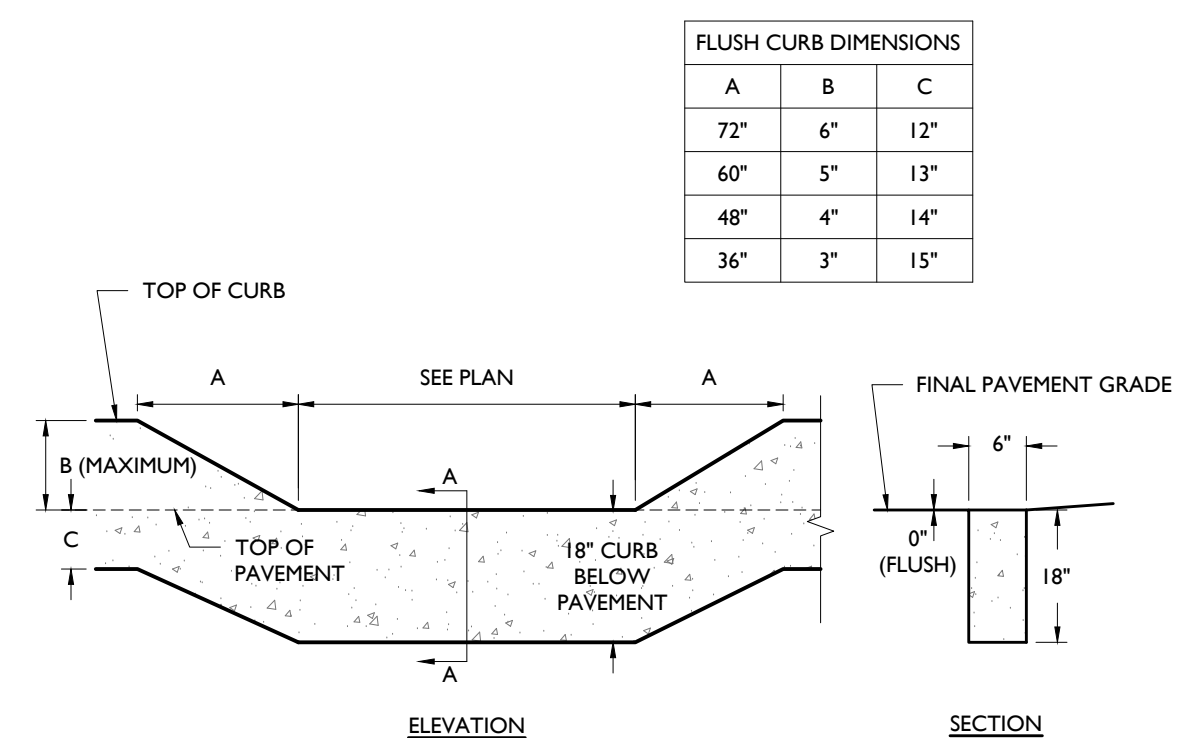


CROSSWALK DETAIL
NOT TO SCALE

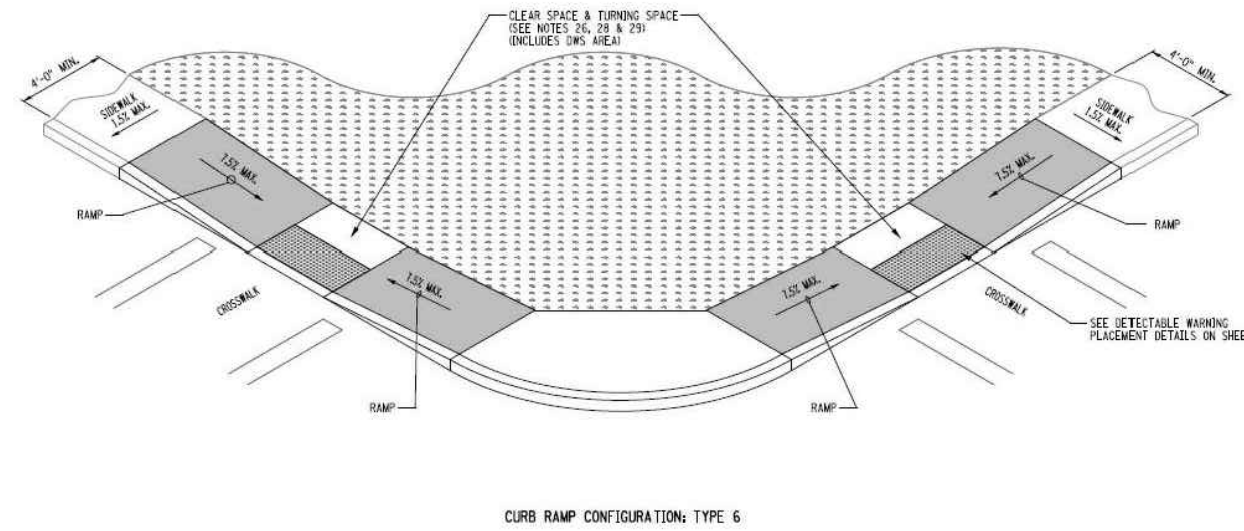


REINFORCED CONCRETE WALKWAY DETAIL
NOT TO SCALE

NOTES:
1. MAXIMUM CROSS SLOPE SHALL BE 1/2" PER FOOT.
2. 1/2" EXPANSION JOINTS SHALL BE PROVIDED AT 12' INTERVALS WITH PRE-MOLDED, BITUMINOUS JOINT FILLER, RECESSED 1/2" FROM THE SURFACE.
3. 1" DEEP BY 1/2" WIDE, TOOLED CONTRACTION JOINTS SHALL BE PROVIDED AT 4' INTERVALS.
4. EXPANSION JOINT SHALL BE PROVIDED WHERE ADJACENT TO A BUILDING.



FLUSH CURB DETAIL
NOT TO SCALE



NYS DOT SIDEWALK RAMP DETAILS
NOT TO SCALE

ISSUED FOR SITE PLAN APPROVAL	DATE	BY	DESCRIPTION
14	10/17/2022	JF	ISSUED FOR SITE PLAN APPROVAL
13	07/26/2022	JF	UPDATED PER MUNICIPAL COMMENTS
12	03/16/2022	FT	UPDATED PER NYSDEC COMMENTS
11	02/07/2022	BR	UPDATED SITE PLAN LAYOUT
10	05/24/2021	ARM	UPDATED SITE PLAN LAYOUT
09	05/05/2021	FT	RESUBMISSION TO THE TOWN
08	04/01/2021	FT	RESUBMISSION TO THE TOWN
07	03/02/2021	FT	RESUBMISSION TO THE TOWN
06	01/22/2021	CHG	RESUBMISSION TO THE TOWN
01	05/17/2019	ZC	RESUBMISSION TO THE TOWN

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PROPOSED DUNKIN' RESTAURANT WITH DRIVE-THRU

DUNKIN'

304 NYS ROUTE 117, BLOCK 2, LOT 34.1 & 30 MIDDLE COUNTRY ROAD & NYS ROUTE 112, HAMLET OF CORAM, TOWN OF BROOKHAVEN, SUFFOLK COUNTY, NEW YORK

ZACHARY E. CHAPIN, P.E.
NEW YORK LICENSE No. 099748
LICENSED PROFESSIONAL ENGINEER

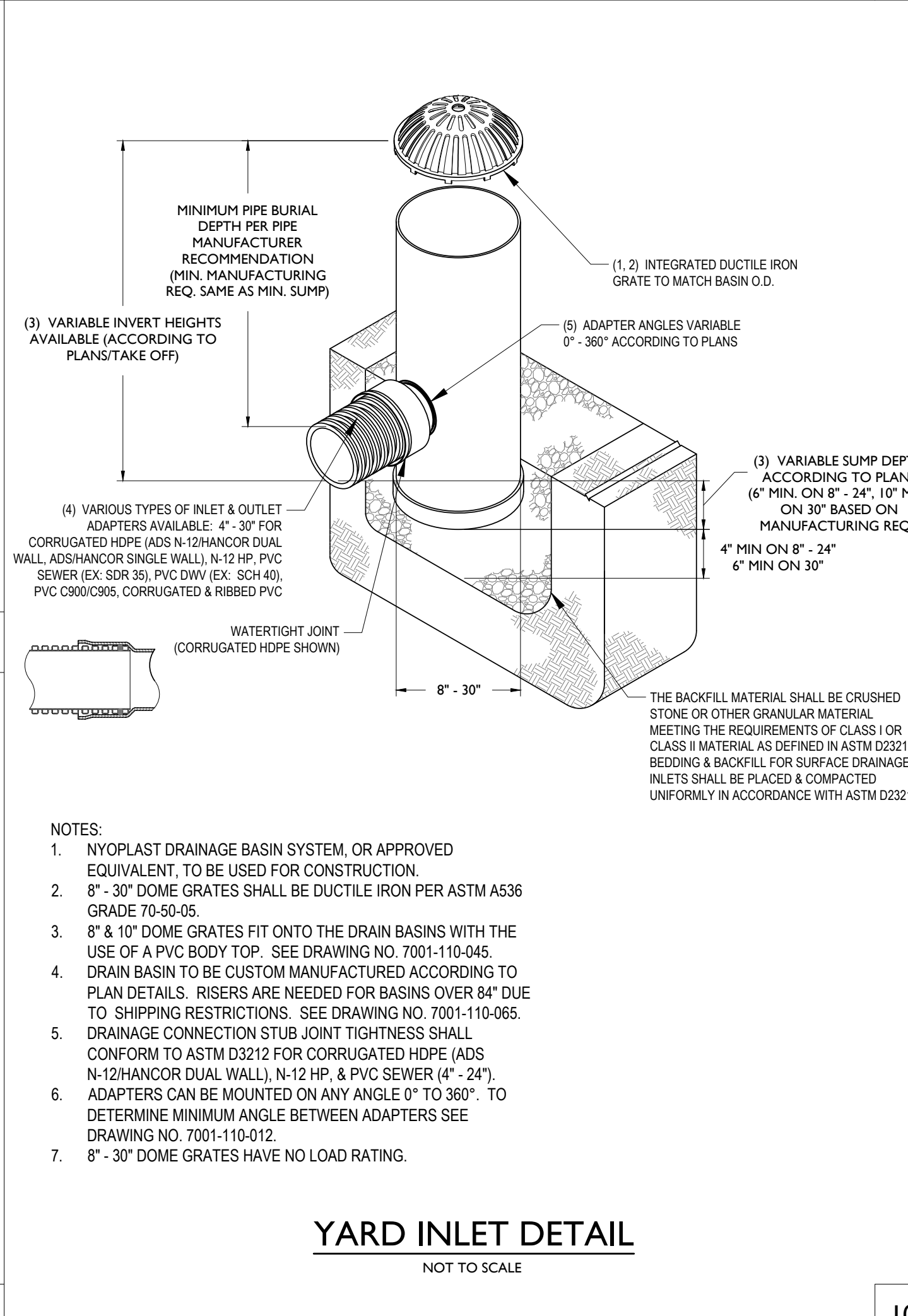
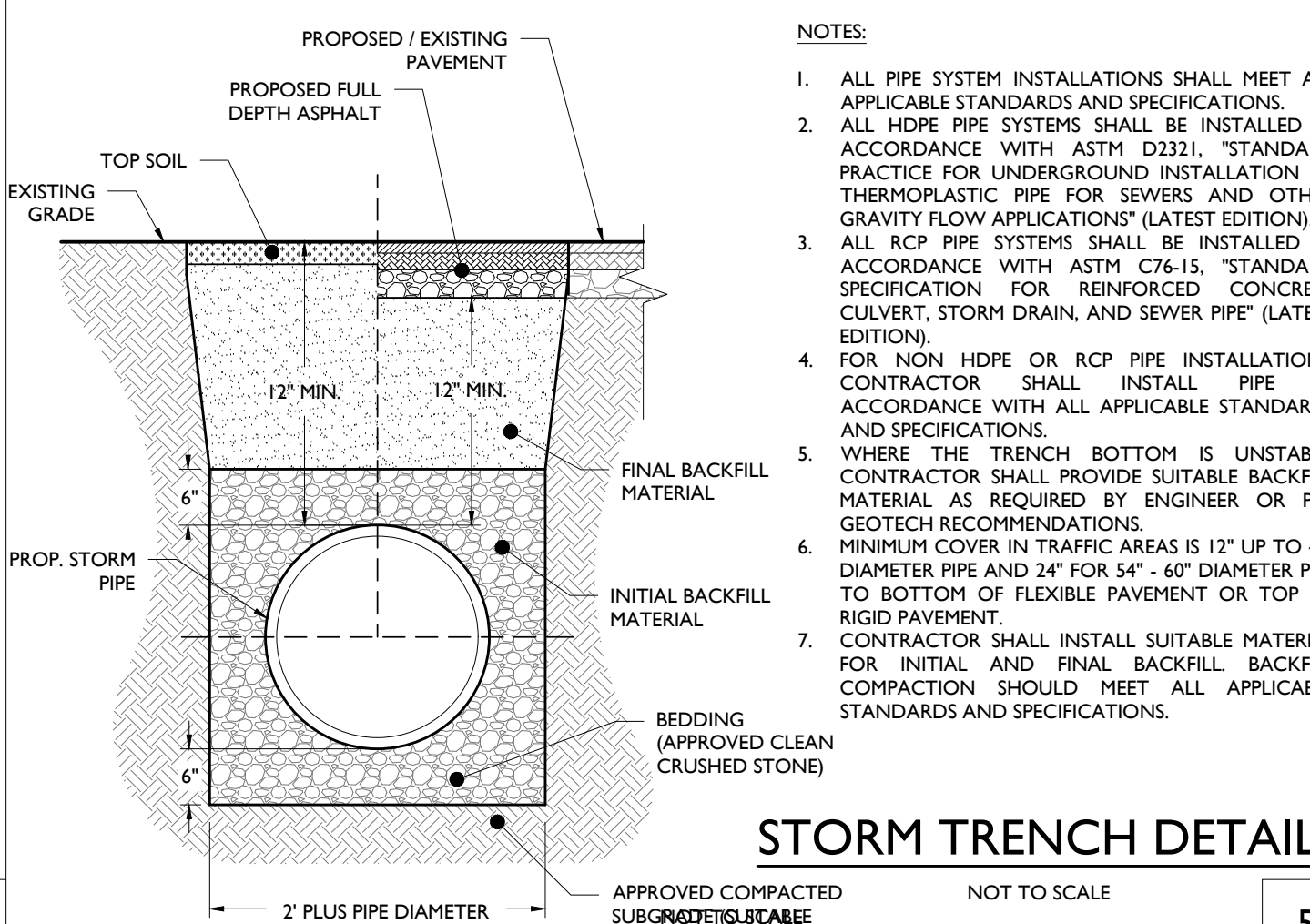
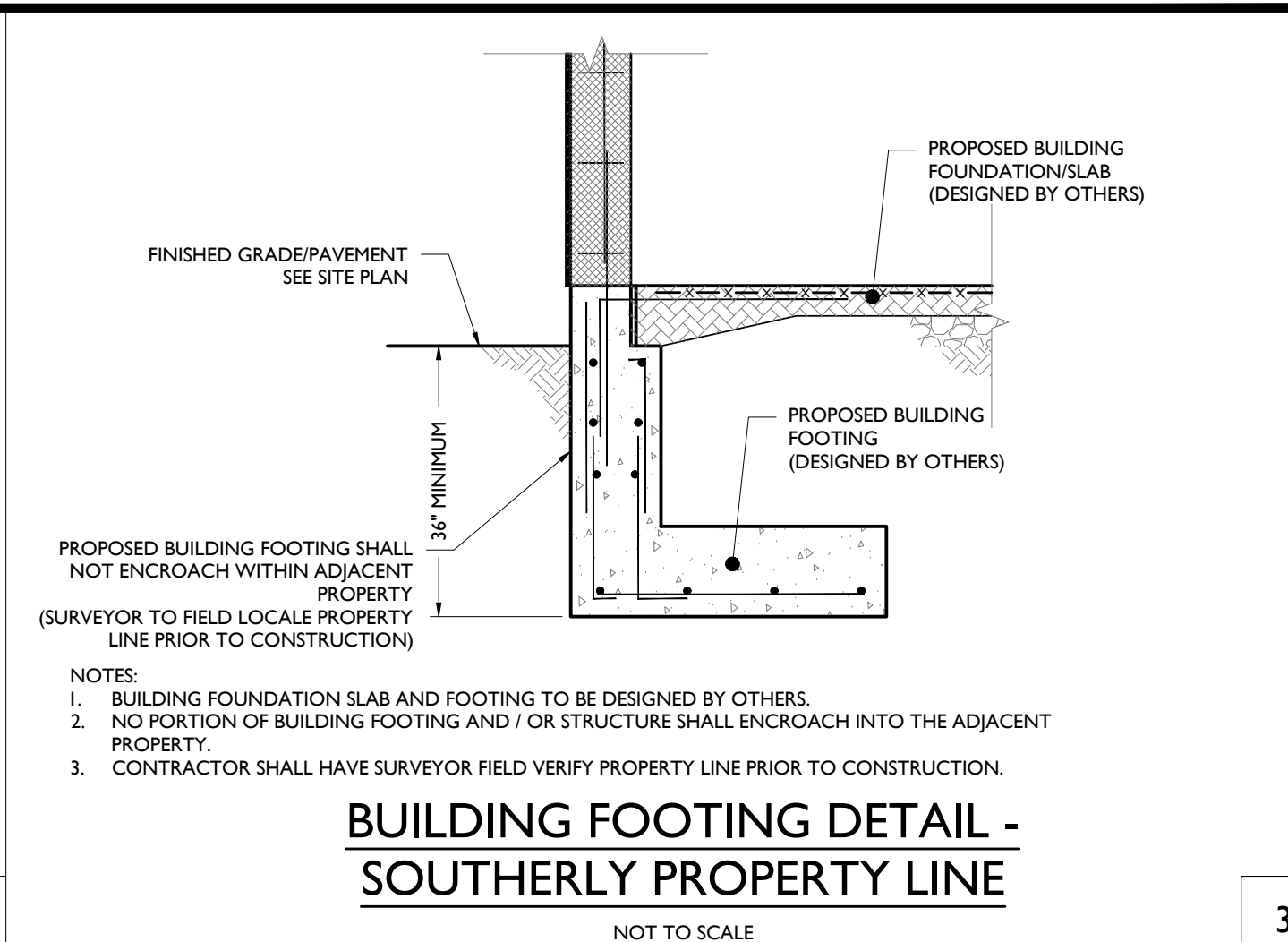
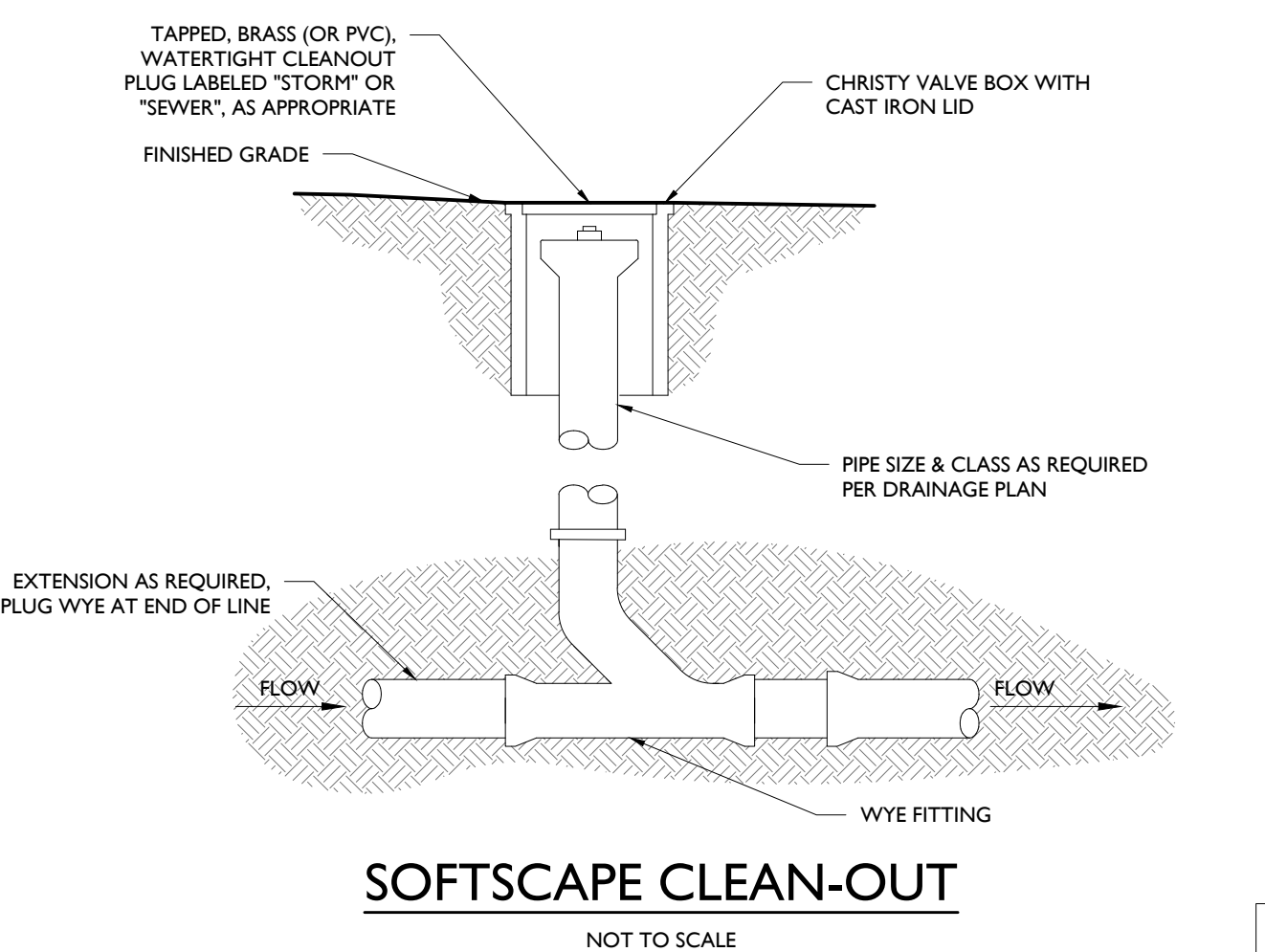
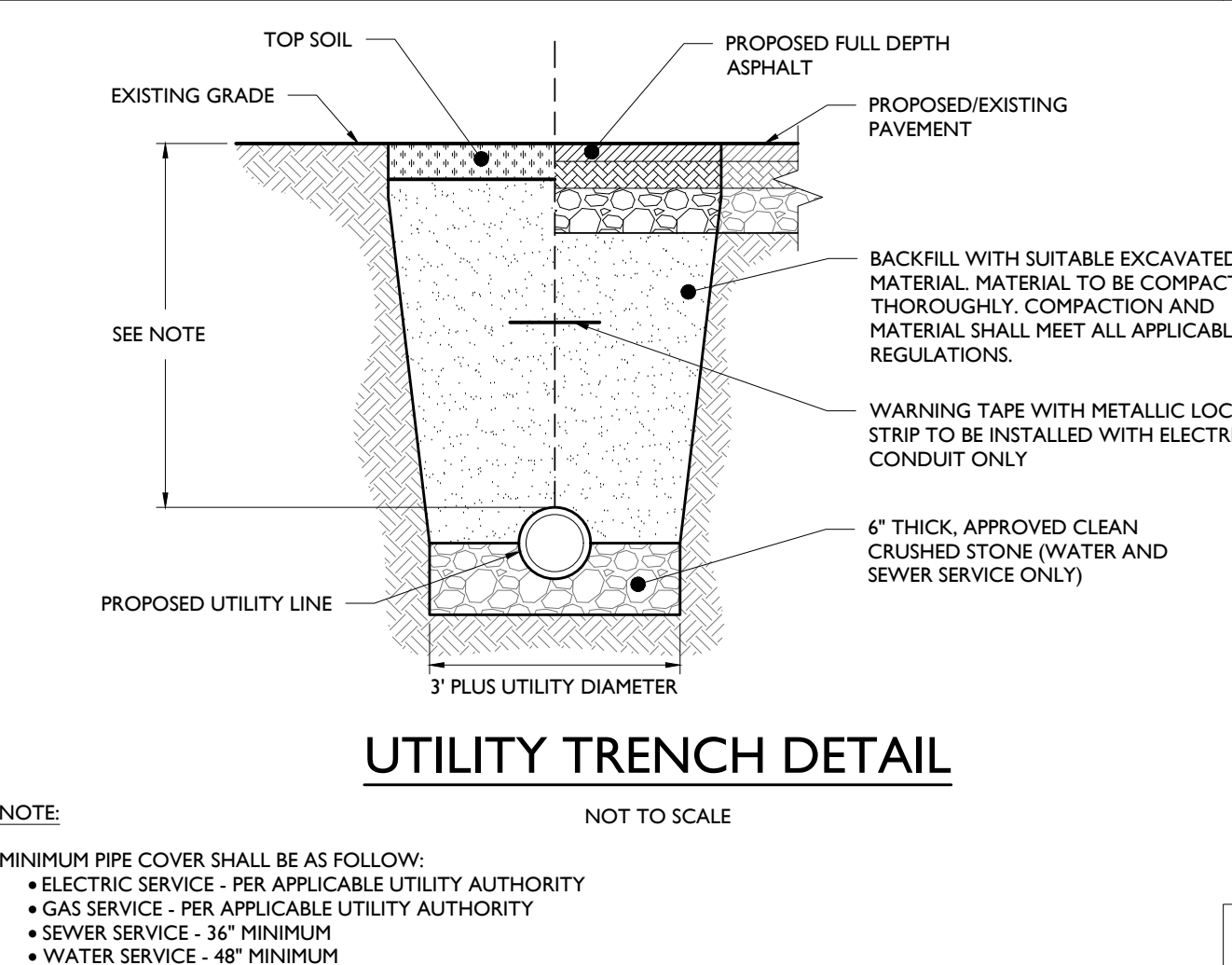
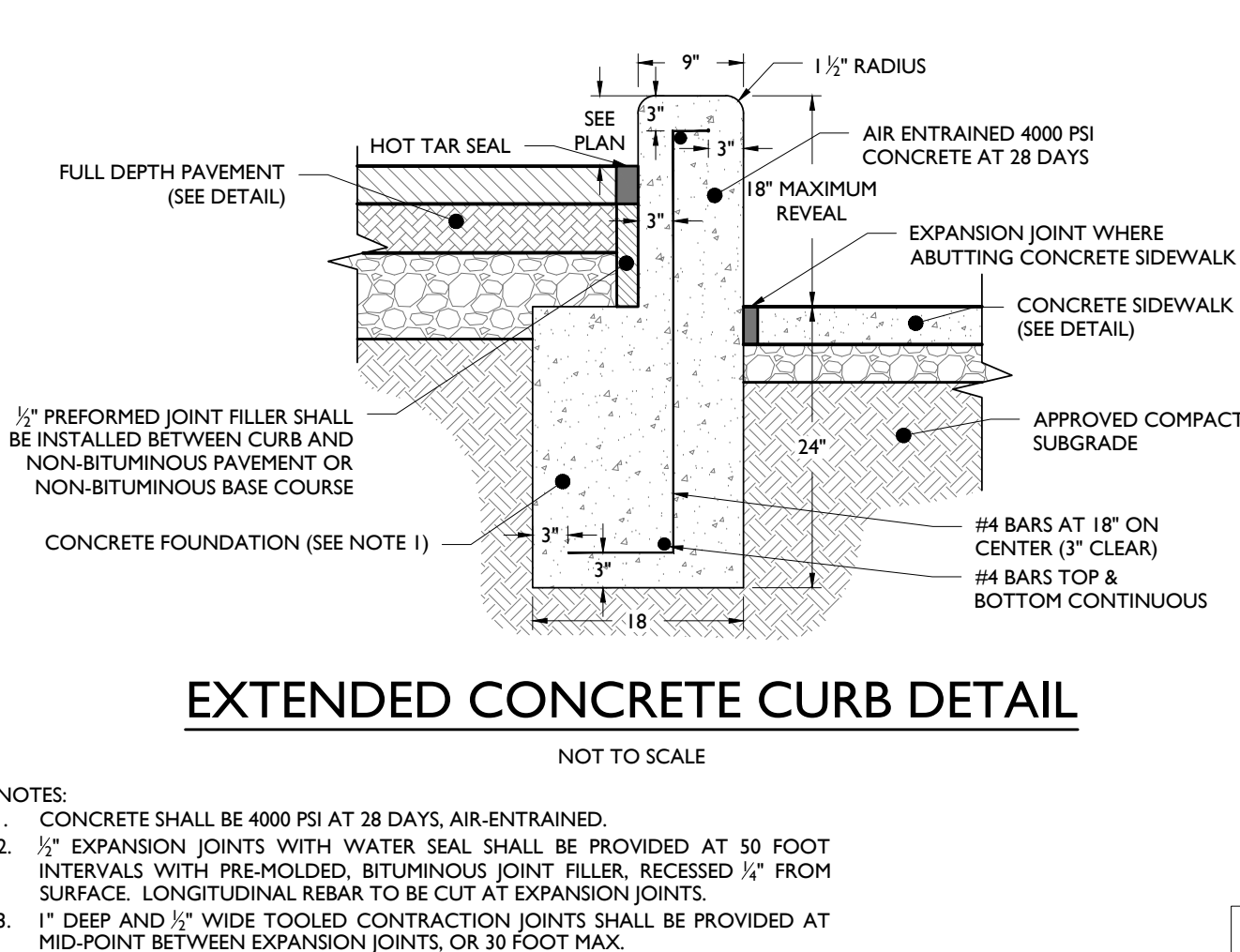
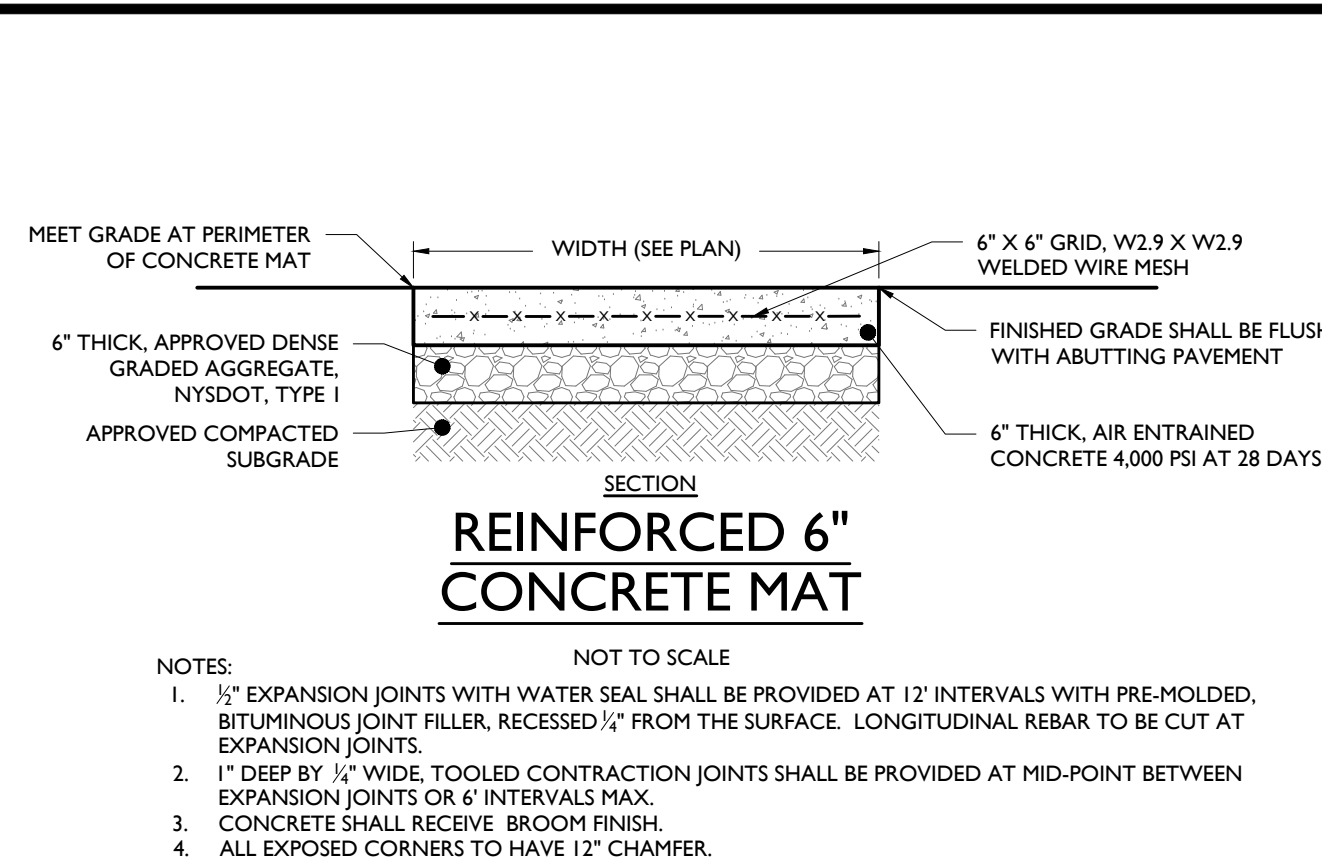
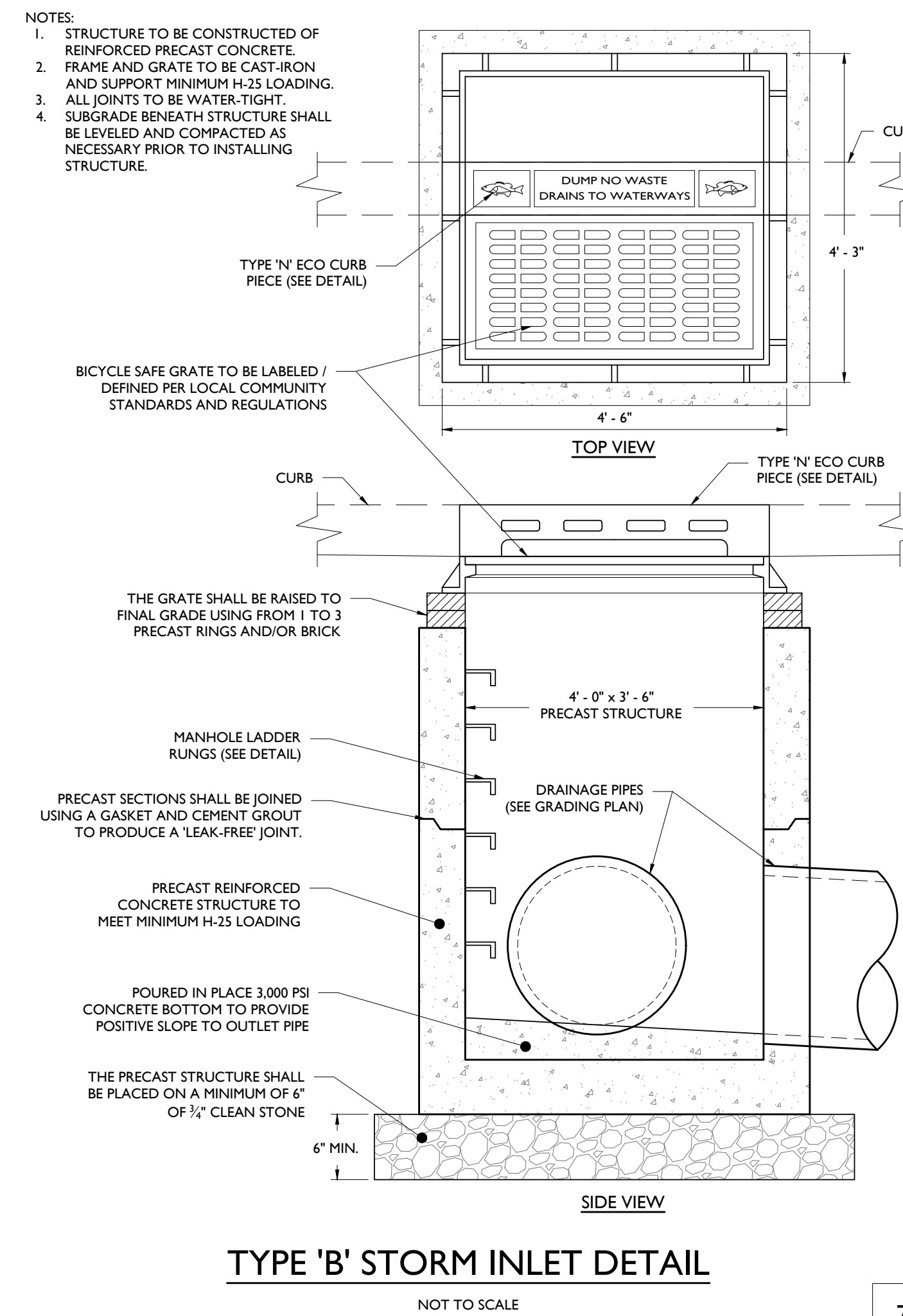
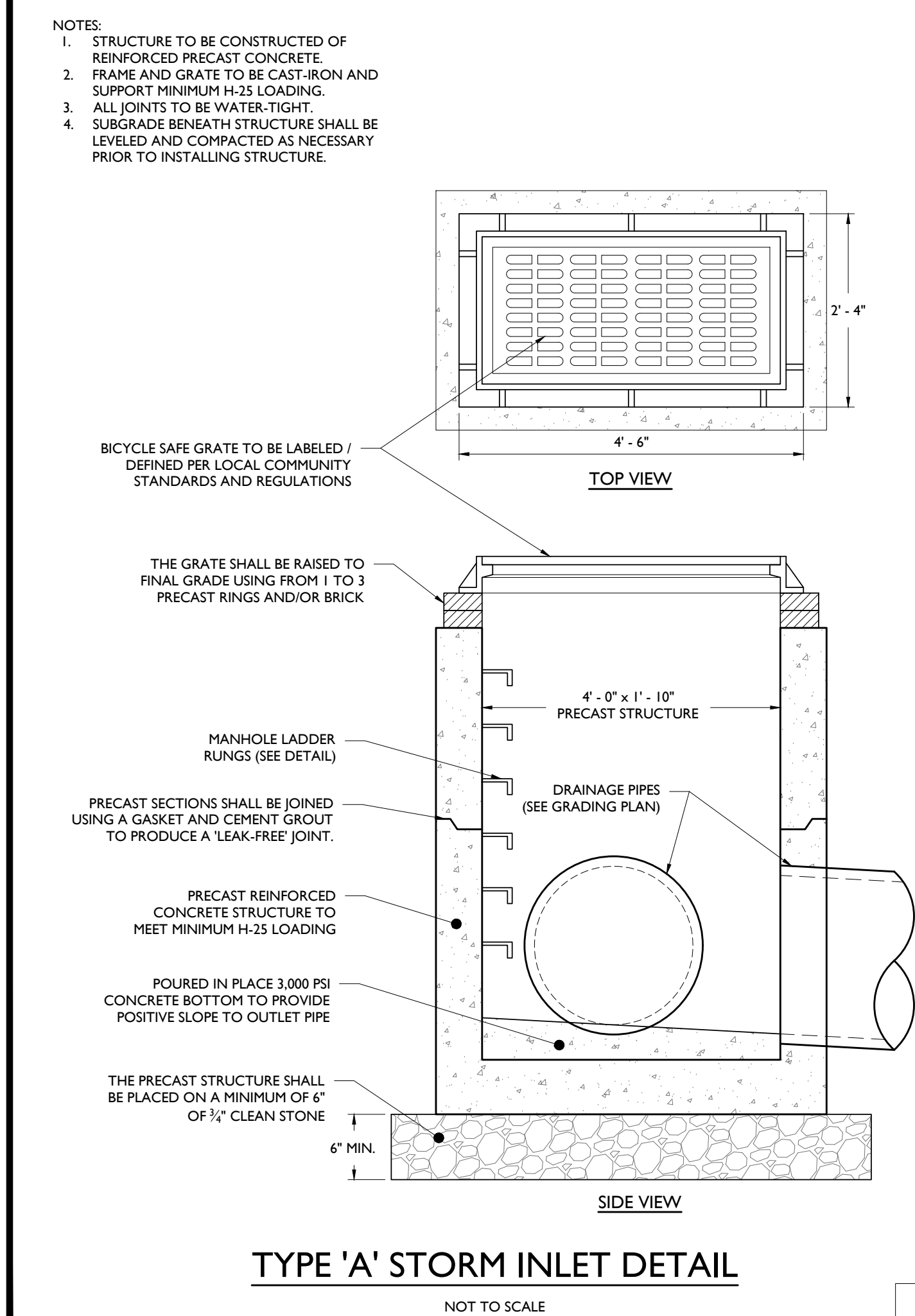
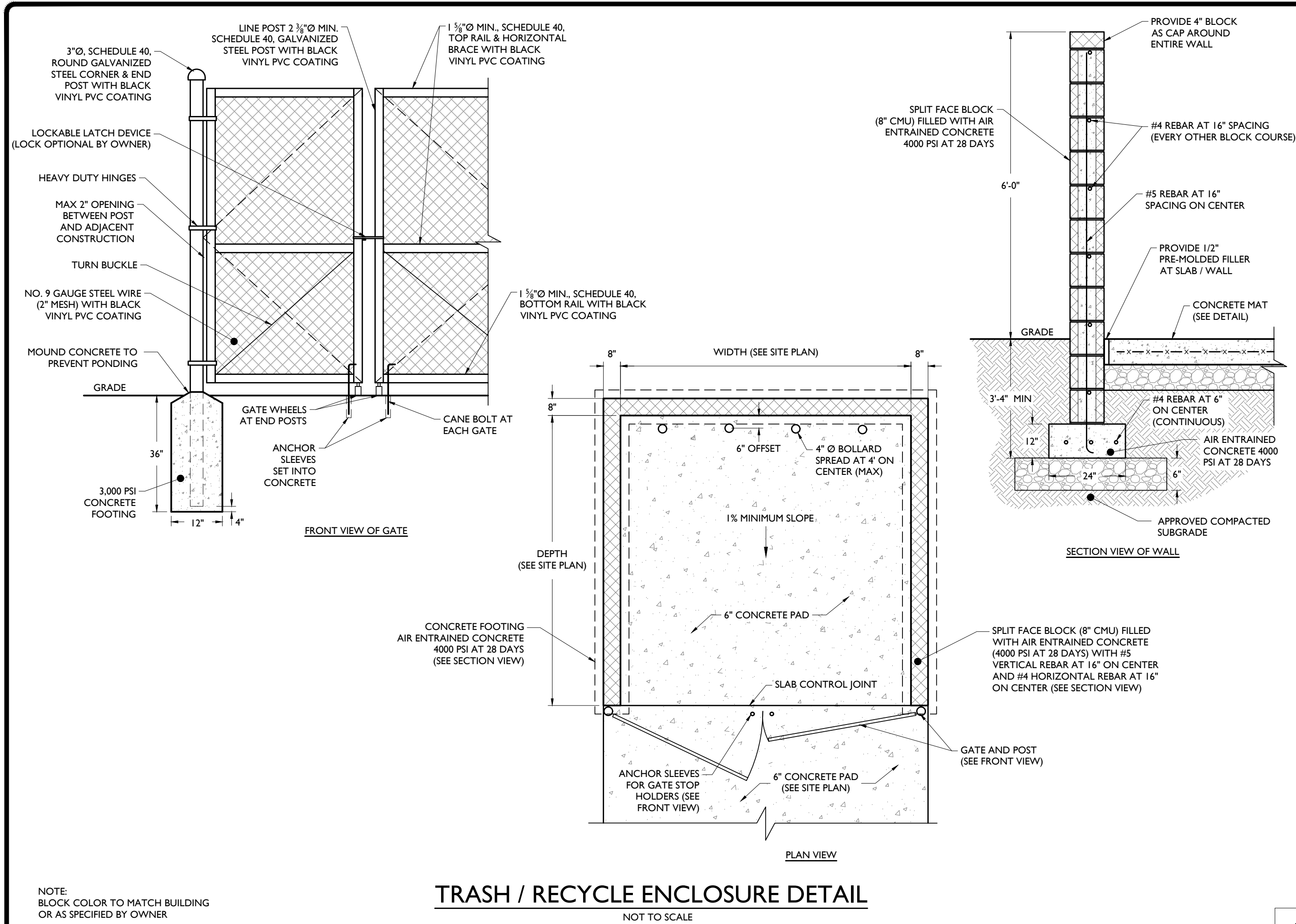
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SCALE: AS SHOWN PROJECT ID: K-18035

TITLE:
CONSTRUCTION DETAILS

DRAWING:

C-11



NOT APPROVED FOR CONSTRUCTION			ISSUE	DATE	BY	DESCRIPTION
14	10/19/2022	JF	ISSUED FOR SITE PLAN APPROVAL			
13	07/16/2022	JF	UPDATED PER MUNICIPAL COMMENTS			
12	03/16/2022	FT	UPDATED PER NYSDC COMMENTS			
11	02/01/2022	BR	UPDATED SITE PLAN LAYOUT			
10	05/14/2021	AKM	UPDATED SITE PLAN LAYOUT			
09	05/05/2021	FT	RESUBMISSION TO THE TOWN			
08	04/01/2021	FT	RESUBMISSION TO THE TOWN			
07	03/02/2021	FT	RESUBMISSION TO THE TOWN			
06	01/22/2021	CMG	RESUBMISSION TO THE TOWN			
01	05/21/2019	ZC	SUBMISSION TO TOWN			



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SITE PLANS

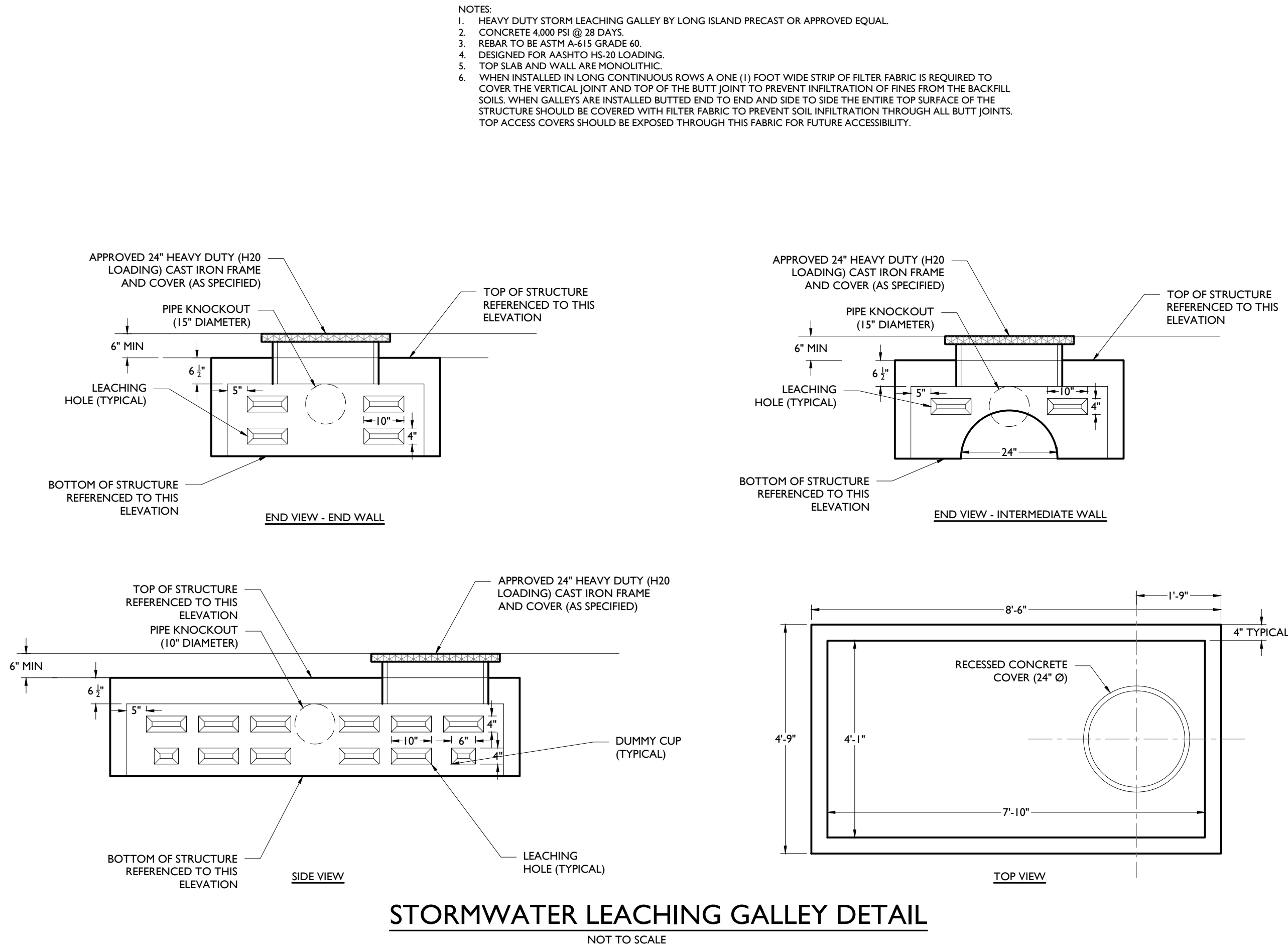
**PROPOSED DUNKIN' RESTAURANT
WITH DRIVE-THRU**

DUNKIN'

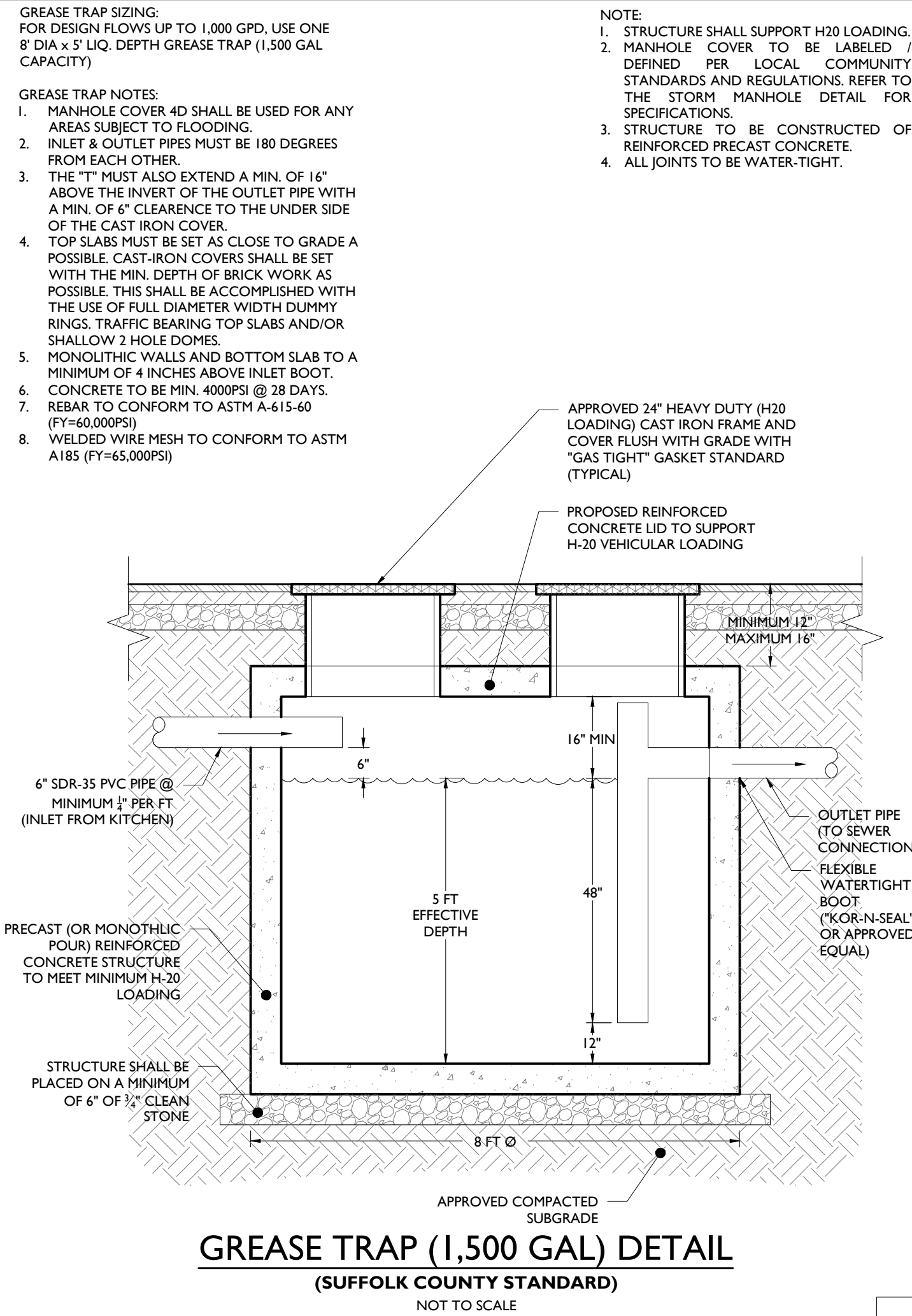
396 NY'S ROUTE 112
BLOCK 2, LOT 32.1, 34.1 & 30
MIDDLE COUNTRY ROAD & NY'S ROUTE 112
TOWN OF CORTLAND, NEW YORK
SHERIDAN, CORTLAND COUNTY, NEW YORK

 <p>ZACHARY E. SHAPLIN, P.E. NEW YORK LICENSE No. 10748 LICENSED PROFESSIONAL ENGINEER</p>	
 STONE engineering & design	
SCALE: AS SHOWN	PROJECT ID: K-18033
TITLE: CONSTRUCTION DETAILS	
DRAWING: C-12	

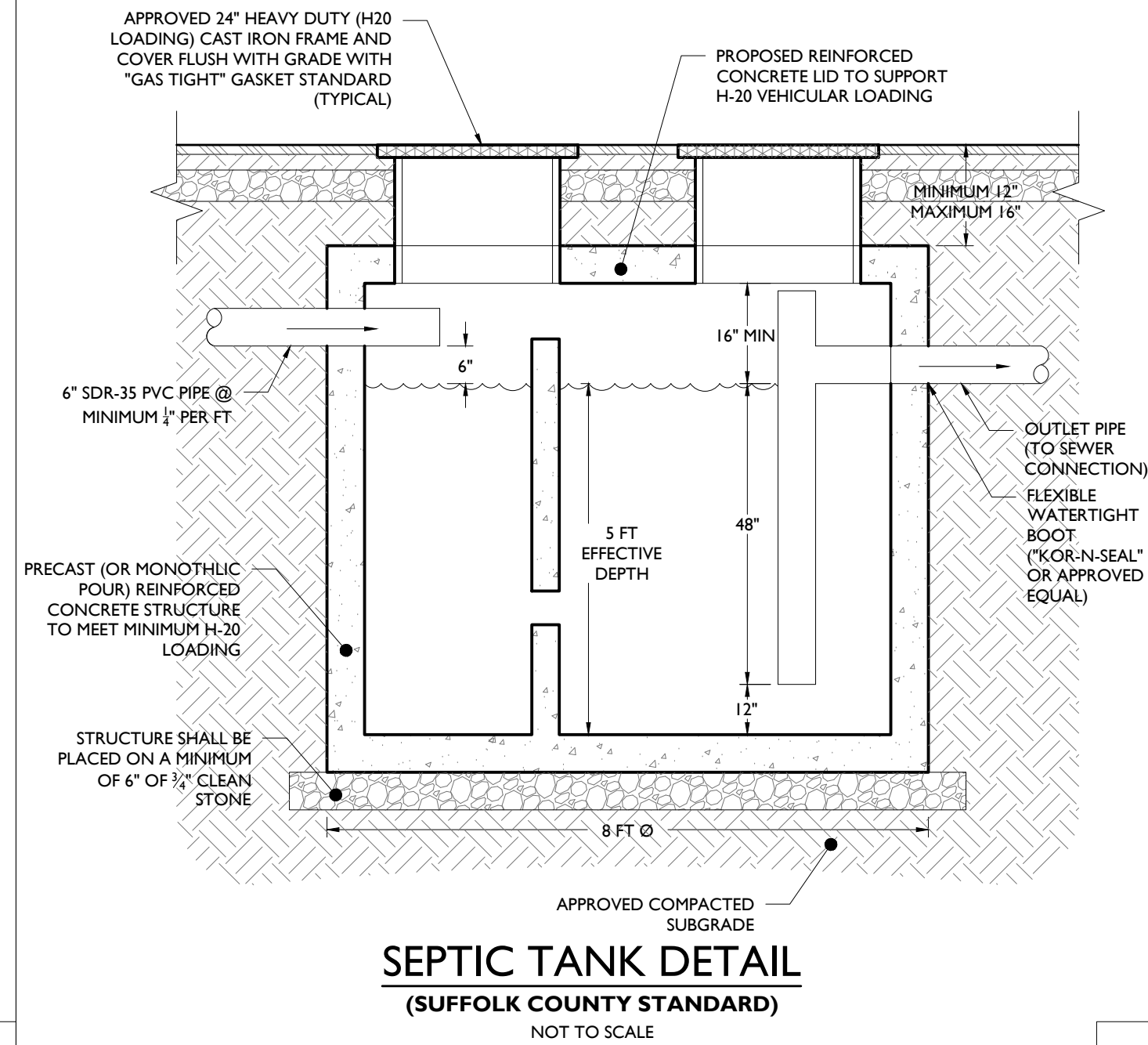
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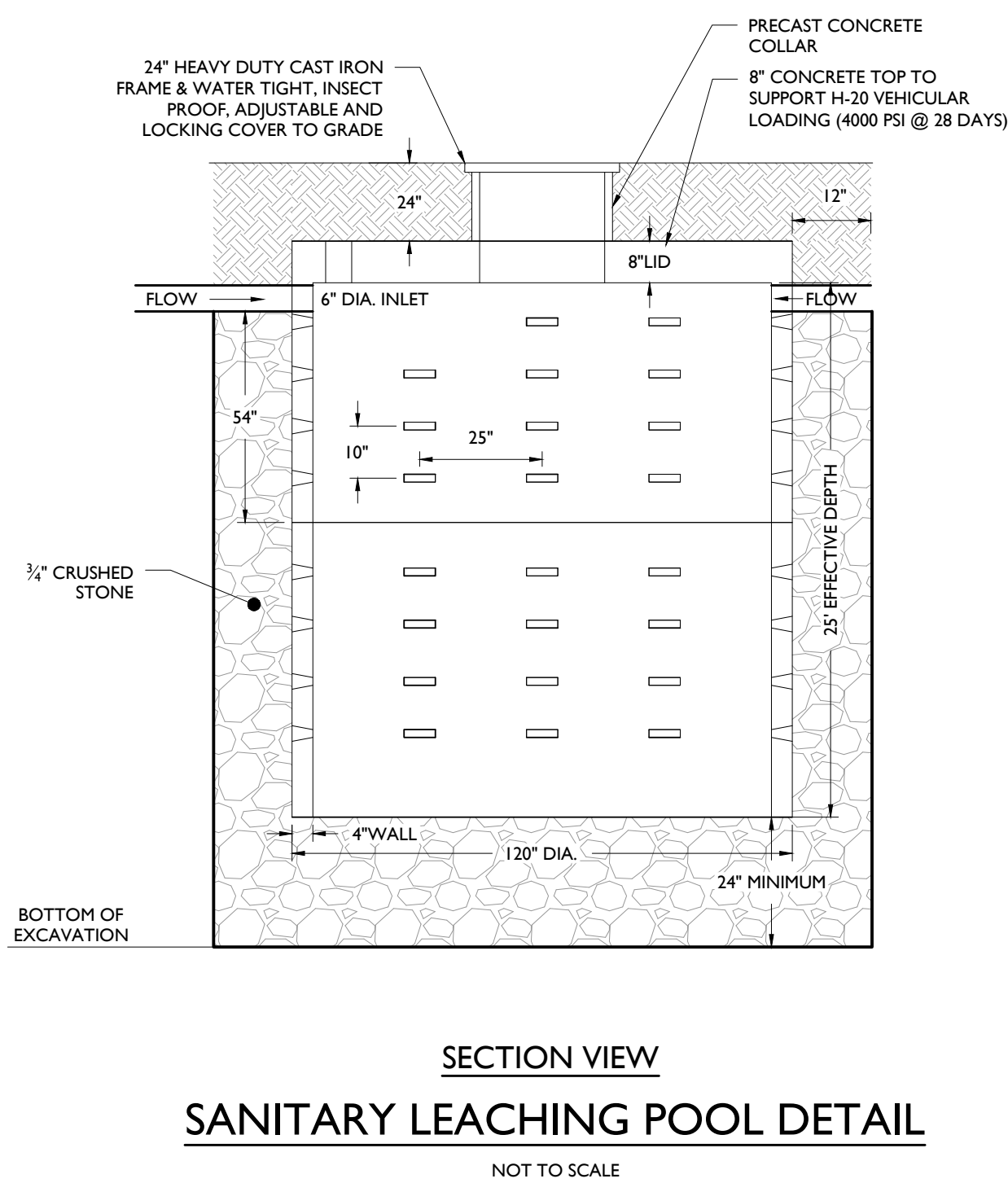
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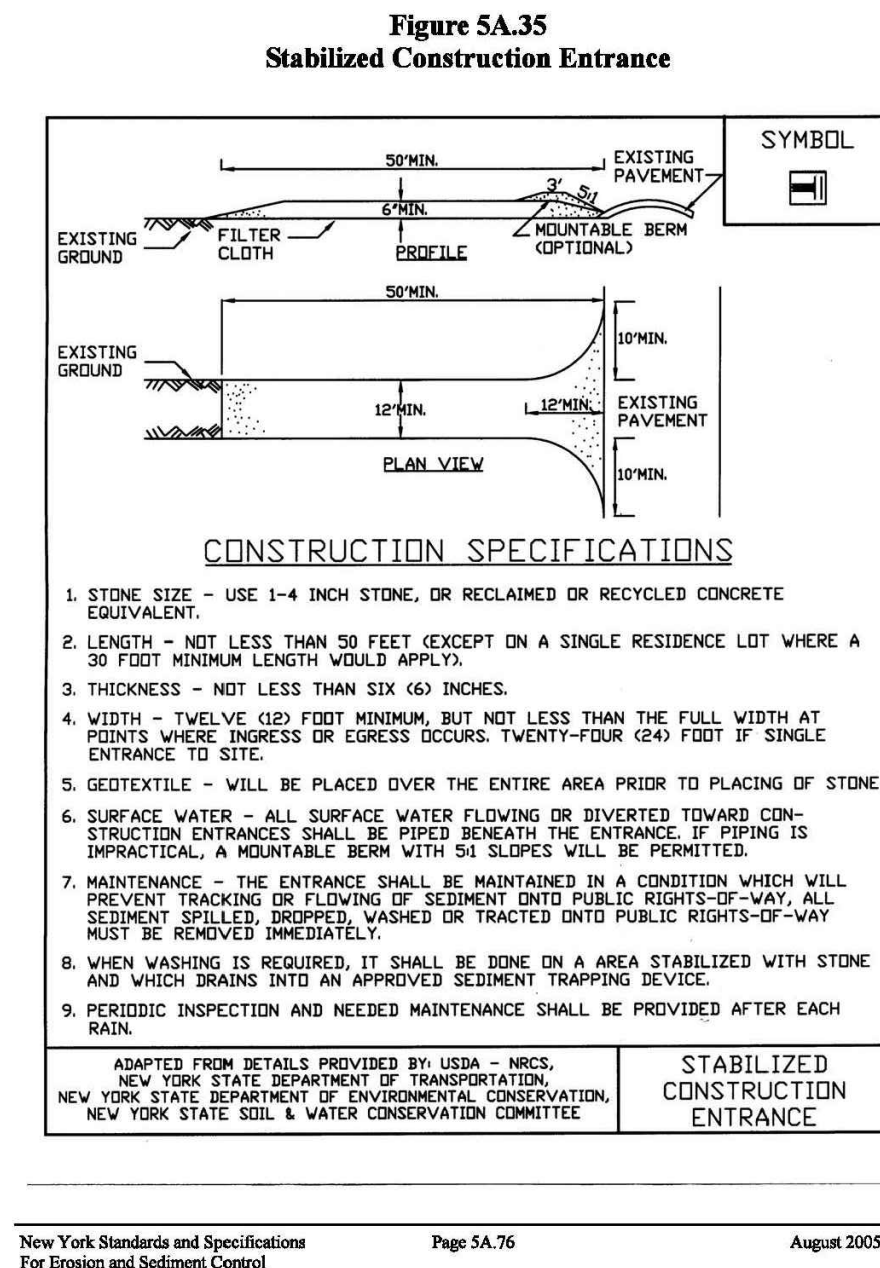
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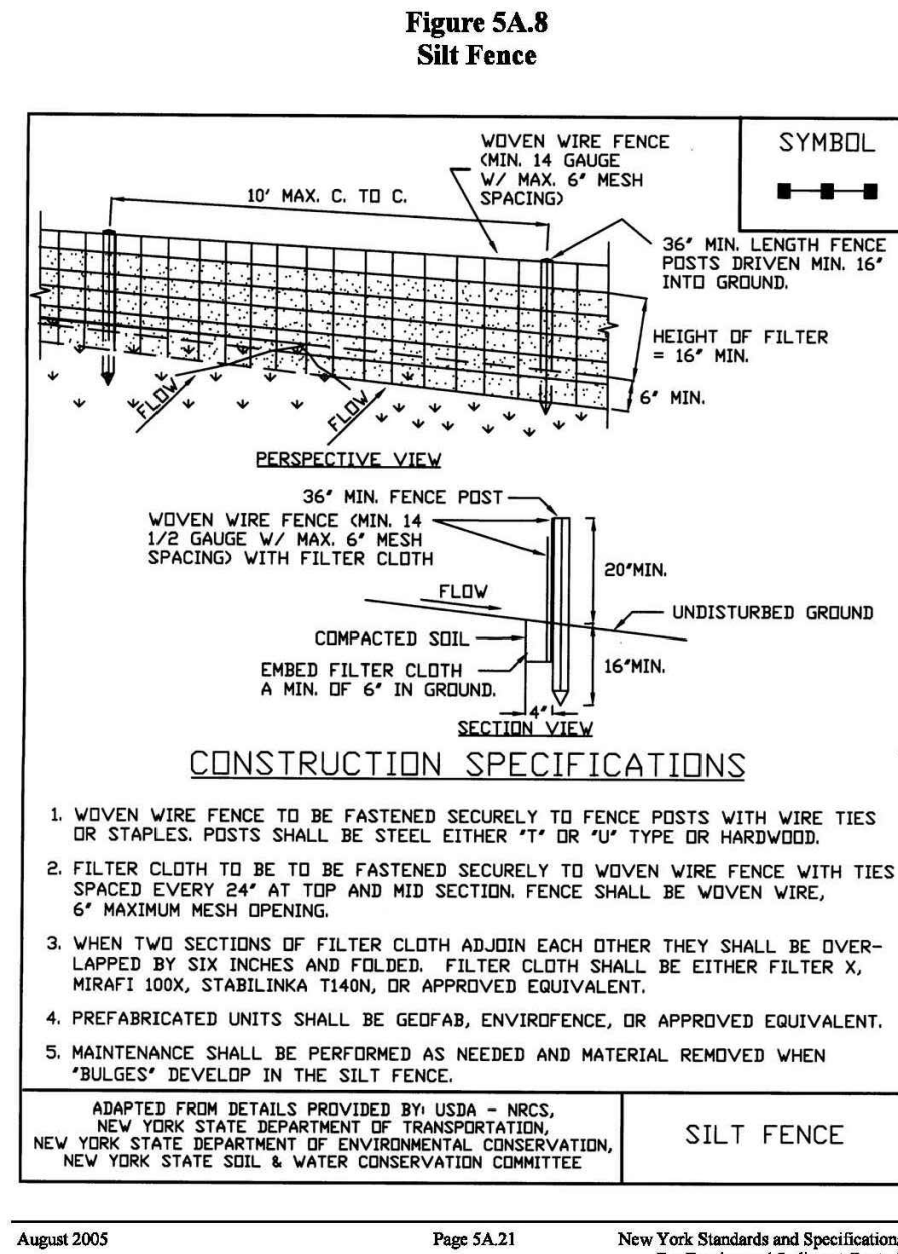
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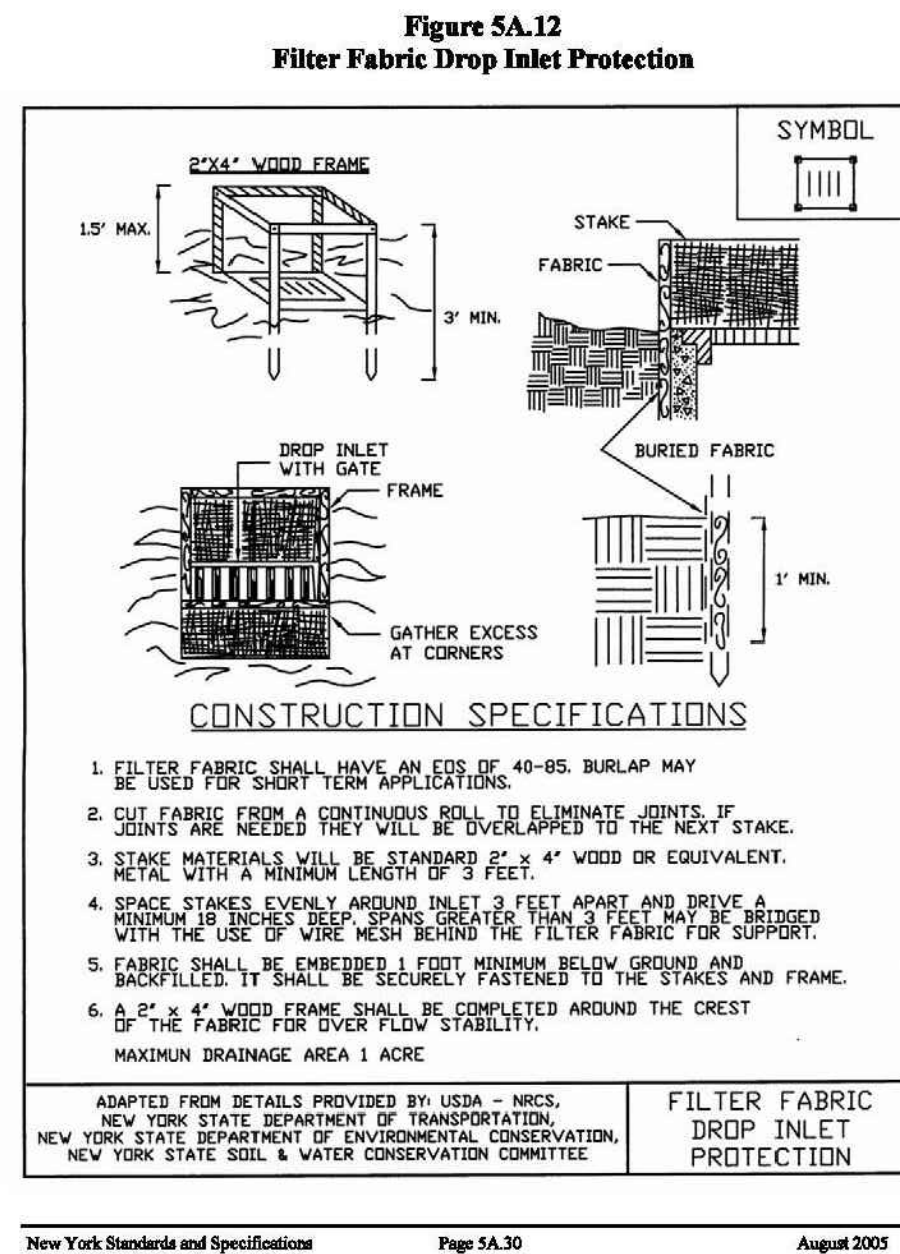
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5



6



7

ISSUED FOR SITE PLAN APPROVAL				UPDATED PER NYSDEC COMMENTS				UPDATED PER NYSDEC COMMENTS				UPDATED SITE PLAN LAYOUT				RESUBMISSION TO THE TOWN				RESUBMISSION TO THE TOWN				RESUBMISSION TO THE TOWN				SUBMISSION TO TOWN				DESCRIPTION			
14	13	12	11	10	09	08	07	06	05	04	03	02	01	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE	BY	DATE	BY						
NOT APPROVED FOR CONSTRUCTION																																			
<div><div><div>STONEFIELD engineering & design</div><div></div></div><div><div>204 NYS ROUTE 112 BLOCK 72 LOT 34.1 & 30 MIDDLE COUNTRY ROAD & NYS ROUTE 112 HAMLET OF CORAM, TOWN OF BROOKHAVEN SUFFOLK COUNTY, NEW YORK</div><div><div>PROPOSED DUNKIN' RESTAURANT WITH DRIVE-THRU</div><div>DUNKIN'</div></div></div><div><div> ZACHARY E. CHAPIN, P.E. NEW YORK LICENSE NO. 099748 LICENSED PROFESSIONAL ENGINEER</div><div><div>STONEFIELD engineering & design</div><div>SCALE: AS SHOWN PROJECT ID: K-18035</div></div></div><div><div>TITLE: CONSTRUCTION DETAILS</div><div>DRAWING: C-13</div></div></div>																																			



Contractor Select™ LIL LED Wall Mount Lighting

The Lithonia Lighting® LIL wall pack is just 5 inch x 5 inch in size and delivers 800 lumens using only 8 watts. It is the ideal, compact "see-thru door" lighting solution for commercial and residential applications.

FEATURES:

- Replaces up to 100W incandescent lamps, saves 90% energy
- Elegant and compact LED solution, Photocell and battery pack options available
- Back box accessory available for conduit wiring



Catalog Number	WPC	Description	Replaces Up To	lumens	Voltage	CCC	Voltage	Finish	Pallet Qty.
LIL LED 10K WOLVOLT D80T8D	10K	100W INCANDESCENT/220W COMPACT FLUORESCENT	100W	800	8W	3000K	120-277V	TEXTURED DARK BRONZE	60
*LIL LED 30K WOLVOLT PE D80T8D	30K	100W INCANDESCENT/220W COMPACT FLUORESCENT	100W	800	8W	3000K	120-277V	TEXTURED DARK BRONZE	60
LIL LED 40K WOLVOLT D80T8D	40K	100W INCANDESCENT/220W COMPACT FLUORESCENT	100W	800	8W	4000K	120-277V	TEXTURED DARK BRONZE	60
*LIL LED 40K WOLVOLT PE D80T8D	40K	100W INCANDESCENT/220W COMPACT FLUORESCENT	100W	800	8W	4000K	120-277V	TEXTURED DARK BRONZE	60
**LIL LED 80 D80T8D	80	BACK BOX CONDUIT	N/A	N/A	N/A	N/A	N/A	TEXTURED DARK BRONZE	60

More configurations are available. Click here or visit www.lsiindustries.com and search for LIL LED.

*PE and EL options can be ordered together.

**80 option is not available with EL option.

Accessories Order as separate catalog number.

**LIL LED 80 D80T8D - Back box for conduit entry applications, dark bronze - C-Code 1245001

CONTRACTOR SELECT LIL LED

Page 1 of 2

MIRADA WALL SCONCE (XWM)

LUMINAIRE ORDERING INFORMATION

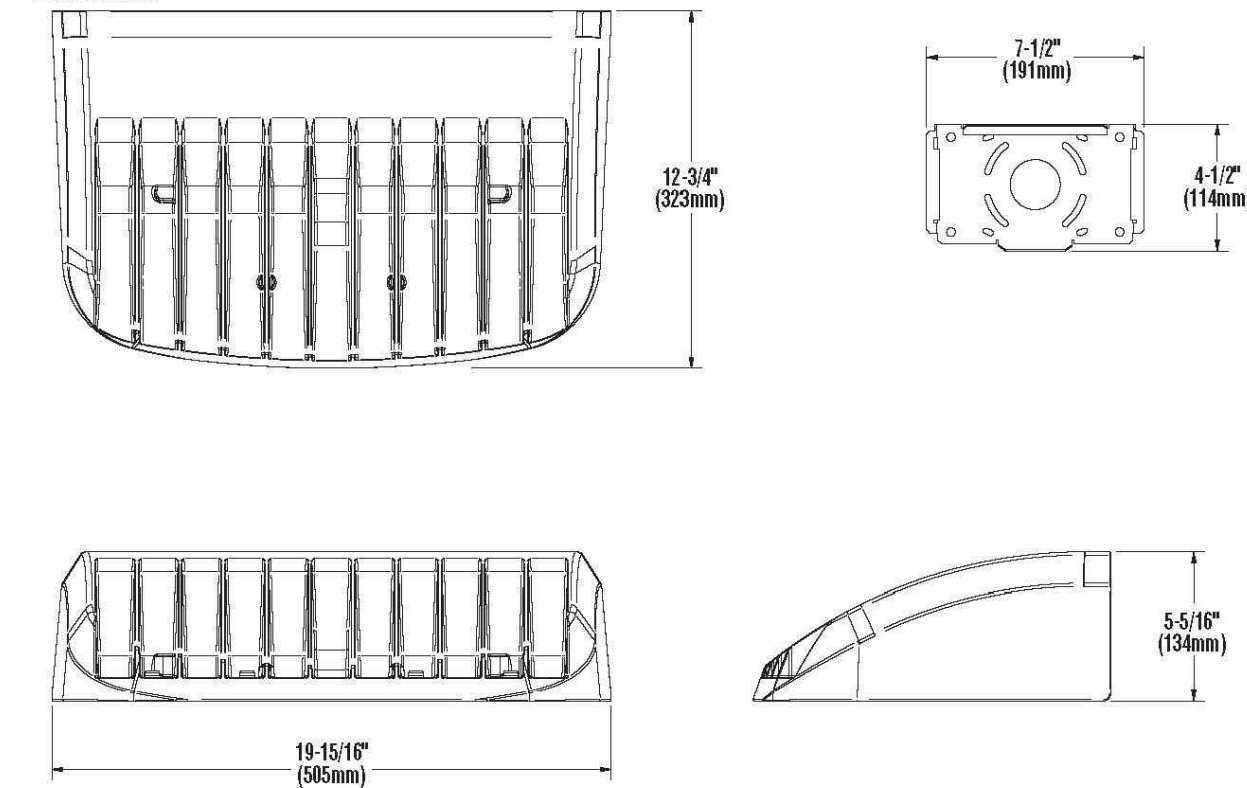
TYPICAL ORDER EXAMPLE: **XWM FT LED 08L 50 UE WHT IMS**

Prefix	Distribution	Light Source	Output*	Color Temperature	Input Voltage	Finish	Optional Controls	Optional Sensor/Options
XWM - Mirada Wall Sconce	2 - Type 2 3 - Type 3 WHT - White	LED	03L - 3,400 Lumens 04L - 4,400 Lumens 08L - 8,800 Lumens	50 - 5000K 40 - 4000K 50 - 5000K	UE - Universal Voltage (120-277V)	BLK - Black BRZ - Bronze GPT - Graphite MSV - Metallic Silver PLP - Platinum Plus WHT - White	Wireless Control System ¹ (None) - None P3M - Pattern Control System G2P - Gait Control System DM - 0-10V wall dimming (requires wall controller) ALS - All-Link Synapse Control System Stand-Alone Control (None) - None DIM - 0-10V wall dimming (from external signal)	Sensor ² (None) - Integral Motion Sensor ^{3,4} Options: SB - Battery Back-up ⁵ CWB - Cold Weather Battery Back-up ⁵ X7M - Pole Mounting Bracket

Description	Order Number	Description	Order Number
XWM 30K SIL - Surface Wiring Box (Available in Black only)	30K311BLK	DP200 - Double Fitting	DP200
FX120 - Single Fitting	FX120	DP240 - Double Fitting	DP240
FX127 - Single Fitting	FX127	DP480 - Double Fitting	DP480
FX147 - Single Fitting	FX147	MSGPS Remote Configuration Tool ⁶	MSGPS

FOOTNOTES:
1 - For wireless controls information and accessories, see Controls Section.
2 - Requires a Switchgear and override switch. Not compatible with battery back-up.
3 - MS or MS Option.
4 - Not compatible with MS Option.
5 - Not compatible with DM or Wireless Control System.
6 - Not compatible with Wireless Control System.
7 - Not available with DM, DM2, DM3, DM4 or Wireless Control System.
8 - MS is the WallSwitch Dual Sensor (Daylight & Motion) which is field adjustable, via a handheld remote configuration tool.
9 - Output based on type 3 option in cool white color temperature, see IES files for exact delivered lumens.

DIMENSIONS



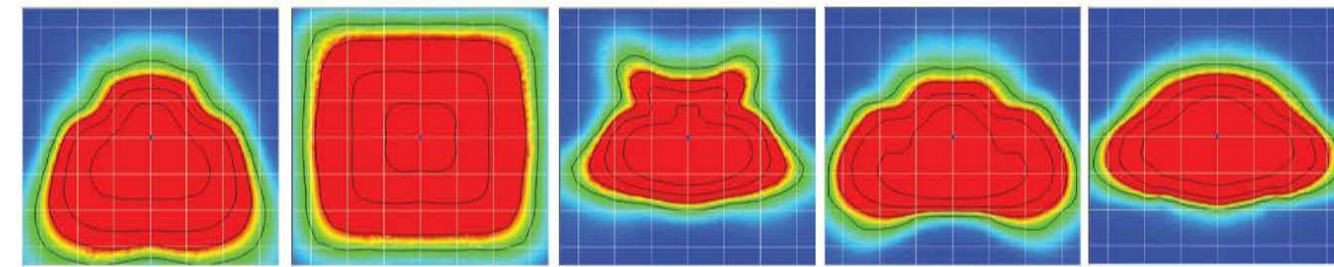
Project Name _____ Fixture Type _____ 3/13/19
Catalog # _____ 6/20/19
LSI INDUSTRIES INC.



Mirada Medium - MRM Outdoor LED Area Light

Performance (Cont.)

All published luminaire photometric testing performed to IESNA LM-79 standards. ISO footcandle plots below demonstrate the Mirada (MRM) light patterns only. Not for total fixture output. For complete specifications and IES files, see website.



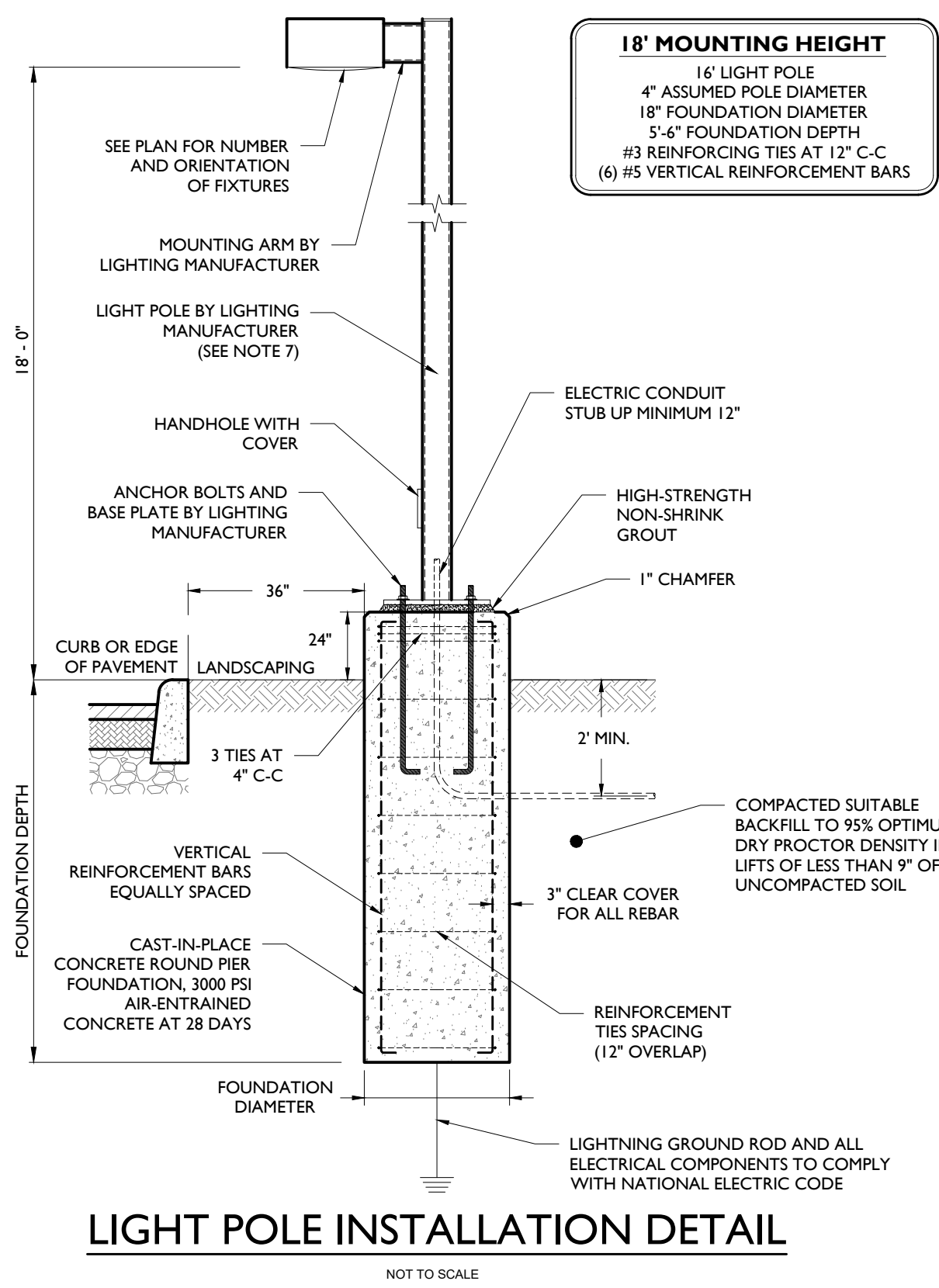
Ordering Guide

TYPICAL ORDER EXAMPLE: **MRM LED 36L SIL FTA UNV DIM 50 70CRI ALSCS04 BRZ IL**

Luminaire Prefix	Light Source	Lumen Package*	Light Output	Distribution	Orientation*	Voltage	Driver
MRM - Mirada	LED	7L - 7,000 lms 8L - 8,000 lms 12L - 12,000 lms 16L - 16,000 lms 24L - 24,000 lms 36L - 36,000 lms 48L - 48,000 lms	SR - Standard 2 - Type 2 3 - Type 3 SW - Type 3 Wide FT - Footcandle Throw FTA - Forward Throw Automobile	(Blank) - standard L - Optics rotated left 90 R - Optics rotated right 90	UNV - Universal Voltage (120-277V) HW - High Voltage (347-480V)	DM - 0-10V Dimming (0-10%)	
*Consult factory for programmable wattages and lumen packages							
Color Temp	Color Rendering	Controls (Choose One)			Finish	Options	
50 - 5,000 CCT 40 - 4,000 CCT 30 - 3,000 CCT 27 - 2,700 CCT AMB - Phosphor Converted Amber ¹	70CRI - 70 CRI	(Blank) - None Wireless Controls System ALSC - All-Link Synapse Control System ¹ ALSC91 - All-Link Synapse Control System Host / Satellite ^{1,2} ALSC901 - All-Link Synapse Control System Host / Satellite with 8-12" Motion Sensor ^{1,3} ALSC902 - All-Link Synapse Control System Host / Satellite with 12-20" Motion Sensor ^{1,3} ALSC903 - All-Link Synapse Control System Host / Satellite with 20-40" Motion Sensor ^{1,3} ALSC904 - All-Link Synapse Control System Host / Satellite with 20-40" Motion Sensor ^{1,3} Stand-Alone Controls EXT - 0-10V Dimming (from external signal) MS0801 - Integral Motion Sensor 8-12" 120-277V ^{1,4} MS0802 - Integral Motion Sensor 12-20" 120-277V ^{1,4} MS0804 - Integral Motion Sensor 20-40" 120-277V ^{1,4} MS0810V - Integral Motion Sensor 8-12" 347-480V ^{1,4} MS0820V - Integral Motion Sensor 12-20" 347-480V ^{1,4} MS0840V - Integral Motion Sensor 20-40" 347-480V ^{1,4} CRTP - 7 Pin Central Receptacle ANSI C136.41 ¹			BRZ - Bronze BLK - Black GPT - Graphite MSV - Metallic Silver WHT - White PLP - Platinum Plus SVG - Satin Verde Green	(Blank) - None IL - Integrated Photocell ⁵	
Bottom Type Photocells PC120 - 120V PC200 277 - 208-277V PC347 - 347V							

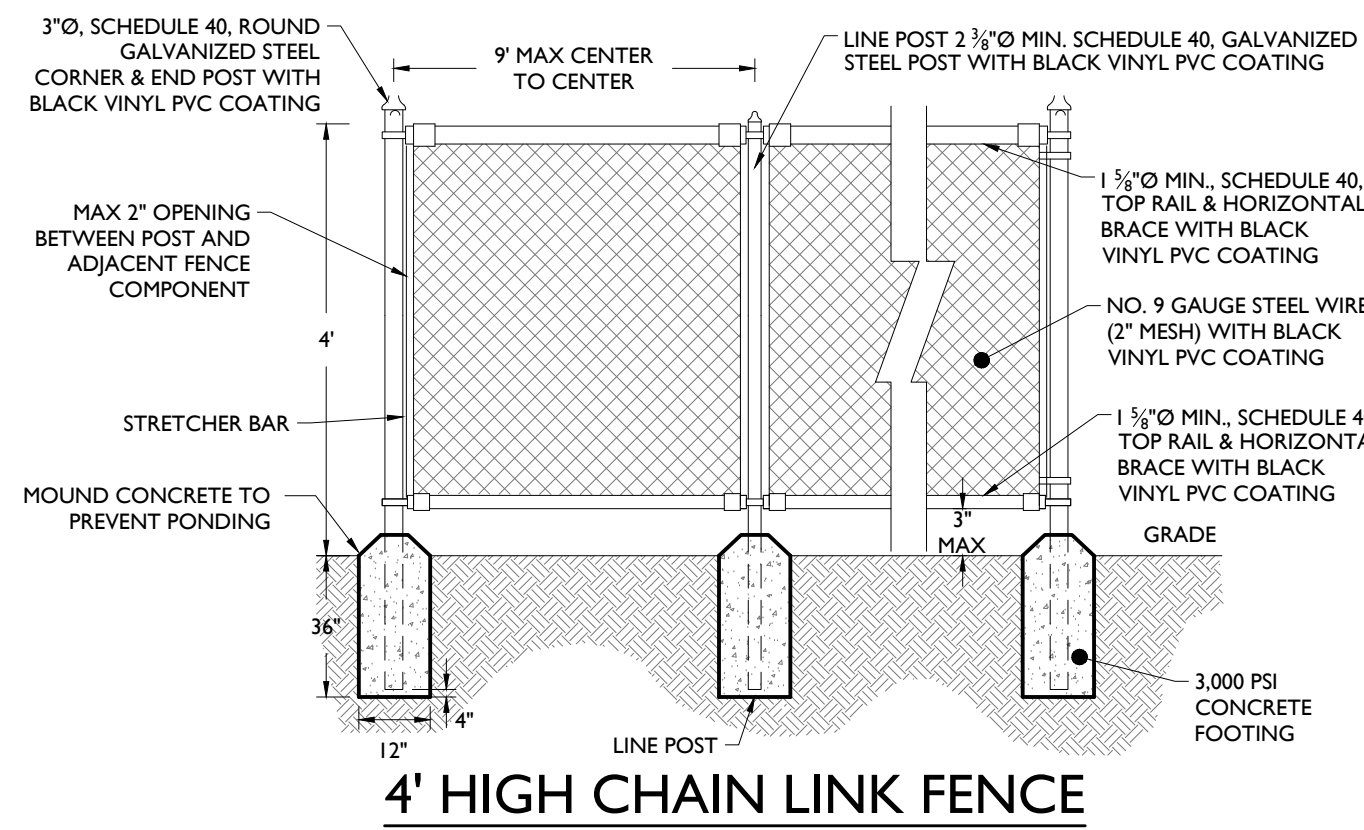
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3



- NOTES:
- MINIMUM SOIL BEARING PRESSURE OF 1500 PSF, SOIL FRICTION ANGLE OF 30 DEGREES, AND SOIL DRY UNIT WEIGHT OF 120 PCF SHALL BE CONFIRMED IN THE FIELD BY A QUALIFIED PROFESSIONAL.
 - CAST-IN-PLACE CONCRETE SHALL BE CONSOLIDATED USING VIBRATOR.
 - ALL REBAR TO BE NEW GRADE 60 STEEL.
 - PRE-CAST PIERS ACCEPTABLE UPON WRITTEN APPROVAL OF SHOP DRAWING BY ENGINEER.
 - CONCRETE TO BE INSTALLED A MINIMUM OF 7 DAYS PRIOR TO INSTALLING LIGHT POLE. POURED CONCRETE MIX REQUIRED TO OBTAIN 80% OF DESIGN STRENGTH PRIOR TO INSTALLING LIGHT POLE.
 - CONCRETE SHALL HAVE A MAXIMUM SLUMP OF 4" (WITHIN 1" TOLERANCE).
 - POLE SHALL BE RATED FOR 10 MPH HIGHER THAN MAXIMUM WIND SPEED 33FT ABOVE GROUND FOR THE AREA BASED ON ANS/AISC 7.9.3.
 - POUR TO BE TERMINATED AT A FORM.
 - WORK SHALL CONFORM TO ACI BEST PRACTICES FOR APPROPRIATE TEMPERATURE AND WEATHER CONDITIONS.
 - CONTRACTOR TO TEMPORARILY SUPPORT ADJACENT SOIL AND STRUCTURES DURING EXCAVATION IF REQUIRED.

4



- NOTES:
- CONTRACTOR TO PROVIDE ALL HARDWARE NECESSARY FOR FENCE CONSTRUCTION AND OPERATION, PER SITE DESIGN. INSTALLATION SHALL COMPLY WITH MANUFACTURER'S REQUIREMENTS.
 - FENCE DETAIL ONLY APPLIES TO FENCE WITHOUT PRIVACY SLATS.
 - FENCE TO BE INSTALLED FOLLOWING SITE GRADING.
 - FENCE TO BE INSTALLED ONE FOOT WITHIN PROPERTY LINE WHERE SHOWN ON PROPERTY LINE ON SITE PLAN.
 - VIBRATE OR TAMP BACKFILL FOR CONSOLIDATION SURROUNDING FENCE POSTS.

5

SITE PLANS

PROPOSED DUNKIN' RESTAURANT WITH DRIVE-THRU



SCALE: AS SHOWN PROJECT ID: K-18035

TITLE:

CONSTRUCTION DETAILS

DRAWING:

C-14

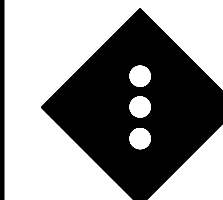
DUNKIN'

304 NYS ROUTE 117,
BLOCK 2, LOT 34.1 & 30
MIDDLE COUNTRY ROAD & NYS ROUTE 112
HAMLET OF CORAM, TOWN OF BROOKHAVEN
SUFFOLK COUNTY, NEW YORK

584 Broadway, Suite 310, New York, NY 10012
Phone 718.606.8305

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STONEFIELD
engineering & design



NOT APPROVED FOR CONSTRUCTION

DATE	BY	DESCRIPTION
05/17/2022	JF	ISSUED FOR SITE PLAN APPROVAL
07/26/2022	JF	UPDATED FOR MUNICIPAL COMMENTS
03/16/2022	FT	UPDATED PER NYSDOT COMMENTS
02/01/2022	BR	UPDATED SITE PLAN LAYOUT
05/24/2021	ARM	UPDATED SITE PLAN LAYOUT
05/05/2021	FT	RESUBMISSION TO THE TOWN
04/01/2021	FT	RESUBMISSION TO THE TOWN
03/02/2021	FT	RESUBMISSION TO THE TOWN
01/22/2021	CMG	RESUBMISSION TO THE TOWN
05/17/2019	ZC	RESUBMISSION TO TOWN

