



February 28, 2025

Ms. Julie Hargrave  
Principal Environmental Planner  
Central Pine Barrens Joint Planning & Policy Commission  
624 Old Riverhead Road  
Westhampton Beach, NY 11978

RE: Request for No-Development Determination  
Hampton Bays Water District | Wellhead Treatment Project for Removal of PFAS

Dear Ms. Hargrave:

Land Use Ecological Services, Inc., on behalf of Hampton Bays Water District, is requesting confirmation that work proposed within the Compatible Growth Area of the Central Pine Barrens does not constitute “development” as per NYS ECL Article §57-0107(13). Hampton Bays Water District is proposing a water treatment facility for treatment of PFAS at Plant No. 3 on Bellows Pond Road. Installation of the treatment facility will require the following activities:

- Clearing and removal of 45 trees within a 0.32-acre area on the east side of the existing maintenance roadway;
- Construction of a new  $\pm 71'$  x  $\pm 49'$  treatment facility building with associated infrastructure;
- Installation of a generator pad, generator with fuel tank, and utility transformer on concrete pad;
- Installation of (55) interconnected leaching galley for management of treatment facility runoff;
- Site grading around the new treatment facility. Grading will utilize existing onsite fill, no import/export of fill is proposed;
- Partial repaving of the existing maintenance roadway (asphalt) and construction of a new concrete walkway, curb, and containment pad in the area of the new treatment facility.

Construction access will be along the existing paved maintenance road, working in from the roadway to minimize disturbance. Silt fence shall be placed around the treatment facility work area for sediment and erosion control. Additional sediment and erosion control practices include inlet protection and stabilized construction entrance.

Approximately 0.32 acres of existing forest habitat will be cleared and 45 trees removed for construction of this water district PFAS treatment facility. Trees to be removed include pitch pine (*Pinus rigida*), white oak (*Quercus alba*), scarlet oak (*Q. coccinea*), red oak (*Q. rubra*), and black oak (*Q. velutina*). The understory to be cleared is moderately dense and is dominated by lowbush blueberry (*Vaccinium angustifolium*), bayberry (*Morella pensylvanica*), and wintergreen (*Gaultheria procumbens*).

Project partners reviewed the site design and potential alternatives to minimize clearing and disturbance, resulting in the proposed design submitted herein. A new facility is required, and areas of existing clearing and disturbance do not provide enough space to site a new treatment facility. Stormwater management alternatives were also considered, including a detention basin or locating drywells in the existing roadway/areas of disturbance. A detention basin was dismissed because its construction would result in an additional 3,700 SF of clearing and removal of 12 additional trees. Drywells in the roadway and/or areas of existing disturbance was dismissed due to the numerous utilities existing in and adjacent to the roadway.

In accordance with ECL § 57-0107 (13), the project as described is classified as one or more of the following, and therefore, does not constitute development:

- (i) *public improvements undertaken for the health, safety, or welfare of the public. Such public improvements shall be consistent with the goals and objectives of this article, and shall include, but not be limited to, maintenance of an existing road or railroad track.*
- (ii) *work by any utility not involving substantial engineering redesign for the purpose of inspection, maintenance or renewal on established utility rights-of-way or the likes, and any work pertaining to water supply for the residents of Suffolk county* [emphasis added];
- (vi) *work by a utility performed for the purpose of public health, safety, or welfare and consistent with the goals and objectives of this article.*

Based on the information provided, I respectfully request that the Commission confirm in writing that the project does not constitute development at the next meeting scheduled for March 19, 2025. In support of this request for a non-development determination, I have enclosed Site Plans for the *Wellhead Treatment for the Removal of PFAS at Plant No. 3*, prepared February 2025 by H2M architects + engineers, depicting existing conditions, demolition and tree removal, site layout, grading and drainage, and erosion and sediment control practices. Also enclosed are an aerial showing the Hampton Bays Water District site and site photographs with photo key for the treatment facility project area.

If you have any questions or require additional information to enable review and confirmation that activities proposed do not constitute development, and therefore do not require a permit from the Central Pine Barrens Commission, please contact me at (631) 727-2400 or [krisotto@landuse.us](mailto:krisotto@landuse.us). Thank you.

Sincerely,



Kelly M. Risotto  
Principal

Enc.  
Via email and via mail

H2M Architects & Engineers, Inc.

538 Broad Hollow Road, 4th Floor East

Melville, NY 11747

631.756.8000 • www.h2m.com

NY Architecture & Landscape Architecture: No Certificate Required

NY Engineering Certificate of Authorization No. 0018178

CONSULTANTS:

MARK DATE DESCRIPTION



**MATTHEW R. MOHLIN, P.E.**  
EXP. DATE 09/30/2028  
NY PROFESSIONAL ENGINEER LIC. NO. 071569  
"IN ACCORDANCE WITH ARTICLE 145, SECTION 7209 OF THE NYS EDUCATION LAW,  
ALTERATION OF THIS DOCUMENT EXCEPT BY LICENSEE PROFESSIONAL IS ILLEGAL."

DESIGNED BY: DRAWN BY: CHECKED BY: REVIEWED BY:  
SM SM MRM MRM  
PROJECT NO.: HBWD2101 DATE: FEBRUARY 2025 SCALE: AS SHOWN

CLIENT: **Hampton Bays Water District**

**Wellhead Treatment for the Removal of PFAS at Plant No. 3**



**Bellows Pond Road**  
Hampton Bays, NY

**CONTRACT G**  
**GENERAL CONSTRUCTION**

**REGULATORY REVIEW**

**SHEET TITLE**

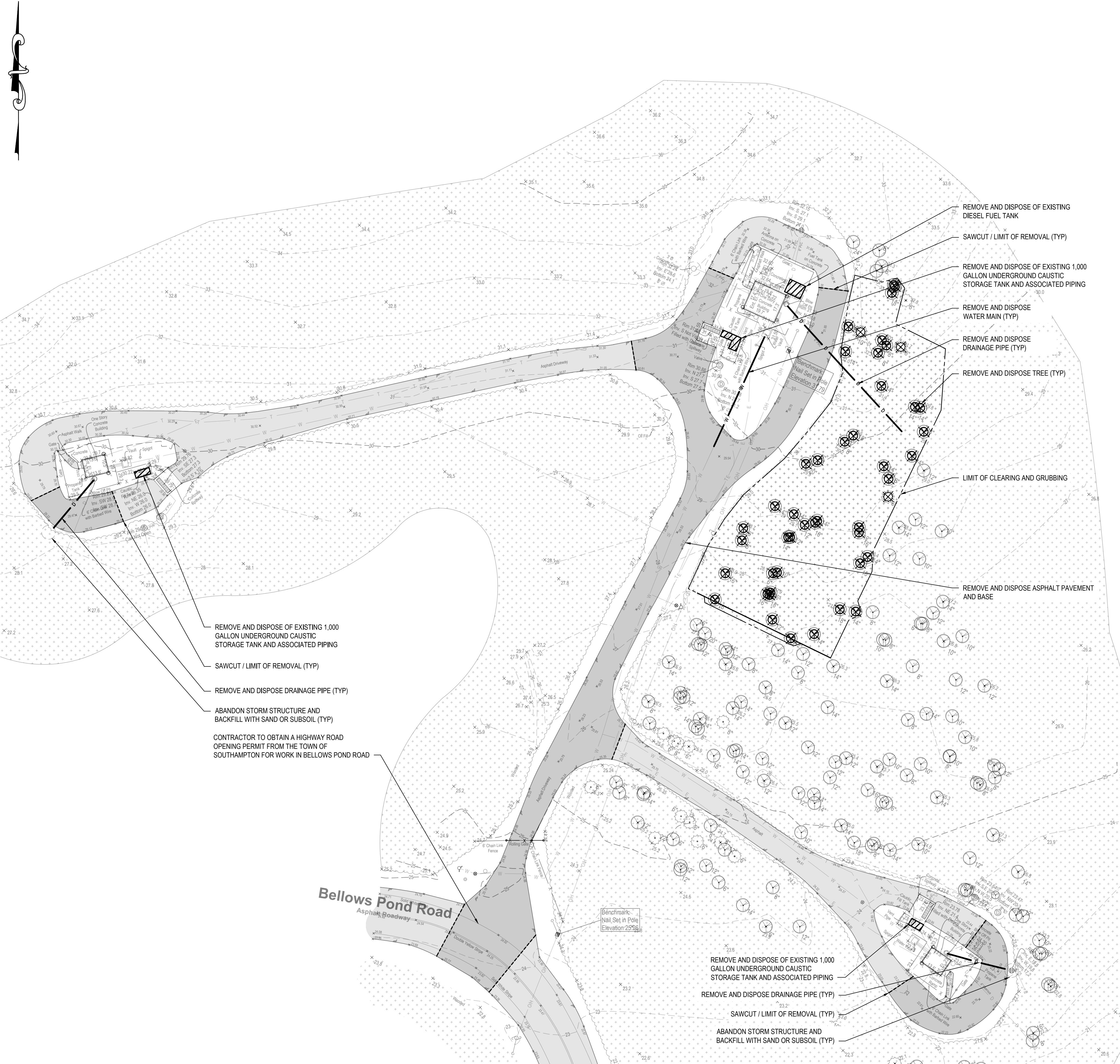
**EXISTING CONDITIONS PLAN**

**DRAWING NO.** **V 100.00** **SHEET NO.** **8** **OF** **77**

**LEGEND**

DESCRIPTION	SYMBOL	DESCRIPTION	SYMBOL
MONUMENT	□	SPRINKLER HEAD	○
DRILL HOLE	●	SIGN	○
BENCHMARK	■	TWO POST SIGN	○
STAKE	△	MANHOLE	○
GPS STATION	▲	BOLLARD	○
IRON PIPE	○	FLAG POLE	○
SURVEY NAIL	○	WETLAND MARKER	○
DRAINAGE MANHOLE	○	EVERGREEN TREE	○
CURB INLET	—	EVERGREEN SHRUB	○
CATCH BASIN	■	DECIDUOUS TREE	○
INLET	■	DECIDUOUS SHRUB	○
INLET	■	CURB	—
WELL	○	DROP CURB	—
HYDRANT	○	STORM DRAIN	—
WATER MANHOLE	○	WATER SERVICE	—
WATER METER	○	WATER MAIN	—
WATER VALVE	○	ROOF LEADER	—
ROOF DRAINLEADER	○	HOUSE CONNECTION	—
TEST BORE/TEST HOLE	○	SANITARY SEWER	—
SANITARY MANHOLE	○	UNDERGROUND GAS	—
CLEAN OUT	—	UNDERGROUND ELECTRIC	—
SANITARY/DRAINAGE FLOW ARROW	—	UNDERGROUND TELEPHONE	—
ELECTRIC MANHOLE	○	OVERHEAD WIRES	—
ELECTRIC RISER	○	FENCE	—
LIGHT	○	EDGE OF PAVEMENT	—
GROUND LIGHT	○	CONTOUR	—
PULL BOX	○	SPOT ELEVATION	100.00 x to 100.50 bc 100.00
TRAFFIC SIGNAL BOX	○	TOP/BOT CURB GRADE	—
PEDESTRIAN SIGNAL POLE	○	HANDICAP PARKING STALL	—
TRAFFIC SIGNAL POLE	○	ASPHALT PAVEMENT	—
UTILITY POLE/GUY POLE	○	CONCRETE PAVEMENT	—
GUY WIRE	○	BRICK/PAVER PAVEMENT	—
TELEPHONE MANHOLE	○	RUBBERIZED SURFACE	—
CABLE/TELEVISION BOX	○	DETECTABLE WARNING PAD	—
GAS METER	○		
GAS VALVE	○		
GAS RISER	○		
MONITORING WELL	○		
IRRIGATION CONTROL BOX	○		





## LEGEND

<u>DESCRIPTION</u>	<u>SYMBOL</u>
REMOVE AND DISPOSE EXISTING TREE	 24"
REMOVE AND DISPOSE EXISTING ASPALT ROADWAY	
CLEAR AND GRUB EXISTING VEGETATION	
REMOVE AND DISPOSE OF EXISTING DRAINAGE LINE	
REMOVE AND DISPOSE OF EXISTING WATER MAIN	
SAWCUT EXISTING ASPHALT	

**H2M Architects & Engineers, Inc.**  
**538 Broad Hollow Road, 4th Floor East**  
**Melville, NY 11747**  
**631.756.8000 • [www.h2m.com](http://www.h2m.com)**  
Architecture & Landscape Architecture: No Certificate Required  
NY Engineering Certificate of Authorization No. 0018178

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## **SITE DEMOLITION NOTES:**

1. REPORT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS TO THE ENGINEER IN WRITING IMMEDIATELY.
2. UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FOR DESIGN PURPOSES ONLY. PROVIDE FOR CONSTRUCTION MARKOUT AND LOCATE EXISTING UNDERGROUND UTILITIES. NO EXCAVATION CAN COMMENCE UNTIL UTILITY DOCUMENTATION HAS BEEN COMPLETED.
3. AFTER MARKOUT AND PRIOR TO DISTURBING THE SITE, UNCOVER ALL SUBSURFACE UTILITIES AND STRUCTURES WITHIN LIMITS OF DISTURBANCE TO CONFIRM THEIR LOCATION AND DEPTH.
4. NO COMPENSATION WILL BE MADE FOR ANY INCONVENIENCE CAUSED BY ENCOUNTERING UTILITIES AND STRUCTURES WHICH ARE NOT SHOWN, OR ARE INACCURATELY SHOWN ON THE PLANS.
5. REPAIR ANY DAMAGE TO EXISTING UTILITIES RESULTING FROM CONTRACTOR OPERATIONS IMMEDIATELY AT NO COST TO OWNER.
6. REPAIR ANY DAMAGE TO EXISTING SITE FEATURES SCHEDULED TO REMAIN RESULTING FROM CONTRACTOR OPERATIONS AT NO COST TO OWNER.
7. SAWCUT CONCRETE PAVEMENT BACK TO NEAREST EXPANSION/CONTROL JOINT.
8. PROVIDE TEMPORARY FENCING TO PROTECT WORK AREAS.
9. INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN PRIOR TO ANY GROUND DISTURBANCE.
10. DELINEATE THE LIMITS OF CLEARING AND REVIEW WITH THE OWNER PRIOR TO COMMENCING WORK.
11. NOTIFY OWNER AND ENGINEER IMMEDIATELY IN WRITING WHEN UNKNOWN STRUCTURES OR SUSPECTED HAZARDOUS OR CONTAMINATED MATERIALS ARE ENCOUNTERED PRIOR TO REMOVAL OR DISTURBANCE.
12. TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AND VEHICULAR TRAFFIC DURING REMOVAL ACTIVITIES, AND PROVIDE TEMPORARY MEASURES FOR THE PROTECTION AND SAFETY OF THE PUBLIC UNTIL FINAL ACCEPTANCE BY THE OWNER.
13. BACKFILL ALL VOIDS RESULTING FROM THE REMOVAL OF EXISTING SITE FEATURES. BACKFILL TO BE SOIL FREE OF ORGANIC MATERIAL, DERRIS, TRASH, CLAY AND STONES LARGER THAN 4 INCHES.

## CENTRAL PINE BARRENS OF LONG ISLAND, NEW YORK NOTES:

PARCEL ACREAGE: 9.80 ACRES  
PARCEL ZONING: R-40 (RESIDENCE 40,000 SQ. FT.)  
CURRENT CLEARING LIMIT: 1.13 ACRES (11.5% CLEARED)  
PROPOSED ADDITIONAL CLEARING: 0.34 ACRES  
PROPOSED TOTAL CLEARING: 1.47 ACRES (15.0% CLEARED)  
ALLOWABLE CLEARING LIMIT: 53%

Zoning lot size (see Notes at end of table)(*)	Maximum overall development project site clearance (**)	Minimum open space requirement (***)
10,000 square feet residential (1/4 acre)	90 %	10 %
15,000 square feet residential (1/3 acre)	70 %	30 %
20,000 square feet residential (1/2 acre)	60 %	40 %
30,000 square feet residential (2/3 acre)	58 %	42 %
40,000 square feet residential (1 acre)	53 %	47 %
60,000 square feet residential (1.5 acre)	46 %	54 %
80,000 square feet residential (2 acres)	35 %	65 %
120,000 square feet residential (3 acres)	30 %	70 %
160,000 through 200,000+ square feet residential (4 - 5+ acres)	25 %	75%
The total amount of disturbance of natural vegetation shall not exceed the clearance percentage, except on flagpole lots where the area of the pole shall be exempt from the total lot area and the total amount of clearing permitted.		
Other defined residential zoning lot size	Interpolate from entries above.	Interpolate from entries above.
All other zoning categories, including those categories without defined zoning lot sizes and parcels owned by the State or a	60 %	40 %

public corporation		
<b>Notes:</b>		
b) These entries are the minimum lot sizes required by zoning as of June 28, 1995 or the date the parcel is added to the Central Pine Barrens if later or the current zoning, whichever is more protective of the environment by minimizing clearing and maximizing open space, not the size of the subject parcels.		

<sup>\*)</sup> In calculating the percentage of land cleared and the percentage of open space to be retained, the preserved areas in a development should preferably be existing native vegetation. These are maximum clearance and minimum open space standards, and more restrictive standards may be imposed during the review by the Commission, involved agency, or local municipality due to consideration of other standards, especially those addressing preservation of rare or endangered species, unique flora or vegetation.



**MATTHEW R. MOHLIN, P.E.**  
NY PROFESSIONAL ENGINEER Lic. No. 071569  
"IN ACCORDANCE WITH ARTICLE 145, SECTION 7209 OF THE NYS EDUCATION LAW,  
ALTERATION OF THIS DOCUMENT EXCEPT BY LICENSEE PROFESSIONAL IS ILLEGAL"  
09/30/2024  
EXP. DAT

# Hampton Bays Water District

## Wellhead Treatment for the Removal of PFAS at Plant No. 3



## **Bellows Pond Road Hampton Bays, NY**

# CONTRACT G

## GENERAL CONSTRUCTION

## REGULATORY REVIEW

5

## DEMOLITION SITE PLAN

No. **D 100.00**

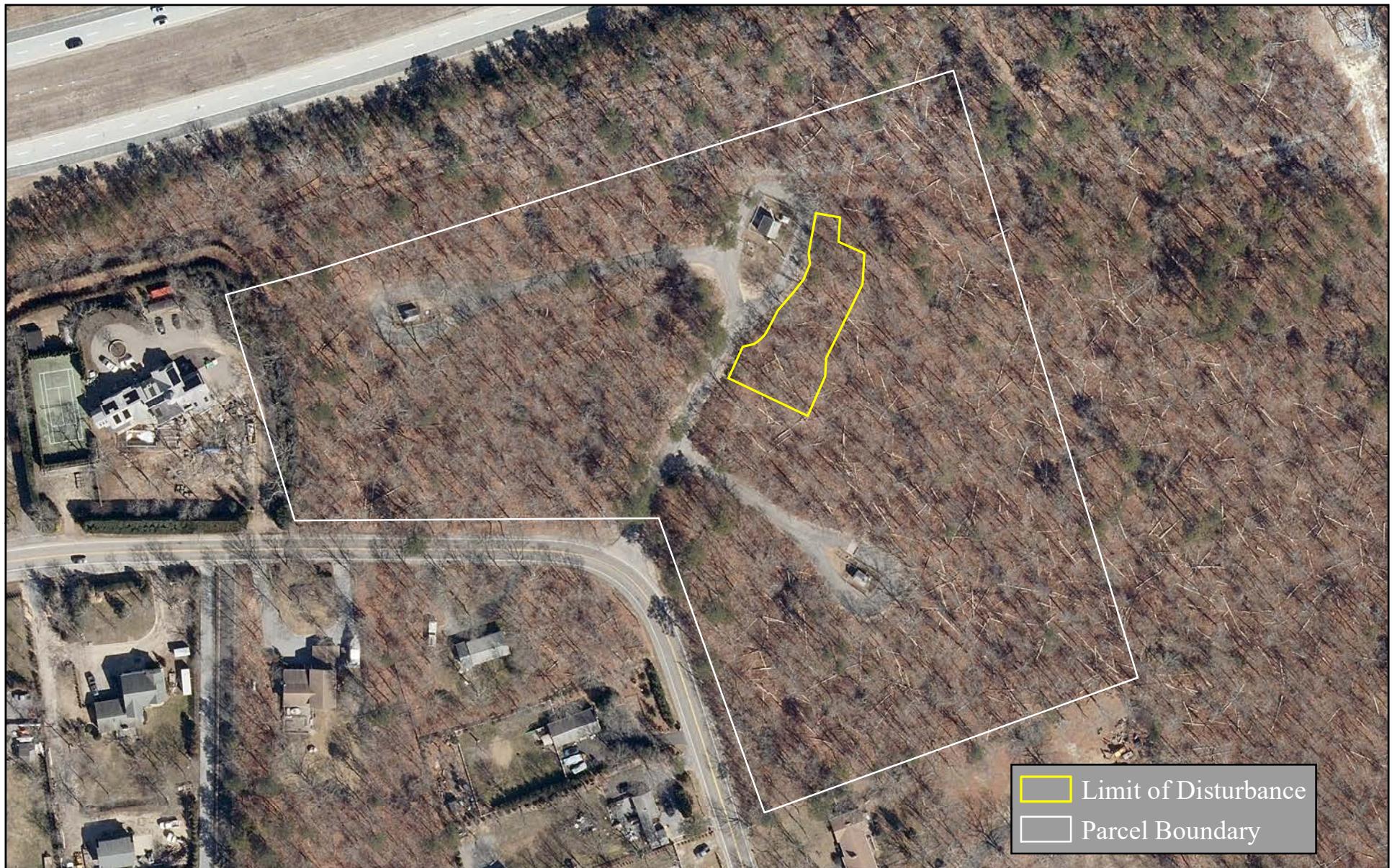




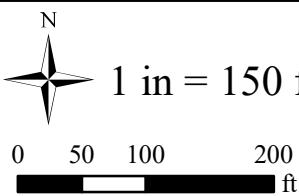








  Limit of Disturbance  
  Parcel Boundary



Prepared By: Land Use Ecological Services, Inc.  
570 Expressway Drive South  
Suite 204  
Medford, NY 11763

Project: PROP. WATER TREATMENT FACILITY  
For: Hampton Bays Water District  
At: Bellows Pond Road, Hampton Bays  
SCTM # 900 - 221 - 3 - 1.4

Date: 2/25/2025

Revised:

Scale: As Noted Sheet: S-1



1 in = 40 ft 0 10 20 40 ft	<b>Land Use</b> Ecological Services, Inc.	Prepared By: Land Use Ecological Services, Inc. 570 Expressway Drive South Suite 204 Medford, NY 11763	Project: PROP. WATER TREATMENT FACILITY For: Hampton Bays Water District At: Bellows Pond Road, Hampton Bays SCTM # 900 - 221 - 3 - 1.4
		Date: 2/25/2025   Revised:	Scale: As Noted   Sheet: P-1

Hampton Bays Water District  
Bellows Pond Road, Hampton Bays | SCTM #900-221-3-1.4



1



2



3

Site photos  
taken  
2/20/2025 by  
Land Use  
Ecological  
Services, Inc.



4

Hampton Bays Water District  
Bellows Pond Road, Hampton Bays | SCTM #900-221-3-1.4



Site photos  
taken  
2/20/2025 by  
Land Use  
Ecological  
Services, Inc.



Hampton Bays Water District  
Bellows Pond Road, Hampton Bays | SCTM #900-221-3-1.4



9



10



11

Site photos  
taken  
2/20/2025 by  
Land Use  
Ecological  
Services, Inc.



12

Hampton Bays Water District  
Bellows Pond Road, Hampton Bays | SCTM #900-221-3-1.4



Site photos  
taken  
2/20/2025 by  
Land Use  
Ecological  
Services, Inc.





March 19, 2025

**Kelly Risotto  
Principal  
Land Use Ecological Services Inc.  
570 Expressway Drive South, Suite 2f  
Medford, NY 11763**

**RE Determination of Jurisdiction for the Hampton Bays Water District  
SCTM # 900-221-3-1.4, Bellows Pond Road, Hampton Bays  
Compatible Growth Area of the Central Pine Barrens**

Dear Mr. Risotto:

Timothy C. Hubbard  
*Member*

Maria Z. Moore  
*Member*

Daniel J. Panico  
*Member*

Edward P. Romaine  
*Member*

On February 28, 2025, the Central Pine Barrens Commission office received your letter on the subject property. The property is in the Compatible Growth Area of the Central Pine Barrens.

The 9.8 acre site is located on the east side of Bellows Pond Road, south of Sunrise Highway in Hampton Bays, in Southampton Town. The site is presently developed with a public water supply well field.

H2M prepared the Site Plan dated February 2025. An area of approximately 0.32 acres will be cleared of trees and other pine barrens vegetation to construct treatment facilities for the removal of PFAS contamination. Construction includes a new 71 foot x 49 foot treatment facility (3,479 square feet), generator and installation of a fuel tank and concrete pad, 55 leaching pools for runoff, grading and paving.

The proposed activity constitutes “non-development” pursuant to the definitions in New York State Environmental Conservation Law Article 57 Section 57-0107.13(ii) which includes “work pertaining to water supply for the residents of Suffolk County.”

Therefore, no permit from the Commission is required. The preservation of large trees including pitch pines and pine barrens habitat is strongly encouraged.

The project must conform to all other involved agency jurisdictions and permit requirements in effect on the project site. If you have any questions, please do not hesitate to contact me at (631) 218-1192.

Sincerely,

Sincerely,  
Julie Harvey

Julie Hargrave  
Pine Barrens Manager

cc: Judith Jakobsen Executive Director  
John C. Milazzo, Counsel to the Commission