



February 28, 2025

Ms. Julie Hargrave
Principal Environmental Planner
Central Pine Barrens Joint Planning & Policy Commission
624 Old Riverhead Road
Westhampton Beach, NY 11978

RE: Request for No-Development Determination
Hampton Bays Water District | Wellhead Treatment Project for Removal of PFAS

Dear Ms. Hargrave:

Land Use Ecological Services, Inc., on behalf of Hampton Bays Water District, is requesting confirmation that work proposed within the Compatible Growth Area of the Central Pine Barrens does not constitute "development" as per NYS ECL Article §57-0107(13). Hampton Bays Water District is proposing a water treatment facility for treatment of PFAS at Plant No. 3 on Bellows Pond Road. Installation of the treatment facility will require the following activities:

- Clearing and removal of 45 trees within a 0.32-acre area on the east side of the existing maintenance roadway;
- Construction of a new $\pm 71' \times \pm 49'$ treatment facility building with associated infrastructure;
- Installation of a generator pad, generator with fuel tank, and utility transformer on concrete pad;
- Installation of (55) interconnected leaching galleys for management of treatment facility runoff;
- Site grading around the new treatment facility. Grading will utilize existing onsite fill, no import/export of fill is proposed;
- Partial repaving of the existing maintenance roadway (asphalt) and construction of a new concrete walkway, curb, and containment pad in the area of the new treatment facility.

Construction access will be along the existing paved maintenance road, working in from the roadway to minimize disturbance. Silt fence shall be placed around the treatment facility work area for sediment and erosion control. Additional sediment and erosion control practices include inlet protection and stabilized construction entrance.

Approximately 0.32 acres of existing forest habitat will be cleared and 45 trees removed for construction of this water district PFAS treatment facility. Trees to be removed include pitch pine (*Pinus rigida*), white oak (*Quercus alba*), scarlet oak (*Q. coccinea*), red oak (*Q. rubra*), and black oak (*Q. velutina*). The understory to be cleared is moderately dense and is dominated by lowbush blueberry (*Vaccinium angustifolium*), bayberry (*Morella pensylvanica*), and wintergreen (*Gaultheria procumbens*).

Project partners reviewed the site design and potential alternatives to minimize clearing and disturbance, resulting in the proposed design submitted herein. A new facility is required, and areas of existing clearing and disturbance do not provide enough space to site a new treatment facility. Stormwater management alternatives were also considered, including a detention basin or locating drywells in the existing roadway/areas of disturbance. A detention basin was dismissed because its construction would result in an additional 3,700 SF of clearing and removal of 12 additional trees. Drywells in the roadway and/or areas of existing disturbance was dismissed due to the numerous utilities existing in and adjacent to the roadway.

In accordance with ECL § 57-0107 (13), the project as described is classified as one or more of the following, and therefore, does not constitute development:

- (i) *public improvements undertaken for the health, safety, or welfare of the public. Such public improvements shall be consistent with the goals and objectives of this article, and shall include, but not be limited to, maintenance of an existing road or railroad track.*
- (ii) *work by any utility not involving substantial engineering redesign for the purpose of inspection, maintenance or renewal on established utility rights-of-way or the likes, **and any work pertaining to water supply for the residents of Suffolk county** [emphasis added];*
- (vi) *work by a utility performed for the purpose of public health, safety, or welfare and consistent with the goals and objectives of this article.*

Based on the information provided, I respectfully request that the Commission confirm in writing that the project does not constitute development at the next meeting scheduled for March 19, 2025. In support of this request for a non-development determination, I have enclosed Site Plans for the *Wellhead Treatment for the Removal of PFAS at Plant No. 3*, prepared February 2025 by H2M architects + engineers, depicting existing conditions, demolition and tree removal, site layout, grading and drainage, and erosion and sediment control practices. Also enclosed are an aerial showing the Hampton Bays Water District site and site photographs with photo key for the treatment facility project area.

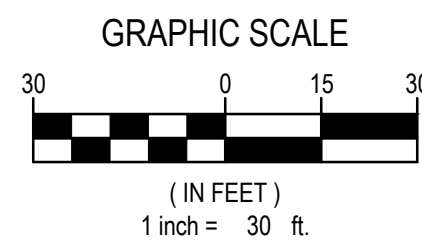
If you have any questions or require additional information to enable review and confirmation that activities proposed do not constitute development, and therefore do not require a permit from the Central Pine Barrens Commission, please contact me at (631) 727-2400 or krisotto@landuse.us. Thank you.

Sincerely,



Kelly M. Risotto
Principal

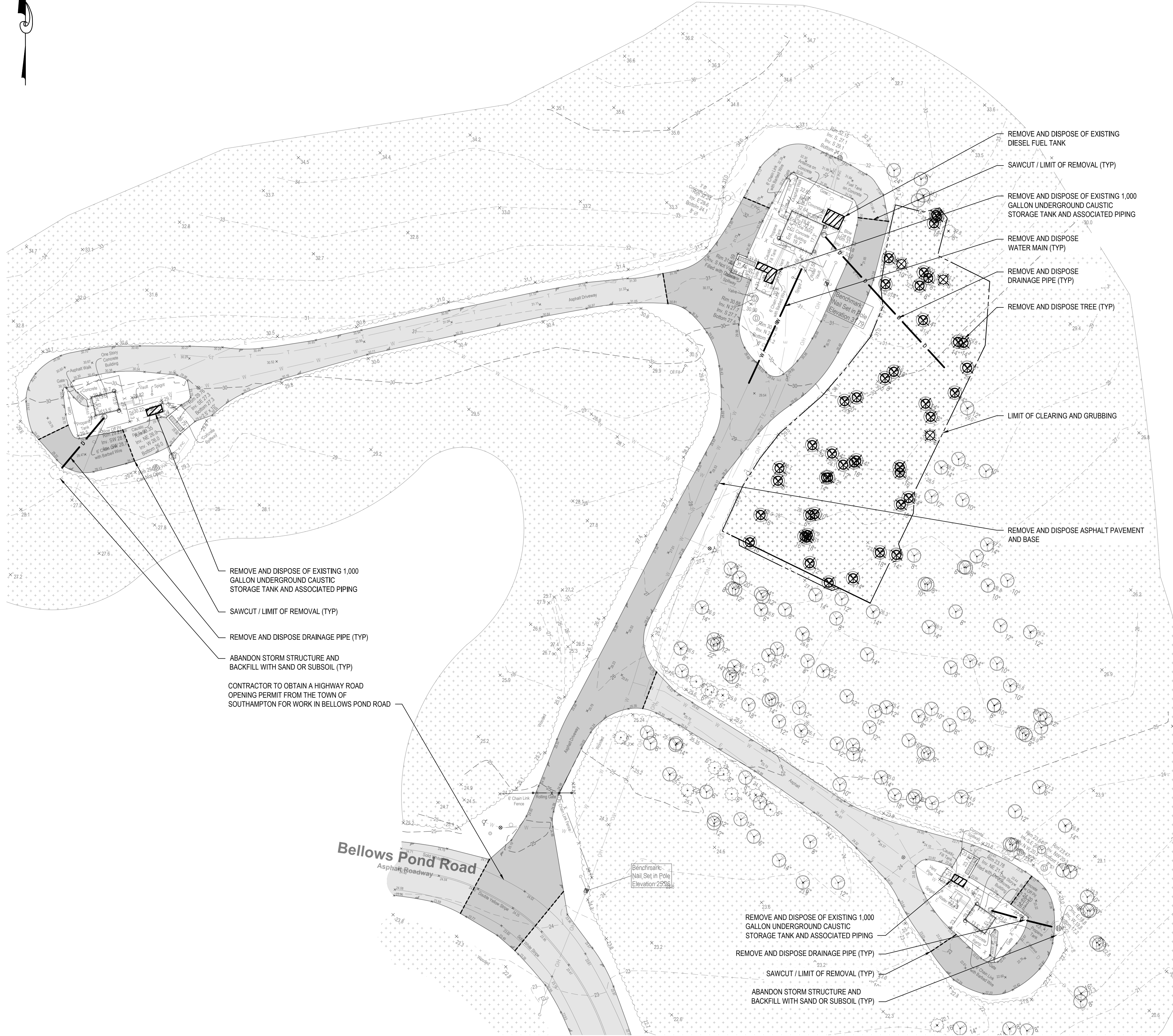
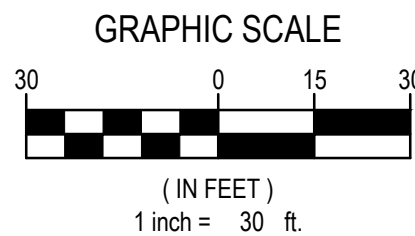
Enc.
Via email and via mail



EXISTING CONDITIONS NOTES:

1. EXISTING SURVEY PREPARED BY H2M ARCHITECTS + ENGINEERS. DATED 08/22/2024.
2. MARKOUT OF UNDERGROUND UTILITIES COMPLETED BY XRAY LOCATING SERVICE, INC ON 08/20/2024.
3. BENCHMARK ELEVATIONS REFER TO N.A.V.D. 1988.
4. LOCATION OF UNDERGROUND UTILITIES AND STRUCTURES BOTH PUBLIC AND CUSTOMER OWNED, WERE OBTAINED FROM EITHER OLD MAPS, SURVEYS, DRAWINGS/RECORDS SUPPLIED BY OTHERS AND/OR UTILITY MARKOUT. THE OWNER AND ENGINEER DO NOT GUARANTEE OR ACCEPT RESPONSIBILITY FOR ANY DAMAGE TO SUCH FACILITIES DUE TO DISCREPANCIES IN LOCATION AND SIZE SHOWN ON THE PLANS OR THOSE UTILITIES AND STRUCTURES NOT SHOWN.

EOI
END OF INFORMATION PERTAINS TO THE LOSS OF SIGNAL THAT HAS BEEN APPLIED TO AN UNDERGROUND UTILITY AND THEN DETECTED TO ELECTRONICALLY LOCATE THE UTILITY. COMMONLY FOUND WHERE UTILITIES CHANGE TO NON-CONDUCTIVE MATERIALS, ARE CUT OR AT END OF UTILITY.



LEGEND

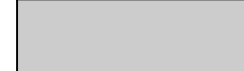
DESCRIPTION

SYMBOL

REMOVE AND DISPOSE
EXISTING TREE



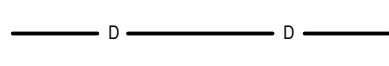
REMOVE AND DISPOSE
EXISTING ASPALT ROADWAY



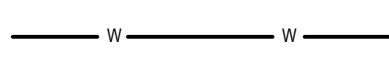
CLEAR AND GRUB EXISTING
VEGETATION



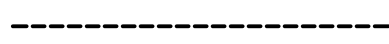
REMOVE AND DISPOSE OF
EXISTING DRAINAGE LINE



REMOVE AND DISPOSE OF
EXISTING WATER MAIN



SAWCUT EXISTING ASPHALT



SITE DEMOLITION NOTES:

- REPORT ANY DISCREPANCIES BETWEEN ACTUAL FIELD CONDITIONS AND THE PLANS TO THE ENGINEER IN WRITING IMMEDIATELY.
- UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS WAS OBTAINED FOR DESIGN PURPOSES ONLY. PROVIDE FOR CONSTRUCTION MARKOUT AND LOCATE EXISTING UNDERGROUND UTILITIES. NO EXCAVATION CAN COMMENCE UNTIL UTILITY DOCUMENTATION HAS BEEN COMPLETED.
- AFTER MARKOUT AND PRIOR TO DISTURBING THE SITE, UNCOVER ALL SUBSURFACE UTILITIES AND STRUCTURES WITHIN LIMITS OF DISTURBANCE TO CONFIRM THEIR LOCATION AND DEPTH.
- NO COMPENSATION WILL BE MADE FOR ANY INCONVENIENCE CAUSED BY ENCOUNTERING UTILITIES AND STRUCTURES WHICH ARE NOT SHOWN, OR ARE INACCURATELY SHOWN ON THE PLANS.
- REPAIR ANY DAMAGE TO EXISTING UTILITIES RESULTING FROM CONTRACTOR OPERATIONS IMMEDIATELY AT NO COST TO OWNER.
- REPAIR ANY DAMAGE TO EXISTING SITE FEATURES SCHEDULED TO REMAIN RESULTING FROM CONTRACTOR OPERATIONS AT NO COST TO OWNER.
- SAWCUT CONCRETE PAVEMENT BACK TO NEAREST EXPANSION/CONTROL JOINT.
- PROVIDE TEMPORARY FENCING TO PROTECT WORK AREAS.
- INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE EROSION AND SEDIMENT CONTROL PLAN PRIOR TO ANY GROUND DISTURBANCE.
- DELINEATE THE LIMITS OF CLEARING AND REVIEW WITH THE OWNER PRIOR TO COMMENCING WORK.
- NOTIFY OWNER AND ENGINEER IMMEDIATELY IN WRITING WHEN UNKNOWN STRUCTURES OR SUSPECTED HAZARDOUS OR CONTAMINATED MATERIALS ARE ENCOUNTERED PRIOR TO REMOVAL OR DISTURBANCE.
- TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AND VEHICULAR TRAFFIC DURING REMOVAL ACTIVITIES, AND PROVIDE TEMPORARY MEASURES FOR THE PROTECTION AND SAFETY OF THE PUBLIC UNTIL FINAL ACCEPTANCE BY THE OWNER.
- BACKFILL ALL VOIDS RESULTING FROM THE REMOVAL OF EXISTING SITE FEATURES. BACKFILL TO BE SOIL, FREE OF ORGANIC MATERIAL, DEBRIS, TRASH, CLAY AND STONES LARGER THAN 4 INCHES.

CENTRAL PINE BARRENS OF LONG ISLAND, NEW YORK NOTES:

PARCEL ACREAGE: 9.80 ACRES
PARCEL ZONING: R-40 (RESIDENCE 40,000 SQ. FT.)
CURRENT CLEARING LIMIT: 1.13 ACRES (11.5% CLEARED)
PROPOSED ADDITIONAL CLEARING: 0.34 ACRES
PROPOSED TOTAL CLEARING: 1.47 ACRES (15.0% CLEARED)
ALLOWABLE CLEARING LIMIT: 53%
TREES TO BE REMOVED: 47 TREES

Figure 5-1: Clearance and Open Space Standards

This table shows total overall development project site clearance and requirement for open space including lots, roads, drainage and other improvements.

Zoning lot size (see Notes at end of table)(*)	Maximum overall development project site clearance (**)	Minimum open space requirement (**)
10,000 square feet residential (1/4 acre)	90 %	10 %
15,000 square feet residential (1/3 acre)	70 %	30 %
30,000 square feet residential (1/2 acre)	60 %	40 %
40,000 square feet residential (2/3 acre)	58 %	42 %
40,000 square feet residential (1 acre)	53 %	47 %
60,000 square feet residential (1.5 acre)	46 %	54 %
80,000 square feet residential (2 acres)	35 %	65 %
120,000 square feet residential (3 acres)	30 %	70 %
160,000 through 200,000+ square feet residential (4 - 5+ acres)	25 %	75 %
The total amount of disturbance of natural vegetation shall not exceed the clearance percentage, except on flagpole lots where the area of the pole shall be exempt from the total lot area and the total amount of clearing permitted.		
Other defined residential zoning lot size	Interpolate from entries above.	Interpolate from entries above.
All other zoning categories, including those categories without defined zoning lot sizes and parcels owned by the State or a public corporation	60 %	40 %

Notes:
(*) These entries are the minimum lot sizes required by zoning as of June 28, 1995 or the date the parcel is added to the Central Pine Barrens if later or the current zoning, whichever is more protective of the environment by minimizing clearing or maximizing open space, not the size of the subject parcels.

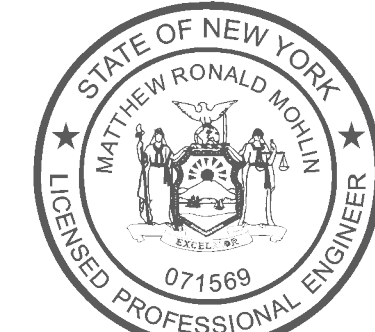
(**) In calculating the percentage of land cleared and the percentage of open space to be retained, the preserved areas in a development should preferably be existing native vegetation. These are maximum clearance and minimum open space standards, and more restrictive standards may be imposed during the review by the Commission, involved agency, or local municipality due to consideration of other standards, especially those addressing preservation of rare or endangered species, or unique flora or vegetation.

H2M Architects & Engineers, Inc.

538 Broad Hollow Road, 4th Floor East
Melville, NY 11747
631.756.8000 • www.h2m.com
NY Architecture & Landscape Architecture: No Certificate Required
NY Engineering Certificate of Authorization No. 0018178

CONSULTANTS:

MARK	DATE	DESCRIPTION



MATTHEW R. MOHLIN, P.E.

NY PROFESSIONAL ENGINEER Lic. No. 071569

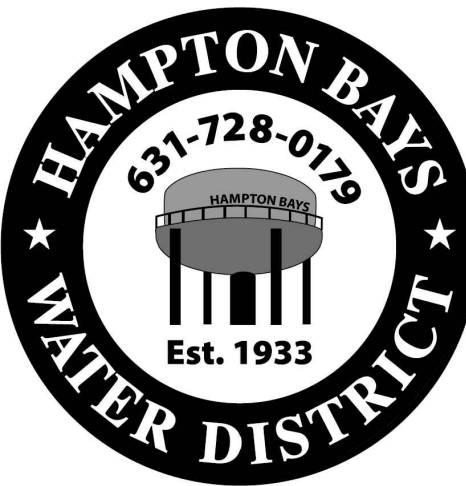
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DESIGNED BY:	DRAWN BY:	CHECKED BY:	REVIEWED BY:
SM	SM	MFR	MFR
PROJECT No.:	DATE:	SCALE:	AS SHOWN
HBWD2101	FEBRUARY 2025		

CLIENT:

Hampton Bays Water District

Wellhead Treatment for the
Removal of PFAS at Plant No. 3



Bellows Pond Road
Hampton Bays, NY

CONTRACT

CONTRACT G
GENERAL CONSTRUCTION

STATUS

REGULATORY REVIEW

SHEET TITLE

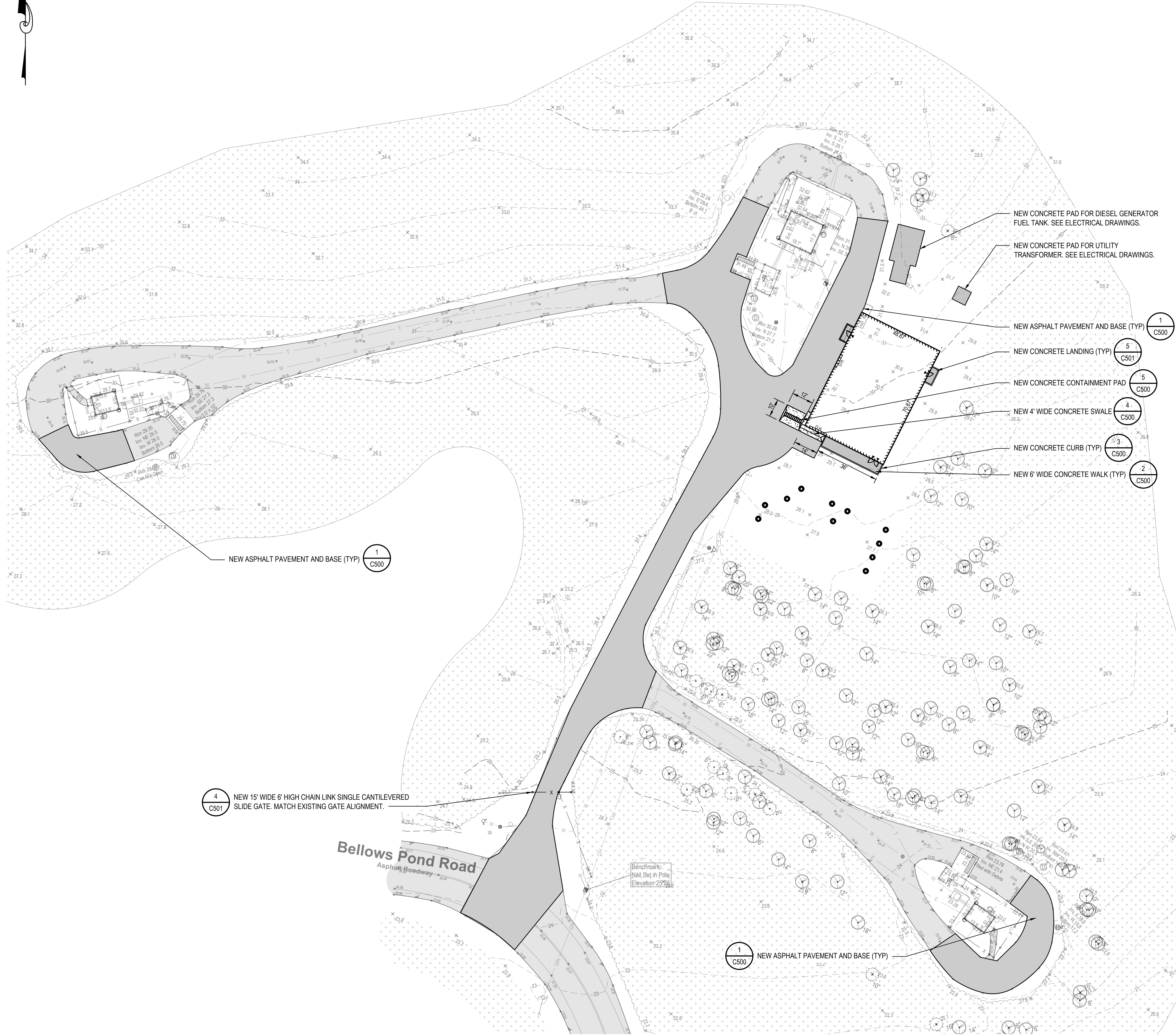
DEMOLITION SITE PLAN

DRAWING No.

CD 100.00

SHEET No.

9
OF **77**



LEGEND

DESCRIPTION

SYMBOL

CURB

ASPHALT PAVEMENT

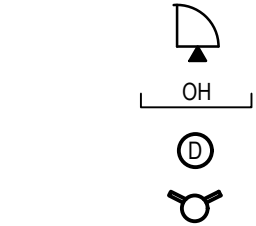
CONCRETE PAVEMENT
SIDEWALK

DOOR

OVERHEAD DOOR

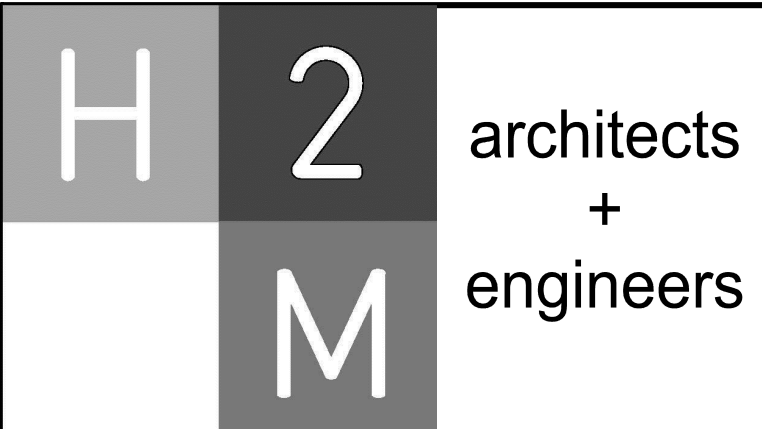
CASTING

HYDRANT



SITE PLAN NOTES:

1. INSPECT THE SITE PRIOR TO SUBMISSION OF BIDS AND MAKE NO ADDITIONAL CLAIMS REGARDING SITE CONDITIONS THEREAFTER.
2. NOTIFY THE OWNER AND H2M (TELEPHONE 631-756-8000) AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF THE WORK. THE SAME NOTICE SHALL BE REQUIRED WHEN RESUMING WORK AFTER ANY STOPPAGE OR DELAY.
3. COMPLETE ALL SURVEY AND STAKEOUT AS REQUIRED TO PROPERLY COMPLETE THE WORK.
4. PERFORM DAILY CLEANUP OPERATIONS INCLUDING REMOVAL OF DEBRIS AND EXCESS CONSTRUCTION MATERIAL, AND DRIVEWAY/STREET CLEANING TO THE SATISFACTION OF THE OWNER.
5. DURING ALL NON-WORKING HOURS, STORE ALL EQUIPMENT AND MATERIALS WITHIN AN AREA DESIGNATED BY THE OWNER AT THE PROJECT SITE.
6. ALL CURB DIMENSIONS SHOWN REFER TO THE FACE OF CURB.
7. ALL CONSTRUCTION TO CONFORM WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODE REQUIREMENTS.
8. COORDINATE CONSTRUCTION ACTIVITIES WITH OWNER TO MINIMIZE INTERRUPTION TO THE OWNER'S OPERATIONS.
9. RESTORE SURROUNDING AREAS DAMAGED OR DISTURBED DURING CONSTRUCTION. RESTORE TO NEW CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
10. RESTORE ALL DISTURBED GRASS AREAS AND ALL AREAS NOT SPECIFICALLY IDENTIFIED FOR OTHER IMPROVEMENTS WITH 4 INCHES OF TOPSOIL AND SEED.
11. REMOVE ALL ASPHALT FROM EXISTING CASTINGS.
12. SEAL ALL JOINTS BETWEEN NEW ASPHALT AND EXISTING ASPHALT WITH HOT ASPHALT CEMENT.



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MATTHEW R. MOHLIN, P.E.
NY PROFESSIONAL ENGINEER Lic. No. 071569
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SM	SM	MRM	MRM
PROJECT No.: HBWD2101	DATE: FEBRUARY 2025	SCALE: AS SHOWN	EXP. DATE: 09/30/2025

CLIENT

Hampton Bays Water District

Wellhead Treatment for the
Removal of PFAS at Plant No. 3

Bellows Pond Road
Hampton Bays, NY

CONTRACT

CONTRACT G
GENERAL CONSTRUCTION

STATUS

REGULATORY REVIEW

SHEET TITLE

DIMENSIONAL SITE PLAN

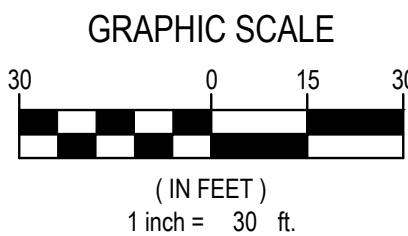
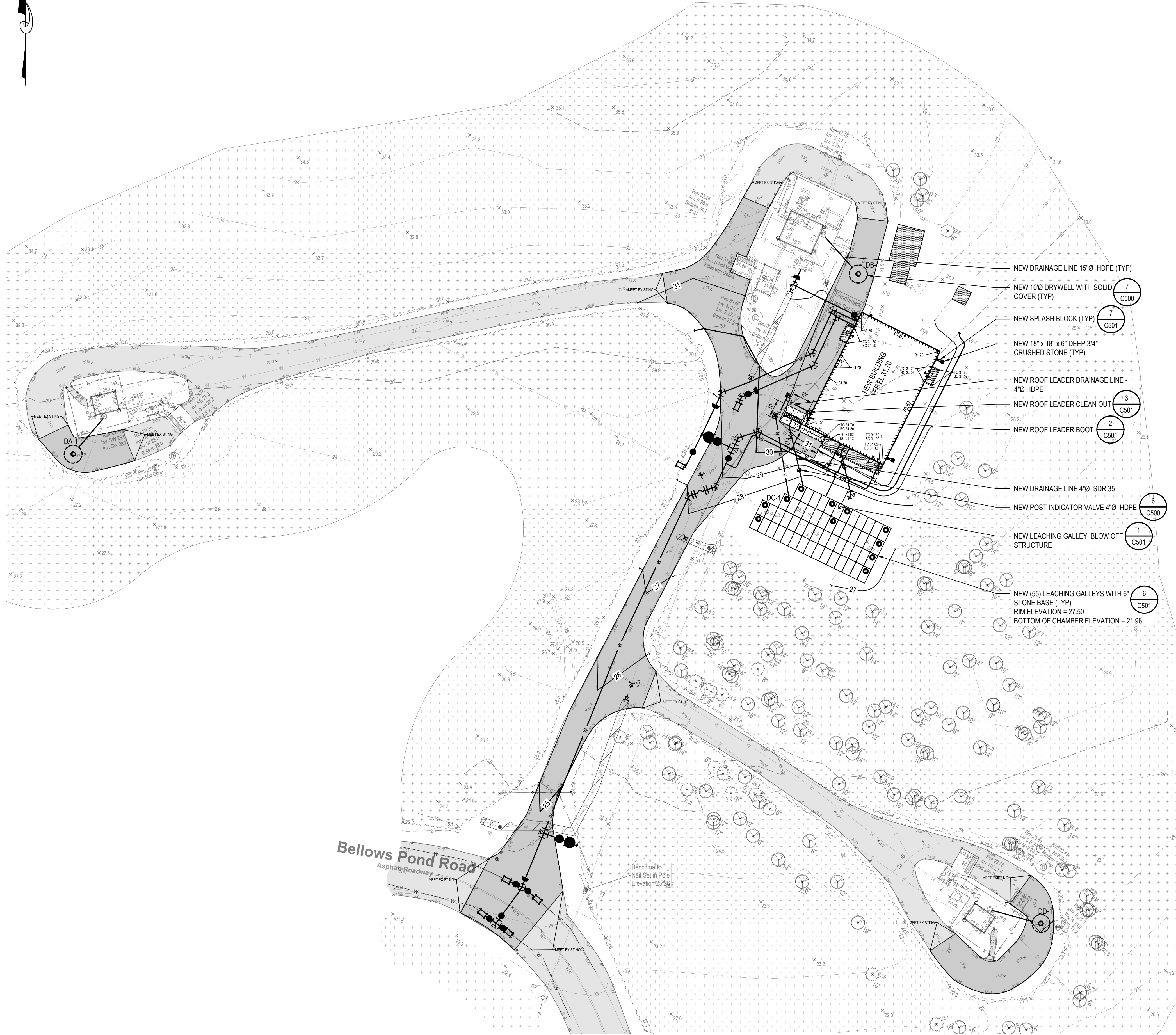
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SHEET No.

10

OF **77**



LEGEND

DESCRIPTION	SYMBOL
SPOT ELEVATION	+121.50
TOP AND BOTTOM CURB ELEVATION	TC140.00 BC139.50
MAJOR CONTOUR	240
MINOR CONTOUR	241
BLOW-OFF PIT	[Symbol]
ROOF LEADER	[Symbol]
DRYWELL W/ SOLID COVER	[Symbol]
HYDRANT	[Symbol]
UTILITY METER/VALVE	[Symbol]
CLEAN OUT	[Symbol]
FLOW ARROW	[Symbol]
BLOWOFF LINE	BO
DRAINAGE LINE	D
ROOF LEADER LINE	R
WATER LINE	W

GRADING AND DRAINAGE NOTES:

- FOR NEW CONSTRUCTION THAT MEETS EXISTING CONDITIONS, ABUTTING SURFACES SHALL BE FLUSH AND ALIGNED.
- THE CONTRACTOR SHALL CONFIRM INVERT ELEVATIONS OF ALL ROOF DRAINS PRIOR TO COMMENCING SITE DRAINAGE CONSTRUCTION.
- ADJUST ALL EXISTING CASTINGS AND VALVE COVERS TO MEET PROPOSED GRADE.
- CONSTRUCTION DEBRIS AND EXCESS SOIL SHALL BE REMOVED AND LEGALLY DISPOSED OFF SITE.
- UNSATURABLE SOILS ENCOUNTERED DURING CONSTRUCTION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IMMEDIATELY IN WRITING BEFORE REMOVAL OR DISTURBANCE.

PIPE MATERIAL SPECIFICATIONS:

- LEACHING GALLEY TO DRY WELL CONNECTION: 15'Ø SMOOTH INTERIOR HDPE
- ROOF LEADER TO LEACHING GALLEY CONNECTION: 4'Ø SMOOTH INTERIOR HDPE

DRAINAGE CALCULATIONS:

GAC BACKWASH RAN ONCE A YEAR
VOLUME REQUIRED = (1,750 GPM x 30 MIN) = 52,500 GALLONS

ANALYZERS RUN 24 HOURS PER DAY
VOLUME REQUIRED = (2 GPM x 60 MIN/HR x 24 HOURS/DAY) = 2,880 GPD

DRAINAGE SYSTEM "C":

GAC BACKWASH: 52,500 GAL / 7.48 GAL/CF = 7,019 CF

ANALYZERS: 2,880 GPD / 10 GPD/SF = 288 SF
(55) x 4'-1" x 7'-10" = 1,758.34 SF > 288SF

VOLUME PROVIDED:
USE FIFTY FIVE (55) LEACHING GALLEYS
55 x (4'-1" x 7'-10" x 4'-0") = 7,033.38 CF > 7,019 CF

DRYWELL SYSTEMS A, B, AND D ARE IN KIND. NO CALCULATIONS PERFORMED.

DRAINAGE STRUCTURE SCHEDULE						NOTE: ALL NEW DRYWELLS 10'-0" DIAMETER			
STRUCT. NUMBER	STRUCTURE TYPE	RIM ELEVATION	TOP OF RING ELEVATION	BOTTOM ELEVATION	EFFECTIVE DEPTH	INVERT			
						Direction	Invert (ft)	Size (in)	Material
Drainage Area A									
DA-1	DRY WELL WITH SOLID COVER	29.40	24.73	20.73	3.46	SW	24.19	6	HDPE
Drainage Area B									
DB-1	DRY WELL WITH SOLID COVER	31.40	26.73	22.73	3.46	NW	26.19	6	HDPE
Drainage Area C									
DC-1	(55) LEACHING GALLEYS	27.50	26.50	21.96	4.00	NE	29.50	15	HDPE
Drainage Area D									
DD-1	DRY WELL WITH SOLID COVER	23.10	18.43	14.43	3.46	W	17.89	6	HDPE

CONSULTANTS:		

MARK	DATE	DESCRIPTION

STATE OF NEW YORK
MATTHEW R. MOHLIN
LICENSED PROFESSIONAL ENGINEER
071569
09/30/2025
EXP. DATE

MATTHEW R. MOHLIN, P.E.
NY PROFESSIONAL ENGINEER Lic. No. 071569
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DESIGNED BY:	DRAWN BY:	CHECKED BY:	REVIEWED BY:
SM	SM	MRM	MRM
PROJECT No.: HBWD2101	DATE: FEBRUARY 2025	SCALE: AS SHOWN	

CLIENT

Hampton Bays Water District

Wellhead Treatment for the
Removal of PFAS at Plant No. 3

HAMPTON BAYS WATER DISTRICT
631-728-0179
Est. 1933

Bellows Pond Road
Hampton Bays, NY

CONTRACT

**CONTRACT G
GENERAL CONSTRUCTION**

STATUS

REGULATORY REVIEW

SHEET TITLE

**GRADING AND
DRAINAGE PLAN**

DRAWING No.
C 100.00

SHEET No.
11
OF **77**



50' MIN.

1" TO 4" STONE OR RECYCLED CONCRETE

12" MIN.

EXISTING GRADE

EXISTING PAVEMENT

PLAN

EXISTING GRADE

FILTER FABRIC

50' MIN.

6" MIN.

EXISTING PAVEMENT

ELEVATION

EXISTING GRADE

12" MIN.

FILTER FABRIC

SECTION

1. STONE OR RECYCLED CONCRETE SIZE TO BE 1" TO 4".

2. LENGTH - NOT LESS THAN 50 FEET (UNLESS INDICATED OTHERWISE ON PLANS).

3. THICKNESS - NOT LESS THAN SIX (6) INCHES.

4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.

5. PLACE FILTER FABRIC OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER FABRIC TO BE TREVIRA SPUNBOND, 1135 MIRAFI 600X OR EQUIVALENT.

6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.

7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.

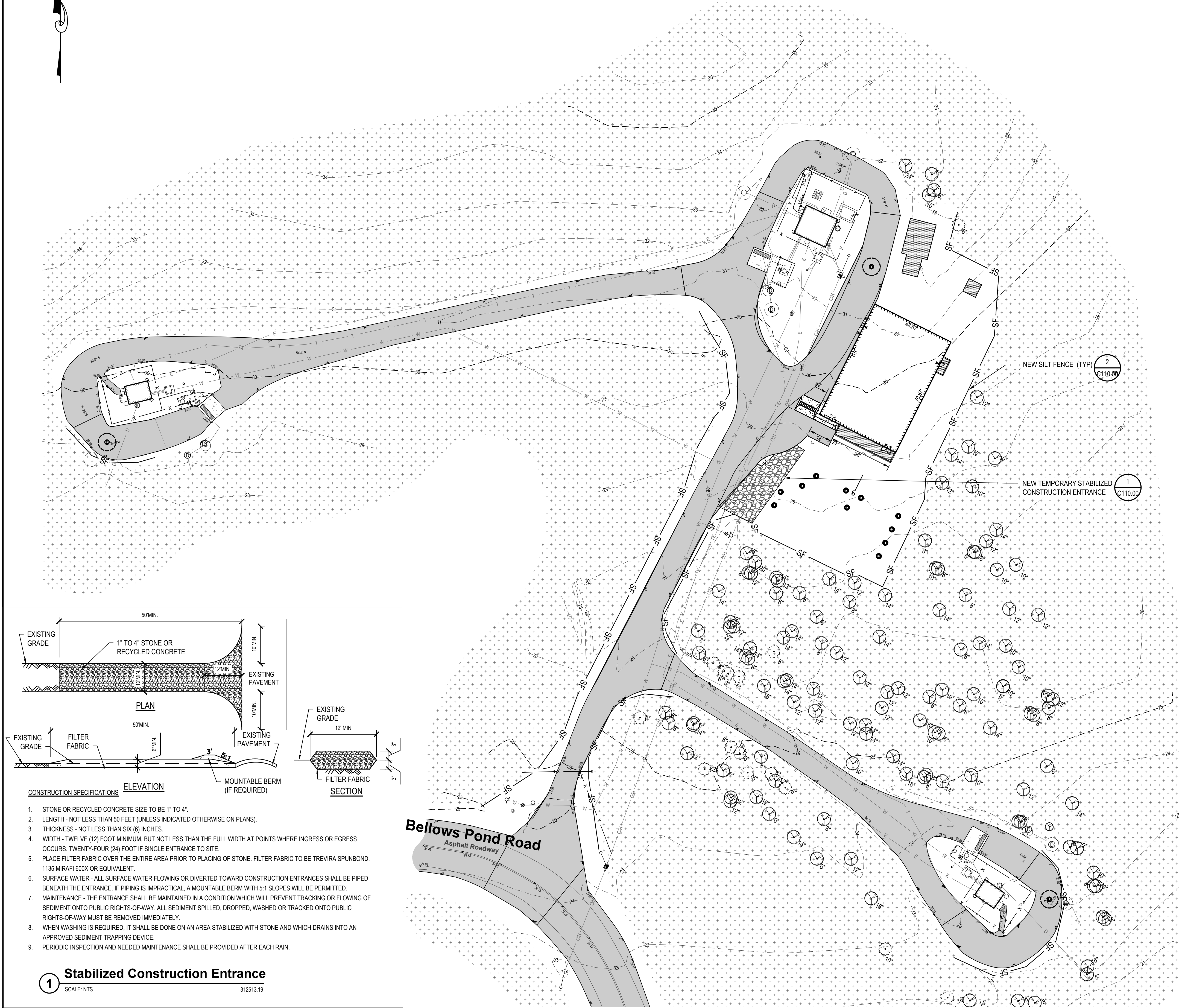
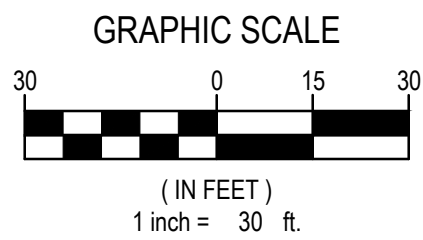
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

1

Stabilized Construction Entrance

SCALE: NTS

312513.19

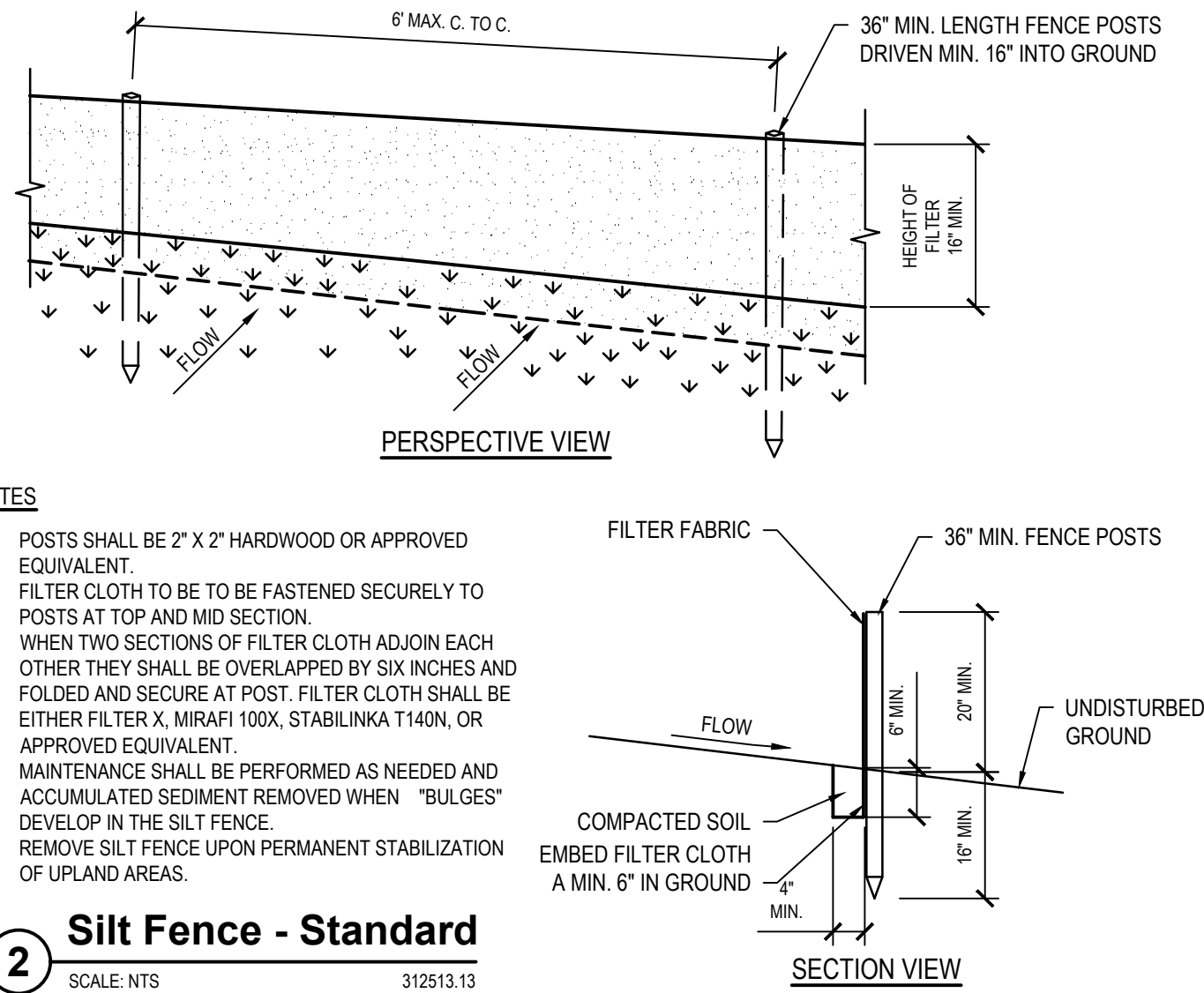


LEGEND	
DESCRIPTION	SYMBOL
NEW SILT FENCE	
NEW STABILIZED CONSTRUCTION ENTRANCE	

EROSION CONTROL NOTES:

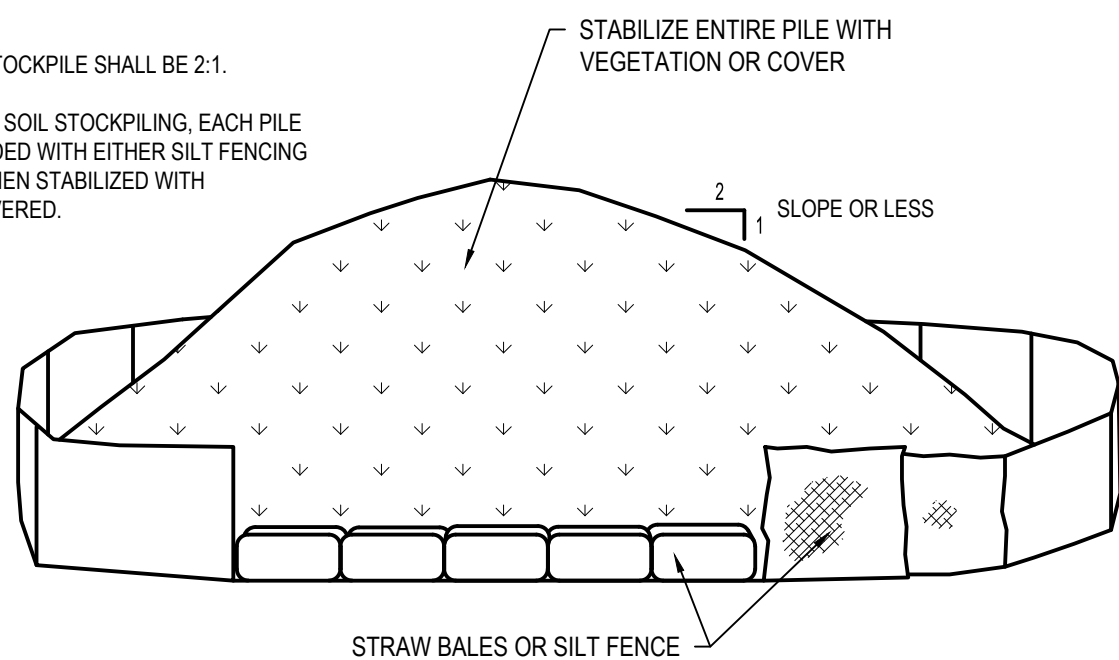
- DURING THE COURSE OF CONSTRUCTION, EROSION AND SEDIMENT CONTROL MEASURES ARE NECESSARY TO PREVENT THE TRANSPORT OF SEDIMENT TO UNDISTURBED AREAS, PONDS, WATER COURSES, DRAINAGE SYSTEMS, RECHARGE BASINS, AND ROADS. THE MINIMUM EROSION CONTROL MEASURES REQUIRED ARE INDICATED ON THIS PLAN. IN ADDITION, THE FOLLOWING GENERAL CONDITIONS SHALL BE OBSERVED:
 - EXISTING VEGETATION SCHEDULED TO REMAIN SHALL BE PROTECTED AND REMAIN UNDISTURBED.
 - INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS REQUIRED TO PREVENT THE INCIDENTAL DISCHARGE OF SEDIMENT FROM THE SITE.
- SPECIFIC METHODS AND MATERIALS EMPLOYED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES MUST CONFORM TO THE LATEST EDITION OF THE 'NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL'.
- INSTALL PROPRIETARY EROSION AND SEDIMENT CONTROL PRODUCTS IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.
- ADJUST EROSION AND SEDIMENT CONTROL MEASURES TO ACCOMMODATE CONSTRUCTION PHASING TO MAINTAIN EFFECTIVENESS OF EROSION AND SEDIMENT CONTROL MEASURES.
- PROTECT EXISTING DRAINAGE INLETS WITHIN THE PROJECT LIMITS AND NEW DRAINAGE INLETS INSTALLED AS PART OF THIS PROJECT FROM SEDIMENT INTRUSION.
- PERFORM INSPECTION AND MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES ON A WEEKLY BASIS AND AFTER HEAVY OR PROLONGED STORMS. MAINTENANCE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, CLEANING AND REPAIR OF ALL EROSION AND SEDIMENT CONTROL MEASURES.
- UTILIZE APPROPRIATE MEANS TO CONTROL DUST DURING CONSTRUCTION, INCLUDING BUT NOT LIMITED TO APPLYING WATER TO BARE SOIL SURFACES.
- MAINTAIN THE STABILIZED CONSTRUCTION ENTRANCE TO PREVENT SOIL AND LOOSE DEBRIS FROM BEING TRACKED ONTO LOCAL ROADS. MAINTAIN THE CONSTRUCTION ENTRANCE WEEKLY UNTIL THE SITE IS PERMANENTLY STABILIZED.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL DISTURBED AREAS ARE PERMANENTLY STABILIZED. AFTER PERMANENT STABILIZATION, REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AND ALL ACCUMULATED SEDIMENT AND DEBRIS FROM THE SITE AND DRAINAGE STRUCTURES.

TOTAL LAND DISTURBANCE = 0.73 ACRES



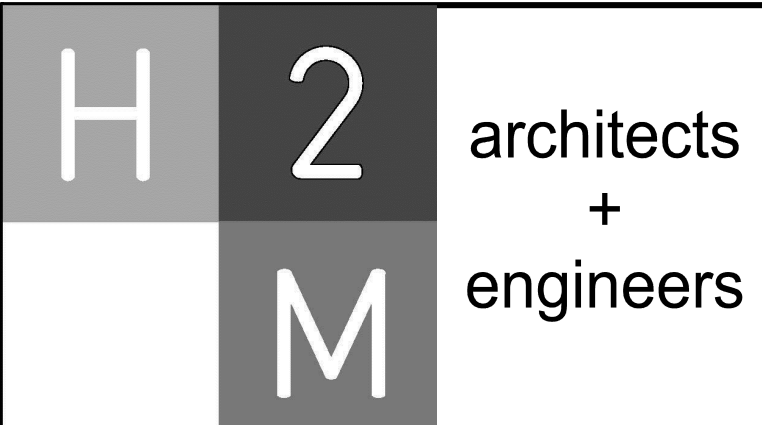
NOTES:

- AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
- MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
- UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAW BALES, THEN STABILIZED WITH VEGETATION OR COVERED.



TO BE USED WHERE TOPSOIL IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NONVEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED PERIOD OF USE.

3 Temporary Soil Stockpile
SCALE: NTS 312513.23



H2M Architects & Engineers, Inc.
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Melville, NY 11747
631.786.8000 • www.h2m.com
NY Architecture & Landscape Architecture: No Certificate Required
NY Engineering Certificate of Authorization No. 0018178

CONSULTANTS:		

MARK	DATE	DESCRIPTION

STATE OF NEW YORK

MATTHEW RONALD MOHLIN

071569

LICENCED PROFESSIONAL ENGINEER

MATTHEW R. MOHLIN, P.E.

NY PROFESSIONAL ENGINEER Lic. No. 071569

"IN ACCORDANCE WITH ARTICLE 146, SECTION 7202 OF THE NYS EDUCATION LAW, ALTERATION OF THIS DOCUMENT EXCEPT BY LICENSE PROFESSIONAL IS ILLEGAL."

DESIGNED BY: SM

DRAWN BY: SM

CHECKED BY: MRM

REVIEWED BY: MRM

PROJECT No.: HBWD2101

DATE: FEBRUARY 2025

SCALE: AS SHOWN

CLIENT

Hampton Bays Water District

Wellhead Treatment for the Removal of PFAS at Plant No. 3

CONTRACT

CONTRACT G
GENERAL CONSTRUCTION

STATUS

REGULATORY REVIEW

SHEET TITLE

SOIL EROSION AND SEDIMENT CONTROL PLAN

DRAWING No.

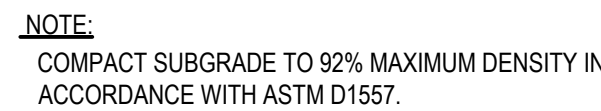
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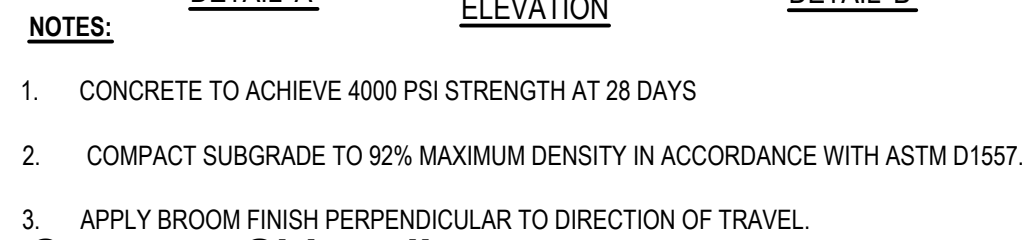
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OF

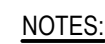
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SCALE: NTS 321216.13

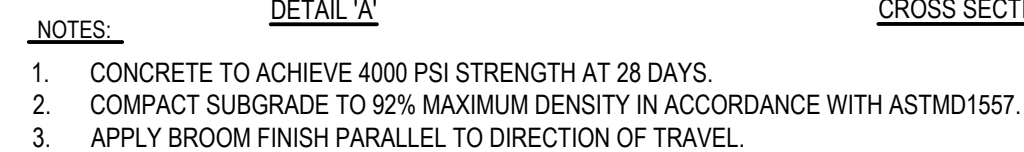


SCALE: NTS 321313.3



1. WOOD FLOAT AND BRUSH FINISH ON ALL SURFACES ABOVE GRADE.
2. AT ALL CURB ENDINGS, PROVIDE SMOOTH TRANSITION DOWN TO PAVED SURFACE.
3. PROVIDE 1/2" PREFORMED EXPANSION MATERIAL AT 20' ON CENTER AND AT ALL CORNERS. SET EXPANSION MATERIAL 1/2" BELOW EXPOSED SURFACES AND SEAL JOINT.
4. CONCRETE TO ACHIEVE 4,000 PSI STRENGTH AT 28 DAYS.

SCALE: NTS 321613.16



NTS



SCALE: NTS (025613.13 H2MX1)



- ## NOTES

1. CONCRETE TO ACHIEVE 4000 PSI AT 28 DAYS
2. COMPACT SUBGRADE TO 92% MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D1557
3. CONTRACTOR SHALL INSTALL 6" PVC WATERSTOP BETWEEN NEW CURBING AND CONTAINMENT PAD.
4. APPLY BROOM FINISH PERPENDICULAR TO VEHICULAR TRAFFIC
5. DRAINAGE PIPE MAY VARY AS PER SITE CONDITIONS. SEE DIMENSIONAL SITE PLAN
6. INSTALL 6" PVC WATERSTOP BETWEEN NEW CURBING AND CONTAINMENT PAD WHERE APPLICABLE

CALCULATIONS FOR CONTAINMENT PAD:
MAXIMUM ANTICIPATED LEAK OR SPILL: 50
GPM PLANT/TRUCK
OPERATOR MAXIMUM RESPONSE TIME: 6
MINUTES
MAXIMUM ANTICIPATED LEAK OR SPILL
VOLUME: $50 \times 6 = 300$ GALLONS

AVAILABLE VOLUME OF CONTAINMENT PAD:
VOLUME OF TRENCH
(10'-0" x 2'-0" x 2'-4") x 7.48 GAL/CF= 349 GALLONS
VOLUME OF PAD
1/2 (12'-0" x 10'-0" x 2-3/8") x 7.48 GAL/CF= 89 GALLONS
TOTAL VOLUME
349 GAL. + 89 GAL. = 438 GALLONS



- NOTES:

1. VERIFY REQUIRED PIPE INVERTS BASED ON VALVE LOCATION & NECESSARY DRAINAGE PITCH
2. MOUNT APPROPRIATE SIGNAGE TO FLANGED BASE POST WITH STAINLESS STEEL HARDWARE.
 - 2.1. SIGN SHALL BE UV RESISTANT FRP OR ALUMINUM.
 - 2.2. SIGN SHALL BE WHITE WITH 2-1/2" HIGH BLACK LETTERING.
3. COAT EXPOSED PVC IN ACCORDANCE WITH SECTION 099744.

SCALE: NTS



NOTE

CASTINGS MUST BE CAST IRON AND CAPABLE OF SUPPORTING THE AASHTO HS-20 HIGHWAY LOADING.

SCALE: NTS

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Melville, NY 11747
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CONSULTANTS

[illegible]

Wellhead Treatment for the Removal of PFAS at Plant No. 3



CONTRACT

CONTRACT G

GENERAL CONSTRUCTION

STATUS	REGULATORY REVIEW
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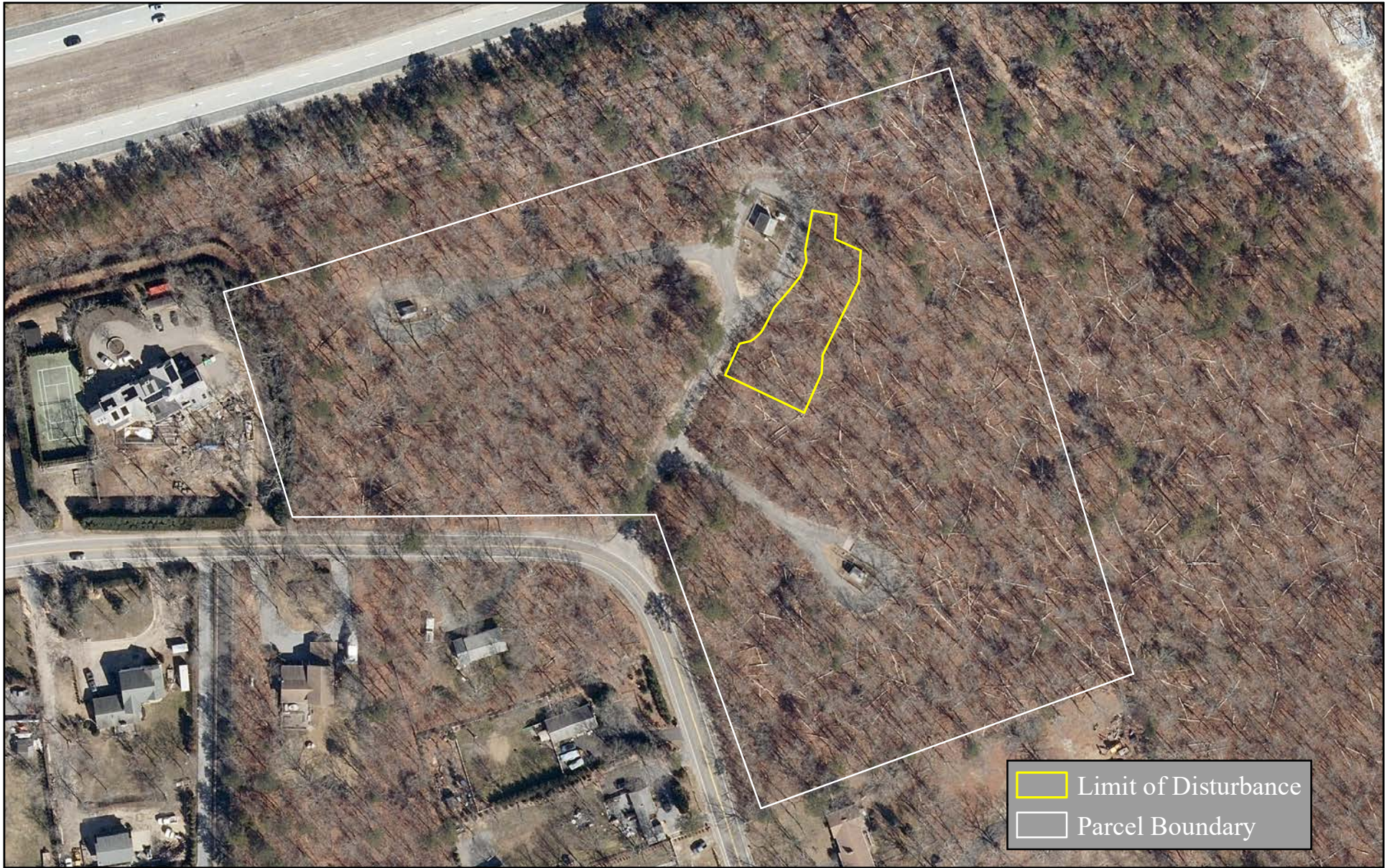
SHEET TITLE

SITE DETAILS

DRAWING No.

C 500.00

SHEET No.
13
OF **77**



1 in = 150 ft

0 50 100 200
ft



Prepared By: Land Use Ecological Services, Inc.
570 Expressway Drive South
Suite 204
Medford, NY 11763

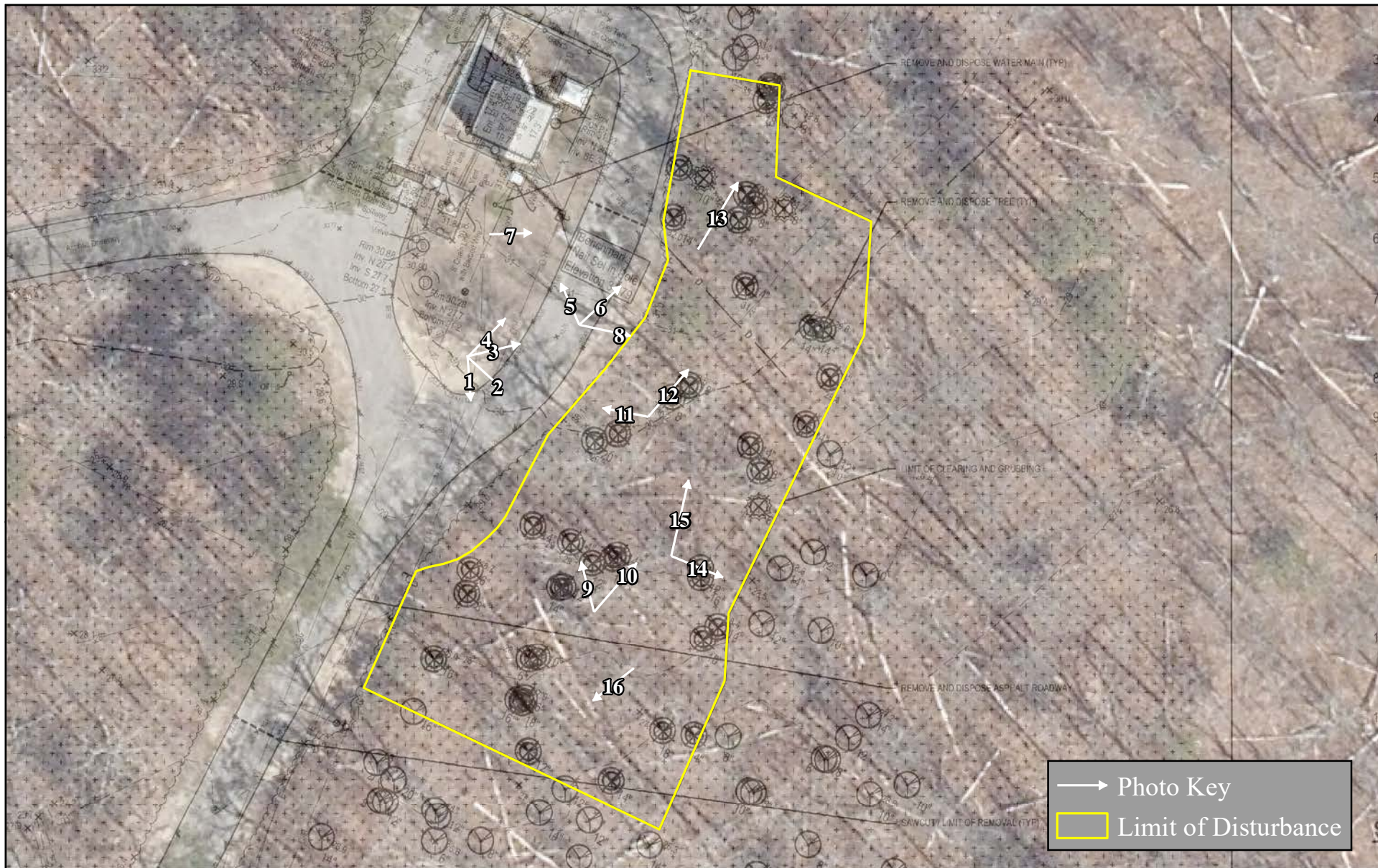
Date: 2/25/2025

Revised:

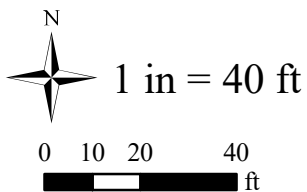
Project: PROP. WATER TREATMENT FACILITY
For: Hampton Bays Water District
At: Bellows Pond Road, Hampton Bays
SCTM # 900 - 221 - 3 - 1.4

Scale: As Noted

Sheet: S-1



→ Photo Key
 Limit of Disturbance



Prepared By: Land Use Ecological Services, Inc.
 570 Expressway Drive South
 Suite 204
 Medford, NY 11763

Project: PROP. WATER TREATMENT FACILITY
 For: Hampton Bays Water District
 At: Bellows Pond Road, Hampton Bays
 SCTM # 900 - 221 - 3 - 1.4

Date: 2/25/2025

Revised:

Scale: As Noted

Sheet: P-1

Hampton Bays Water District
Bellows Pond Road, Hampton Bays | SCTM #900-221-3-1.4



Site photos
taken
2/20/2025 by
Land Use
Ecological
Services, Inc.

Hampton Bays Water District
Bellows Pond Road, Hampton Bays | SCTM #900-221-3-1.4



Site photos
taken
2/20/2025 by
Land Use
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Services, Inc.

Hampton Bays Water District
Bellows Pond Road, Hampton Bays | SCTM #900-221-3-1.4



9



10



11

Site photos
taken
2/20/2025 by
Land Use
Ecological
Services, Inc.



12

Hampton Bays Water District
Bellows Pond Road, Hampton Bays | SCTM #900-221-3-1.4



Site photos
taken
2/20/2025 by
Land Use
Ecological
Services, Inc.



March 19, 2025

Kelly Risotto
Principal
Land Use Ecological Services Inc.
570 Expressway Drive South, Suite 2f
Medford, NY 11763

**RE Determination of Jurisdiction for the Hampton Bays Water District
SCTM # 900-221-3-1.4, Bellows Pond Road, Hampton Bays
Compatible Growth Area of the Central Pine Barrens**

Dear Mr. Risotto:

Timothy C. Hubbard
Member

Maria Z. Moore
Member

Daniel J. Panico
Member

Edward P. Romaine
Member

On February 28, 2025, the Central Pine Barrens Commission office received your letter on the subject property. The property is in the Compatible Growth Area of the Central Pine Barrens.

The 9.8 acre site is located on the east side of Bellows Pond Road, south of Sunrise Highway in Hampton Bays, in Southampton Town. The site is presently developed with a public water supply well field.

H2M prepared the Site Plan dated February 2025. An area of approximately 0.32 acres will be cleared of trees and other pine barrens vegetation to construct treatment facilities for the removal of PFAS contamination. Construction includes a new 71 foot x 49 foot treatment facility (3,479 square feet), generator and installation of a fuel tank and concrete pad, 55 leaching pools for runoff, grading and paving.

The proposed activity constitutes "non-development" pursuant to the definitions in New York State Environmental Conservation Law Article 57 Section 57-0107.13(ii) which includes "work pertaining to water supply for the residents of Suffolk County."

Therefore, no permit from the Commission is required. The preservation of large trees including pitch pines and pine barrens habitat is strongly encouraged.

The project must conform to all other involved agency jurisdictions and permit requirements in effect on the project site. If you have any questions, please do not hesitate to contact me at (631) 218-1192.

Sincerely,

Julie Hargrave
Pine Barrens Manager

cc: Judith Jakobsen Executive Director
John C. Milazzo, Counsel to the Commission

624 Old Riverhead Road
Westhampton Beach, NY
11978

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