



Town of Southampton

6 NEWTOWN ROAD
HAMPTON BAYS, NEW YORK 11946

PARKS & RECREATION DEPARTMENT

Telephone (631) 728-8585

KRISTEN M. DOULOS
Town Parks Director

DERRYL L. BAUMER JR.
Assistant Town Parks Director

GINA D'AMARO
Asst. Superintendent of Recreation

JONATHAN O. ERWIN
Parks Maintenance Supervisor

January 12, 2026

MEMO:

To: **Central Pine Barrens Joint Planning & Policy Commission**
Commission Members

From: **Kristen M. Doulos**
Town Parks Director

Subject: **Town of Southampton, Hampton West Park**
Hardship Waiver for Court Replacement and Parking Lot Expansion

The Town of Southampton is requesting a hardship waiver for redevelopment at Hampton West Park in Westhampton Beach.

The existing park was deeded to the town in 1983, with the original courts being constructed prior to that, sometime in 1978. Since then the location and size of the existing courts has remained the same with minor changes. Those changes included several resurfacings and a restriping of two original tennis courts to make basketball courts. In 2022 and 2023, at the request of community members, the town resurfaced and restriped two additional tennis courts for use as four pickleball courts.

For nearly five decades this park has served the needs of the local community with softball, soccer, tennis, basketball, and now pickleball courts. The proposed redevelopment presents a compelling need to maintain the existing infrastructure while making sure that the park meets the needs of accessibility and functionality. The existing courts are not designed to current standards for proper accessibility, and the existing parking lot is no longer able to meet the current park demands. For these reasons we are applying for a hardship waiver to allow for a minimal clearing of approximately 1/10 of an acre. In perpetuity the town will also revegetate approximately 4/10 of an acre to offset the proposed clearing.

If the Town is unable to improve this facility as prescribed, it would be a detriment to the community.

TOWN OF SOUTHAMPTON

Department of Land Management
116 HAMPTON ROAD
SOUTHAMPTON, NY 11968



JANICE SCHERER
TOWN PLANNING AND
DEVELOPMENT ADMINISTRATOR

Phone: (631) 702-1800

MARIA Z. MOORE
TOWN SUPERVISOR

February 3, 2026

Central Pine Barrens Joint Policy and Planning Commission
624 Old Riverhead Road
Westhampton Beach, NY 11978

Re: **Conformance to Hardship Waiver Criterial of ECL 57-0123(3)(b)**
Town of Southampton –Parks and Recreation Department
Hampton West Park
700 Stewart Avenue, Westhampton
SCTM No.: 900-308-4-1.3

Dear Commissioners:

The Town of Southampton is seeking a hardship exemption to allow additional clearing within the Core Preservation Area, pursuant to NYCRR ECL57-0121(10)(b) and (c), in order to rehabilitate the pre-existing Town park facility known as “Hampton West”. The park is a community resource and is in need of re-construction and re-configuration of existing sports courts; formalization of the parking area for ADA and safety purposes; and construction of a comfort station with associated innovative/alternative on-site wastewater treatment system (I/A OWTS). The requested hardship is to facilitate the aforementioned site improvements. Impacts from the additional vegetation removal will be mitigated by restoring a larger, denuded area with appropriate native plant species so that there is no net loss of vegetation. The park is located within the Core Preservation Area at 700 Stewart Avenue, in the hamlet of Westhampton. Set forth below, the Town will outline how the project complies with the exemption criteria:

ECL57-0121(10)(b):

- i. The proposed development will serve an essential health or safety need of the municipalities in the Central Pine Barrens such that the public health and safety require the requested waiver, that the public benefits from the proposed use are of a character that overrides the importance of the protection of the core preservation area as established in this title, that the proposed use is required to serve existing needs of the residents, and that no feasible alternatives exist outside the core preservation area to meet the established public need and that no better alternatives exist within the county.*

Response:

As shown on the 1994 aerial photograph (attached), the park facility and associated clearing pre-dates the adoption of the Long Island Central Pine Barrens Comprehensive Land Use Plan (CLUP). Presently, Hampton West is the only park

facility, excluding school facilities that provides for active recreation for the hamlets of Westhampton and Speonk-Remsenburg. A community recreational needs assessment was completed as part of the 2003 "*Southampton Recreation Plan*". The plan determined that existing ratio of 1.85 acres of active parkland/1,000 people (inclusive of adjusted summer population) was well below the recommended 10-acres/1,000 people recommended by the National Park Service. Based on the 2003 plan, the Westhampton and Speonk-Remsenburg communities required an additional 45 to 123 acres of additional parkland to meet Level of Service recommendations outline by the National Park Service. Specifically, the plan notes that the Speonk-Remsenburg and Westhampton communities require a minimum of 7 public tennis courts and 7 public basketball courts, as well as 18 acres of devoted field games (soccer/baseball) to meet demand. Moreover, the Town of Southampton experienced 21% increase in population between 2010 and 2020 (see [Suffolk Times article](#)). While the proposed park rehabilitation does not reduce the public need for additional active recreation facilities, it enhances the park's current usability by providing safe and formalized parking areas; reconstructed courts (also a safety issue); and proper sanitary facilities that are designed with a denitrification system so as not to impact groundwater quality. Town officials such as the Parks Director and Assistant Public Parks Director have certified and submit to the Commission that there is a compelling public need to refurbish the existing park (see attached memorandum dated January 12, 2026) and loss of parkland in this location would be a detriment to the local community that has utilized the park

The Commission should note that the Parks and Recreation Department has submitted a NYS office of Parks, Recreation and Historic Preservation Environmental Protection Fund Grant for the proposed work in spring 2025, whereby the bat clearing window ends by March 1st. As part of the grant process, their office obtained several letters of support from the Village of Westhampton, not-for-profits, and surrounding residential community, which have been attached for your consideration.

- ii. *The proposed development constitutes an adaptive reuse of an historic resource designated by the commission and said reuse is the minimum relief necessary to ensure the integrity and continued protection of the designated historic resource and further that the designated historic resource's integrity and continued protection cannot be maintained without the granting of a permit.*

Response.

N/A. While park pre-dates the adoption of the CLUP, it does not contain any existing historic resources.

ECL57-0121(10)(c):

- i. *The granting of the permit will not be material detrimental or injurious to other property or improvements in the area in which the subject property is located, increase the danger of fire, endanger public safety or result in substantial impairment of the resources of the core preservation area.*

Response:

The proposed improvements, supported by the additional revegetation efforts and the documented need for the site enhancements, will not be materially detrimental or injurious to neighboring properties or improvements. Furthermore, the project will not increase the risk of fire, endanger public safety, or result in substantial impairment of resources within the core preservation area. The implementation of a continuous row of native evergreen plantings will establish a robust physical barrier. These actions will effectively result in providing substantial visual buffering and significant noise attenuation (reducing ambient noise by an estimated 8-12 dB) to the residential properties situated to the east and south, consistent with industry best practices for landscape sound mitigation.

The proposal is the result of a collaborative, community-driven process, which, as a result, has garnered extensive support from various community organizations, community residents and stakeholders.

- ii. *The waiver will not be inconsistent with the purposes, objectives of the general spirit and intent of this title.*

Response:

NYCRR ECL57-0105 finds “*that within the Pine Barrens-Peconic Bay system, the federal, state, county and local governments own and manage significant properties in the form of parks [emphasis added], preserves, historic sites, and protected open space, where there is an interdependent and reciprocal relationship between human activities and natural processes, and where fishing, agriculture and tourism have been the dominant industries for more than three hundred years.*” The Town’s Parks and Recreation Department is tasked with managing the pre-existing park facility, a charge consistent with the Long Island Pine Barrens Maritime Reserve Act’s provisions for balanced resource management. As part of their management strategy, they have worked with the community to submit a grant to rehabilitate the park. This effort ensures needed recreational opportunities are addressed in a manner compatible with the CLUP’s environmental goals and capitalizes on existing infrastructure rather than expanding into pristine areas. Therefore, the relief requested, which supports improvements to a dedicated recreational site, is consistent with the intent of the

- iii. *The waiver is the minimum relief necessary to relieve the extraordinary hardship, which may include the grading of a residential development right to other lands in the compatible growth area that may be transferred or clustered to those lands to satisfy the compelling public need.*

Response:

The requested relief is the minimum necessary to accomplish the goals of revitalizing the pre-existing park. While the Town has requested a hardship exemption to clear an additional 4,356 square feet of the lot, this action will be significantly mitigated by the implementation of 17,860 square feet of native revegetation. The project also enhances site compliance by formalizing parking

areas and constructing bio-swales for the capture and recharge of stormwater runoff, ultimately bringing the property into greater alignment with relevant standards and guidelines. The clearing of additional vegetation for upgraded town park facilities with significant proposed revegetation is not in material conflict with preservation goals because it represents a balanced approach that prioritizes overall ecosystem function, public benefit, and long-term sustainability over a strict "no-touch" policy.

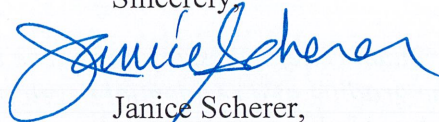
As outlined above, there is sufficient evidence to determine that the requested relief is the minimum necessary and that proposed project satisfies a compelling public need.

Based on the forgoing information, the Town of Southampton has demonstrated compliance with the Hardship Exemption criteria for compelling public need. However, in order to reduce potential impacts of the proposed revitalization, the Town is committed to undertaking the following mitigation measures:

- Presently, the park facility is maintained without the use of fertilizers. The Town commits to continuing this practice.
- The overall clearing at the site will be reduced upon completion of the proposed project, as the project calls for re-vegetating an area 3x the proposed clearing (17,860 square feet of proposed re-vegetation vs. 4,356 square feet of proposed clearing); thereby, reducing the degree of non-conformity.
- In order to protect the endangered northern long eared bat, the Town commits to undertaking clearing within the December 1 to February 28 window established by the New York State Department of Environmental Conservation.
- The I/A OWTS, associated with the proposed comfort station, will be located within an area of existing clearing.
- The proposed parking area is designed to direct stormwater run off into bio-swale parking islands.
- Formalization of the parking areas will prevent unintended vehicular encroachment into naturally vegetated areas.

Should you have any questions, please feel free to contact my office at 631-702-1804. Thank you.

Sincerely,



Janice Scherer,
Town Planning and
Development Administrator

JS:ctm

TOWN OF SOUTHAMPTON PARKS & RECREATION DEPARTMENT

HAMPTON WEST PARK SPORTS COURTS AND PARKING LOT IMPROVEMENT

LOCATED IN
WESTHAMPTON BEACH, N.Y.
CONTRACT NO. 2025-562



TOWN BOARD

MARIA Z. MOORE, SUPERVISOR

MICHAEL A. IASILLI, COUNCILPERSON

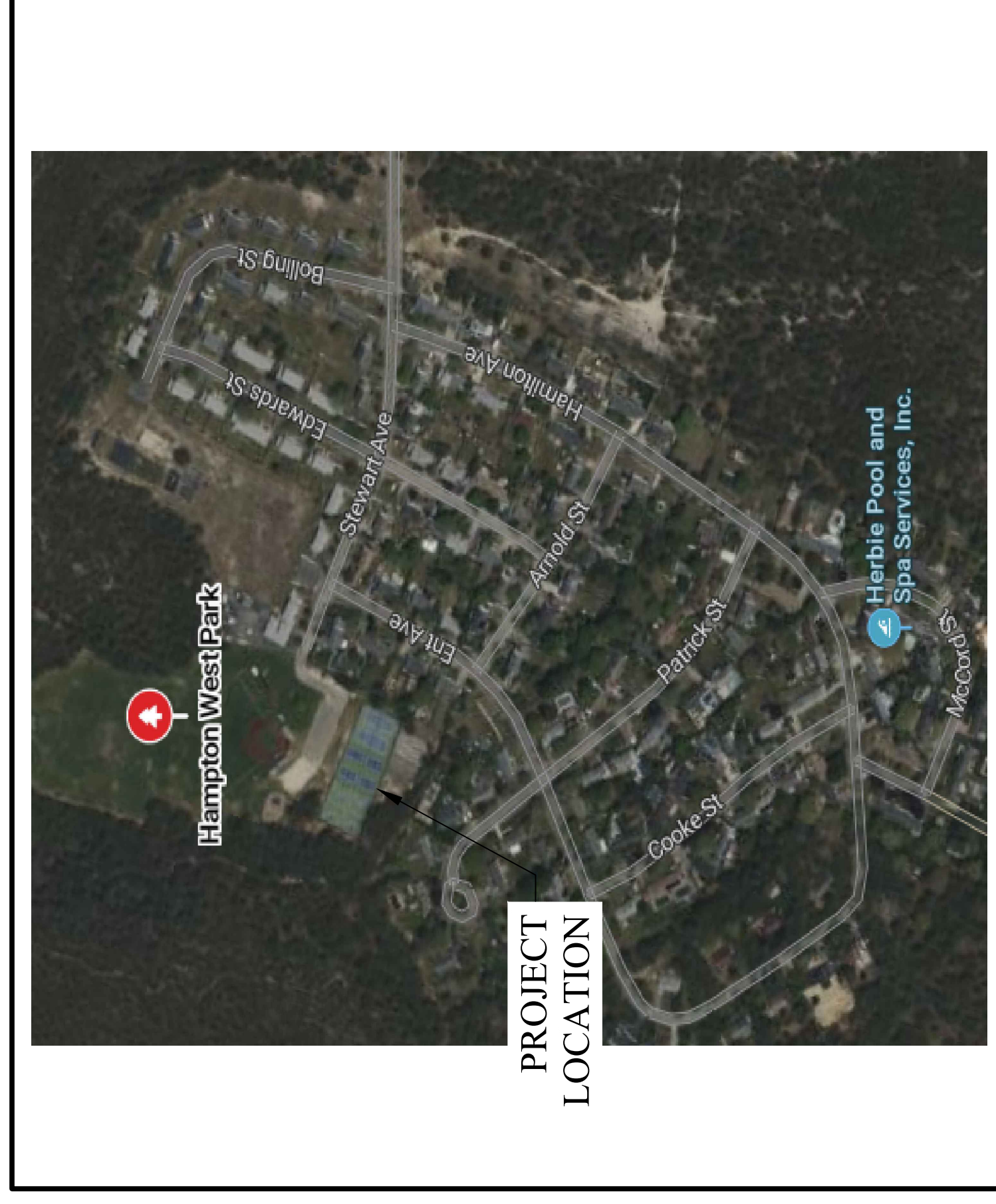
RICK MARTEL, COUNCILPERSON

CYNDI MCNAMARA, COUNCILPERSON

WILLIAM PELL IV, COUNCILPERSON

PARKS & RECREATION DEPARTMENT

KRISTEN M. DOULOS, DIRECTOR



PROJECT LOCATION MAP
SCALE: 1" = NTS

Sheet List Table	
Sheet Number	Dwg Number
1	COVER SHEET
2	INDEX, ABBREVIATION, LEGEND, & NOTES C-01
3	SITE DEMO PLAN D-100
4	SITE LAYOUT PLAN C-100
5	SITE GRADING PLAN C-101
6	SITE DRAINAGE PLAN C-102
7	SITE DETAILS C-201
8	EROSION CONTROL PLAN ESC-100
9	EROSION CONTROL DETAILS ECC-101

IN GENERAL, THE WORK REQUIRED UNDER THIS CONTRACT SHALL BE CONDUCTED IN ACCORDANCE WITH THE ITEMS AND SPECIFICATIONS IDENTIFIED IN LANDTEK'S "SPORTS COURTS RESURFACING AND CONSTRUCTION REQUIREMENTS CONTRACT," DATED FEBRUARY 2023.

WORK SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING CONSTRUCTION ACTIVITIES:

- NEW PARKING LOT CONSTRUCTION
- NEW TENNIS COURT CONSTRUCTION
- NEW PICKLEBALL COURT CONSTRUCTION
- NEW BASKETBALL COURT CONSTRUCTION
- INSTALLATION OF TENNIS POSTS & NETS
- INSTALLATION OF PICKLEBALL POSTS & NETS
- INSTALLATION OF CHAIN LINK FENCE AND GATES

LEGEND (EXISTING FEATURES)

	CATCH BASIN
	DROP INLET & PIPE
	ELECTRIC PULLBOX AND SUPPLY (BURIED)
	SITE LIGHTS
	CHAIN LINK FENCE
	SHRUB LINE
	EXISTING TREE
	PROPOSED ELEVATION EXISTING ELEVATION
	SURVEY CONTROL POINT

LEGEND (PROPOSED FEATURES)

	BORING LOCATION (WITH BORING NUMBER)
	ASPHALT PAVEMENT
	RUNOFF STORAGE AREA
	STRIPING LINES - ITEM NO. 740
	DETAIL NUMBER DRAWING NUMBER
	INLET PROTECTION (SILT FENCING, HAYBALES, ETC.)
	STABILIZED CONSTRUCTION ENTRANCE
	STOCKPILING AREA
	SILT FENCING OR HAYBALES
	TEMPORARY CHAIN LINK FENCE

A B B R E V I A T I O N S

ASPH.	ASPHALT	MAX.	MAXIMUM
BC	BOTTOM GRADE	MIN.	MINIMUM
BW	BOTTOM WALL	MONO.	MONOLITHIC
CB	CATCH BASIN	MORT.	MORTARED
CCA	CHROMATED COPPER ARSENATE	N	NORTHING
CONC.	CONCRETE	NO.	NUMBER
C.F.	CUBIC FEET	O.C.	ON CENTER
C.P.	CONTROL POINT	PAV'T.	PAVEMENT
C.Y.	CUBIC YARDS	P.I.	POINT OF INTERSECTION
∅	DIAMETER	PROP.	H.P. HIGH POINT
D.I.P.	DUCTILE IRON PIPE	R.	RADIUS
DMH	DRAINAGE MANHOLE	R.C.P.	REINFORCED CONCRETE PIPE
DWG.	DRAWING	S.F.	SQUARE FEET
DWY.	DRIVEWAY	SMH	SEWER MANHOLE
E	EASTING	S.Y.	SQUARE YARDS
EL.	ELEVATION	STA.	STATION
E.W.	ENTRANCE WALK	STRUCT.	STRUCTURE
EXP.-JT.	EXPANSION JOINT	SW	SIDEWALK
EXT.	EXTENSION	TCB	TOP OF CATCH BASIN
FLAGST.	FLAGSTONE	TC	TOP OF CURB
FL	FLOW LINE	TW	TOP OF WALL
GR.	GRADE	Z	ELEVATION
INT.	INTERSECTION		
L.F.	LINEAR FEET		

GENERAL NOTES.

- THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL CONDITIONS AT THIS SITE SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK.
- ALL LAYOUT AND ESTABLISHMENT OF ELEVATIONS SHALL BE DONE BY A NEW YORK STATE LICENSED LAND SURVEYOR. LAYOUT OF ALL WORK SHALL BE ADJUSTED IN THE FIELD TO MEET SITE CONDITIONS AS APPROVED BY ENGINEER.
- LAYOUT ALL NEW WORK FOR ENGINEER'S REVIEW PRIOR TO THE START OF CONSTRUCTION. ANY INSTALLATION WORK PERFORMED PRIOR TO ENGINEER'S REVIEW THAT DOES NOT CONFORM TO THESE CONTRACT DOCUMENTS AS INTERPRETED BY THE ENGINEER SHALL BE REMOVED AND REPLACED AS PER THE ENGINEER'S INSTRUCTIONS AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL BE AWARE THAT THE EXISTING PARK WILL REMAIN OPEN TO PARK USERS FOR THE DURATION OF THE CONTRACT AND SHALL MAINTAIN ACCESSIBILITY TO ALL AREAS NOT UNDER CONSTRUCTION IN A SAFE MANNER. MAINTENANCE & ACTIVE WORK AREAS SHALL BE PROTECTED BY THE CONTRACTOR WITH FENCING, SIGNAGE, HIGH CHAIN LINK CONSTRUCTION FENCE AS INDICATED ON THE DRAWINGS. THIS FENCE SHALL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE CONTRACT. THIS ACCESS SHALL BE LAYED OUT SO AS TO KEEP ALL PARK USERS SAFE FROM HARM AND ALL CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL LIMIT HIS HOURS OF OPERATION WITHIN THE PROJECT AREA TO REGULAR WORKING HOURS BETWEEN 8:00AM AND 4:30P.M. UNLESS OTHERWISE APPROVED BY THE TOWN.
- EQUIPMENT AND MATERIALS LEFT OVER NIGHT SHALL BE SAFEGUARDED & SECURED BEHIND DESIGNATED CONTROLLED AREA AS APPROVED BY THE ENGINEER.
- THERE SHALL BE NO STORAGE OF EQUIPMENT OR MATERIALS BENEATH EXISTING TREES.
- THE CONTRACTOR SHALL MODIFY THE EXISTING FENCING AS REQUIRED FOR CONSTRUCTION ACTIVITIES. FENCING TAKEN DOWN FOR CONSTRUCTION ACTIVITIES SHALL BE PROTECTED FOR DAMAGE FOR THE DURATION OF THE CONTRACT AND REINSTALLED BY THE CONTRACTOR UPON COMPLETION OF WORK AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL TONE AND MARKOUT ALL EXISTING UTILITY LINES AND SUBSURFACE CONDITIONS PRIOR TO COMMENCEMENT OF ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL PROTECT ALL TREES WITHIN PROJECT AREA FROM DAMAGE CAUSED BY CONSTRUCTION OPERATIONS. ANY TREE DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL INSTITUTE SEDIMENT CONTROL METHODS TO PREVENT SEDIMENT, CEMENT, OR ANY OTHER MATERIALS OR CONSTRUCTION DEBRIS FROM ENTERING THE DRAINAGE SYSTEMS DURING ALL PHASES OF CONSTRUCTION. THE SEDIMENT CONTROL DEVICES AND PROCEDURES TO BE EMPLOYED BY THE CONTRACTOR SHALL MEET ESTABLISHED STANDARDS. ALL COSTS ASSOCIATED WITH THE WORK SHALL BE INCLUDED UNDER THE RESPECTIVE BID ITEMS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION ACTIVITIES. ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- RESTORATION OF DAMAGED PROPERTY
 - THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGE CAUSED BY ITS OPERATIONS AND SHALL SATISFACTORILY CORRECT ALL SUCH DAMAGE AT THEIR OWN EXPENSE.
 - UPON COMPLETION OF THE CONTRACT, THE CONTRACTOR SHALL RESTORE THE STAGING AREA SITE AND ANY OTHER DAMAGED AREAS TO ITS PRE-CONSTRUCTION CONDITION AS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE A WEEKLY CONSTRUCTION SCHEDULE AT LEAST 72 HOURS PRIOR TO THE BEGINNING OF THE UPCOMING WORK WEEK.
- THE COSTS ASSOCIATED WITH THE REMOVAL OF NATURAL SURFACES AND ITS PROPER DISPOSAL OFF SITE SHALL BE INCLUDED UNDER ITEM 213.

SITE REMOVAL NOTES

- UNLESS OTHERWISE INDICATED TO REMAIN, THE WORK TO BE PERFORMED AS PART OF THIS CONTRACT INCLUDES THE COMPLETE DEMOLITION, REMOVAL AND DISPOSAL TO AN OFFSITE LOCATION OF ALL STRUCTURES, WALLS, STEPS, WALKS, ASPHALT AND CONCRETE PAVEMENTS, CURBS, LIGHTS, POLES, FOOTINGS, FENCES, SIGNS, DRAINAGE STRUCTURES, UNDERGROUND UTILITIES, LANDSCAPING, ETC., SHOWN WITHIN THE LIMITS OF REMOVAL INDICATED ON THE PLAN. TREE STUMPS TO BE GRIND DOWN TO A MINIMUM OF 12" BELOW PROPOSED GRADE. ALL EXCAVATIONS SHALL BE BACKFILLED WITH SELECT GRANULAR MATERIAL AS DEFINED IN SECTION 203 OF N.Y.S.D.O.T. STANDARD SPECIFICATIONS. COMPACTION OF BACKFILL SHALL CONFORM TO N.Y.S.D.O.T. SECTION 203. EXCAVATED AREAS SHALL BE BACKFILLED UP TO EXISTING GRADE ELEVATIONS OF SURROUNDING AREAS. ITEMS SHOWN TO REMAIN SHALL BE PROTECTED AND MAINTAINED.
- UNLESS OTHERWISE REQUIRED OR INDICATED, ALL FACILITIES OUTSIDE THE LIMIT OF REMOVAL SHALL BE PROTECTED AND MAINTAINED. THE SITE IS TO BE VISITED BY THE CONTRACTOR TO DETERMINE EXISTING CONDITIONS OF THE SITE AND STRUCTURES TO BE REMOVED, PRIOR TO DEMOLITION.
- CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND ADJACENT OCCUPIED OR USED FACILITIES.
- ENSURE THE SAFE PASSAGE OF PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO ADJACENT BUILDINGS, STRUCTURES, FACILITIES AND PERSONS.
- PROPERLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COST TO THE OWNER.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATION OR DEMOLITION WORK.
- CLEAN ADJACENT STRUCTURES AND DRIVEWAYS OF DUST, DIRT AND DEBRIS. RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO THE START OF THE WORK.
- USE WATER SPRINKLING AND TEMPORARY ENCLOSURES TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST PRACTICAL LEVEL.
- ALL EXISTING UTILITIES TO BE RE-USED MUST BE COORDINATED WITH THE APPROPRIATE AGENCIES FOR APPROVAL PRIOR TO START OF CONSTRUCTION.
- SEE DWG'S ESC-101 FOR EROSION CONTROL.
- CONTRACTOR TO PROVIDE TEMPORARY CONSTRUCTION FENCE TO SECURE SITE DURING CONSTRUCTION.

UTILITY NOTES

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY THIS WORK.
- CALL BEFORE YOU DIG - 1 (800) 272-4480 NEW YORK STATE'S INDUSTRIAL CODE 53 REQUIRES THAT THE UNDERGROUND PROTECTIVE ORGANIZATION BE CALLED AT LEAST TWO WORKING DAYS BEFORE YOU START TO DIG, DRILL, EXCAVATE, BLAST, DRIVE PIPE OR POSTS. WHEN YOU CALL YOU MUST GIVE YOUR NAME, COMPLETE ADDRESS AND INFORMATION ABOUT WHAT YOU ARE PLANNING TO DO. SOMEONE WILL BE CALLED BY THE UNDERGROUND PROTECTIVE ORGANIZATION AND YOU WILL BE NOTIFIED BY PHONE BEFORE THE CALL IS MADE TO THE UNDERGROUND PROTECTIVE ORGANIZATION. ANY REPAIR COSTS WILL BE CHARGED TO THE PERSON RESPONSIBLE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENGAGE WITH AN APPROVED, PRIVATE UNDERGROUND UTILITY LOCATION AND MARK OUT COMPANY TO HAVE ALL ON-SITE UNDERGROUND UTILITIES, WITHIN THE WORK AREA, COMPLETELY LOCATED AND MARKED OUT, AT CONTRACTOR'S OWN EXPENSE.
- SUBSURFACE INFORMATION SHOWN HEREON HAS BEEN TAKEN FROM VARIOUS DEPARTMENTS OF THE TOWN, COUNTY AND PUBLIC UTILITY COMPANIES. THIS INFORMATION IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL BEFORE COMMENCING ANY EXCAVATION, NOTIFY THE DEPARTMENTS, AND UTILITY COMPANIES OF THEIR PROPOSED WORK AND REQUEST THAT FIELD UTILITY LINES BE MARKED TO THE CONTRACTOR'S PROPERTY. ANY MARKING BE DONE BY PROVIDING THE AFFECTED UTILITY WITH THE NOTICE REFERRED TO IN THE STATE OF NEW YORK INDUSTRIAL CODE 53.

INDEX LEGEND ABBREVIATIONS AND NOTES

NOTE: The Professional Engineer of the New York State Education Law for any person, unless otherwise stated, is the person who has prepared this drawing and/or related specifications. All alterations must be made in compliance with the provisions of the Professional Engineer Law. The Professional Engineer whose seal is used on this drawing is not responsible for any such alteration or reuse without his written consent.

SCALE: AS SHOWN
PLAN: _____
PROFILE: _____
HORIZ: _____
VERT: _____
DATE: DEC 2025
DRAWING NUMBER: G-01

TOWN OF SOUTHAMPTON
HAMPTON WEST PARK

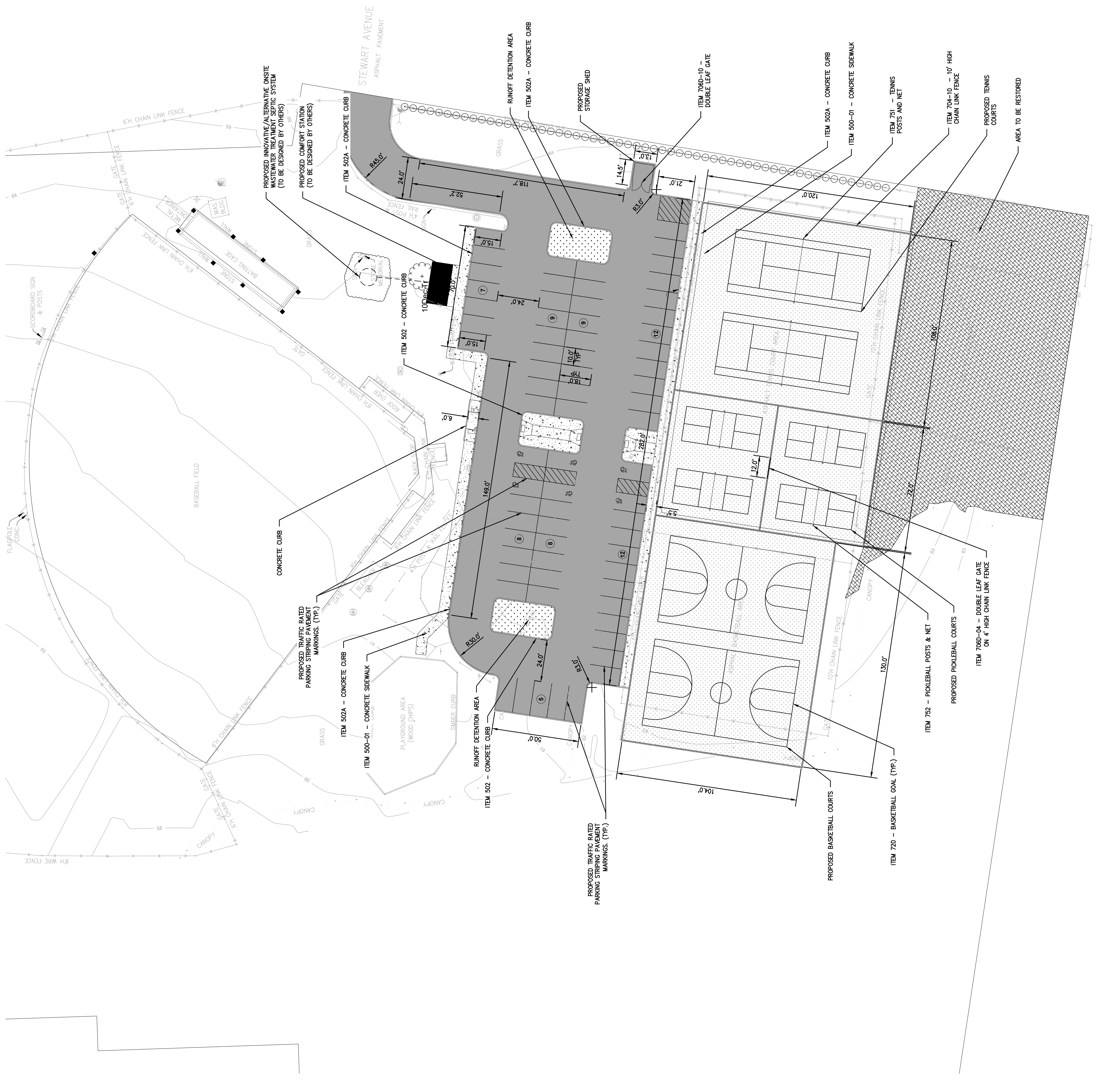
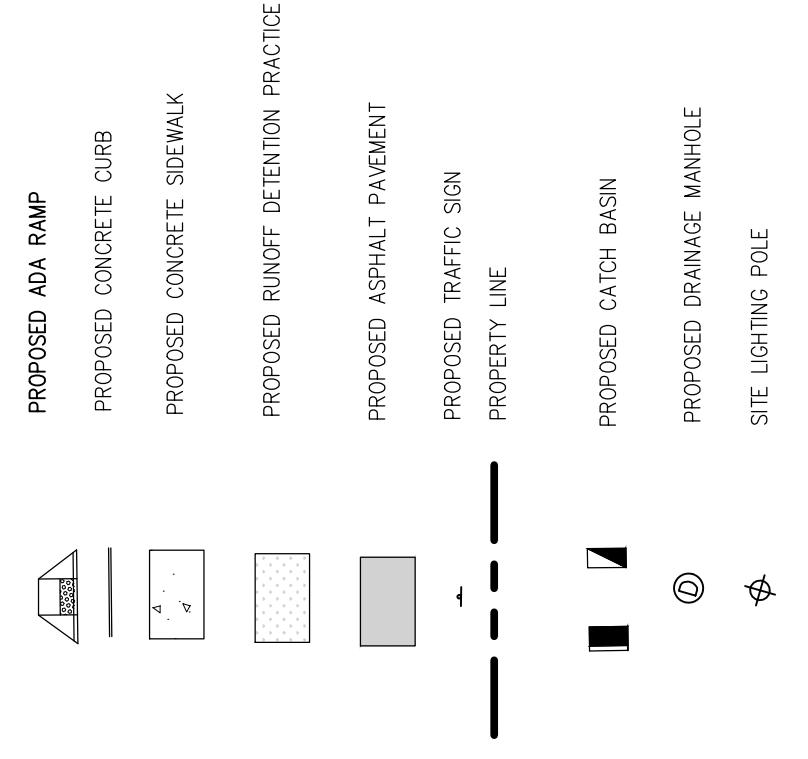
LiRo Engineers, Inc.
GISI Consulting Group, Company
Millsdale, N.Y. 516-746-2350 (T)

DESIGNED BY: CS DRAFTED BY: CS CHECKED BY: DL PROJECT NO.: 25-148-0427
BY: _____ SHEET NUMBER: 02 OF 09

GENERAL SITE NOTES:

1. THE ENGINEERS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE TOWN, OR AS SPECIFIED HEREIN, WHERE APPLICABLE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR INSTALLATION OF ALL UTILITIES. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE UTILITY OR MUNICIPAL AGENCY HAVING JURISDICTION. CONTRACTOR SHALL COORDINATE THE REQUIRED UTILITY AND MUNICIPAL INSPECTIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY AND FOR THE INSTALLATION OF SIGNS.
5. ALL ON-SITE WORK SHALL CONFORM TO THE TOWN STANDARD DETAILS AND SPECIFICATIONS, WHERE APPLICABLE.

LEGEND

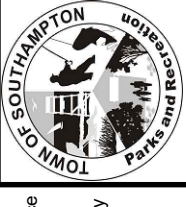


REFERENCES

1. TOPOGRAPHY SURVEY: PLANNING, ENGINEERING, GEOLOGY, AND LAND SURVEYING, P.C. 235 EAST JERICHO TURNPIKE MINEOLA, NY 11501 DATED: JUNE 27, 2025

NO.	DATE	REVISION	BY

SITE LAYOUT PLAN



TOWN OF SOUTHAMPTON
HAMPTON WEST PARK

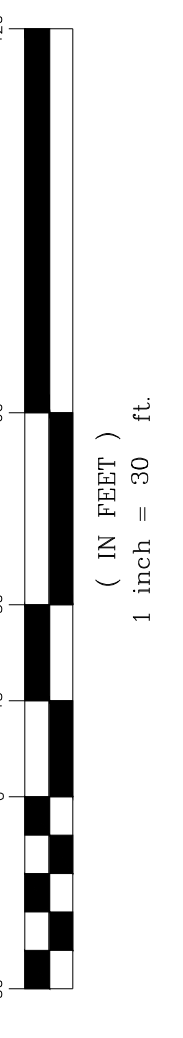


LiRo Engineers, Inc.
GISI Consulting Group Company
Mineola, N.Y. 516-746-2350 (T)

SCALE: AS SHOWN	PLANNING
PROFILE	HORIZ.
VERT.	
DATE: DEC 2025	DRAWING NUMBER: C-100
DESIGNED BY: CS	CHECKED BY: DL
DRAFTED BY: CS	PROJECT NO.: 25-148-0427
SHEET NUMBER: 04	OF: 09

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GRAPHIC SCALE

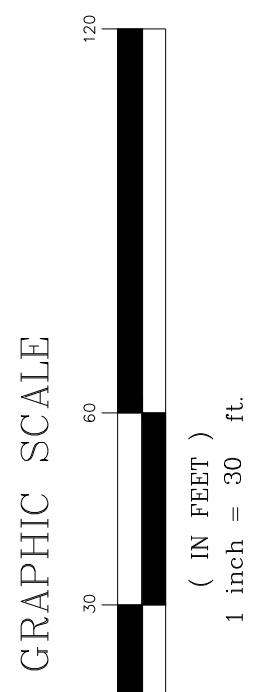


GRADING NOTES:

1. THE VERTICAL DATUM IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

LEGEND

- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT DRIVE
- PROPOSED ASPHALT DRIVE
- PROPOSED ASPHALT DRIVE
- PROPOSED ASPHALT DRIVE



REFERENCES

1. TOPOGRAPHY SURVEY: PLANNING, GEOLOGY, AND LAND SURVEYING, P.C. 235 EAST JERICHO TURNPIKE MINEOLA NY 11501 DATED: JUNE 27, 2025

NO.	DATE	REVISION	BY

SITE GRADING PLAN

TOWN OF SOUTHAMPTON
 HAMPTON WEST PARK



LiRo Engineers, Inc.
 GIS/Consulting Group Company
 Mineola, N.Y. 516-746-2350 (T)

SCALE	AS SHOWN
PLAN	AS SHOWN
PROFILE	AS SHOWN
HORIZ.	AS SHOWN
VERT.	AS SHOWN
DATE:	DEC 2025
DRAWING NUMBER	C-101
SHEET NUMBER	05 OF 09

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GENERAL NOTES:

1. PRIOR TO THE START OF ANY NEW WORK, THE CONTRACTOR SHALL PROVIDE A MARKOUT OF ALL EXISTING UTILITIES AND BENCH MARKS TO THE OWNER AND THE ENGINEER. ALL UTILITIES SHALL BE IDENTIFIED BY THE CONTRACTOR AND THE ENGINEER. ALL UTILITIES SHALL BE MARKED WITH RED AND WHITE PIPES AND STRUCTURES. SANITARY SYSTEM, WATER SERVICES, ELECTRIC, GAS AND TELEPHONE SERVICES, ETC.
2. THE CONTRACTOR SHALL ADVISE THE OWNER AND THE ENGINEER OF ANY POTENTIAL CONFLICTS PRIOR TO THE START OF ANY NEW WORK.
3. ELEVATIONS AND CONTOURS SHOWN ON THIS MAP REFER TO NAVD 1988

DRAINAGE NOTES:

1. THE CONTRACTOR SHALL FOLLOW MANUFACTURE RECOMMENDATIONS FOR ALL WORK RELATED TO LEACHING GALLEYS.
2. DRAINAGE PIPES SHALL BE MINIMUM 12" AND SHALL BE ADS 11.0 COMPRISED OF SCHEDULE 40 STEEL PIPE (SP) MEETING THE STANDARDS AND INSTALLATION RECOMMENDATIONS OF ASTM F871 & 1400 AND THE MANUFACTURER UNLESS OTHERWISE SHOWN ON THE PLANS.
3. ALL DRAINAGE PIPES SHALL BE 10' MINIMUM DEPTH UNLESS OTHERWISE SHOWN ON THE PLANS.
4. IF 2" OF COVER CANNOT BE MAINTAINED THEN THE DRAINAGE PIPE SHALL BE DUCTILE IRON PIPE (DIP), CLASS 52 CEMENT LINED.
5. ALL DRAINAGE STRUCTURES SHALL BE 60" MINIMUM UNLESS OTHERWISE INDICATED.
6. ALL DRAINAGE STRUCTURES SHALL MEET THE TOWN STANDARDS.
7. REFERENCE BORING LOGS FOR SUBSURFACE CONDITIONS.
8. INTERCONNECTING PIPES TO EXISTING UTILITIES SHALL BE 18" TYPICAL.
9. ALL DRAINAGE STRUCTURES SHALL BE CLEANED AT THE END OF CONSTRUCTION.

REFERENCES

1. TOPOGRAPHY SURVEY: PLANNING, ENGINEERING, GEOLOGY, AND LAND SURVEYING, P.C. 235 EAST JERICHO TURNPIKE MINEOLA, NY 11501 DATED: JUNE 27, 2025

NO.	DATE	REVISION	BY

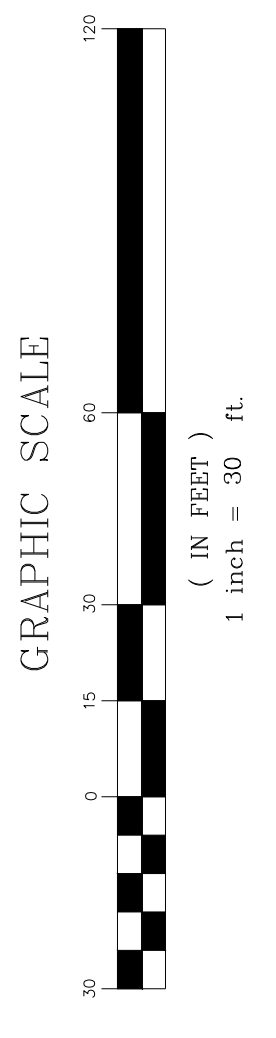
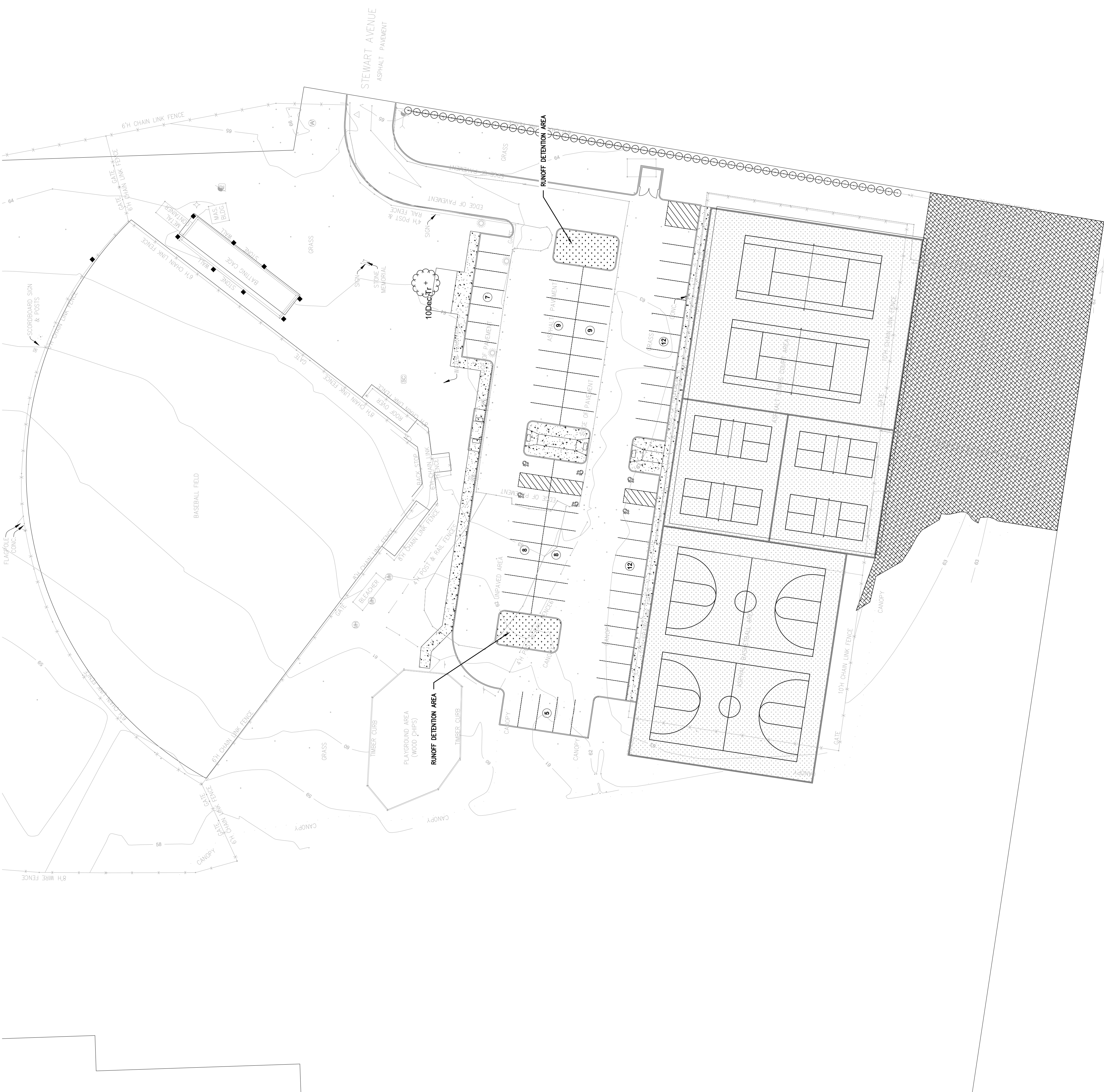
SITE DRAINAGE PLAN

TOWN OF SOUTHAMPTON
HAMPTON WEST PARK

SCALE: AS SHOWN
PLAN: AS SHOWN
PROFILE: AS SHOWN
VERT: AS SHOWN
DATE: DEC 2025
DRAWING NUMBER: C-102
SHEET NUMBER: 06 OF 09

LiRo Engineers, Inc.
GIS/Consulting Group Company
Mineola, N.Y. 516-746-2350 (T)

DESIGNED BY: CS
DRAFTED BY: CS
CHECKED BY: DL
PROJECT NO.: 25-148-0427
SHEET NUMBER: 06 OF 09

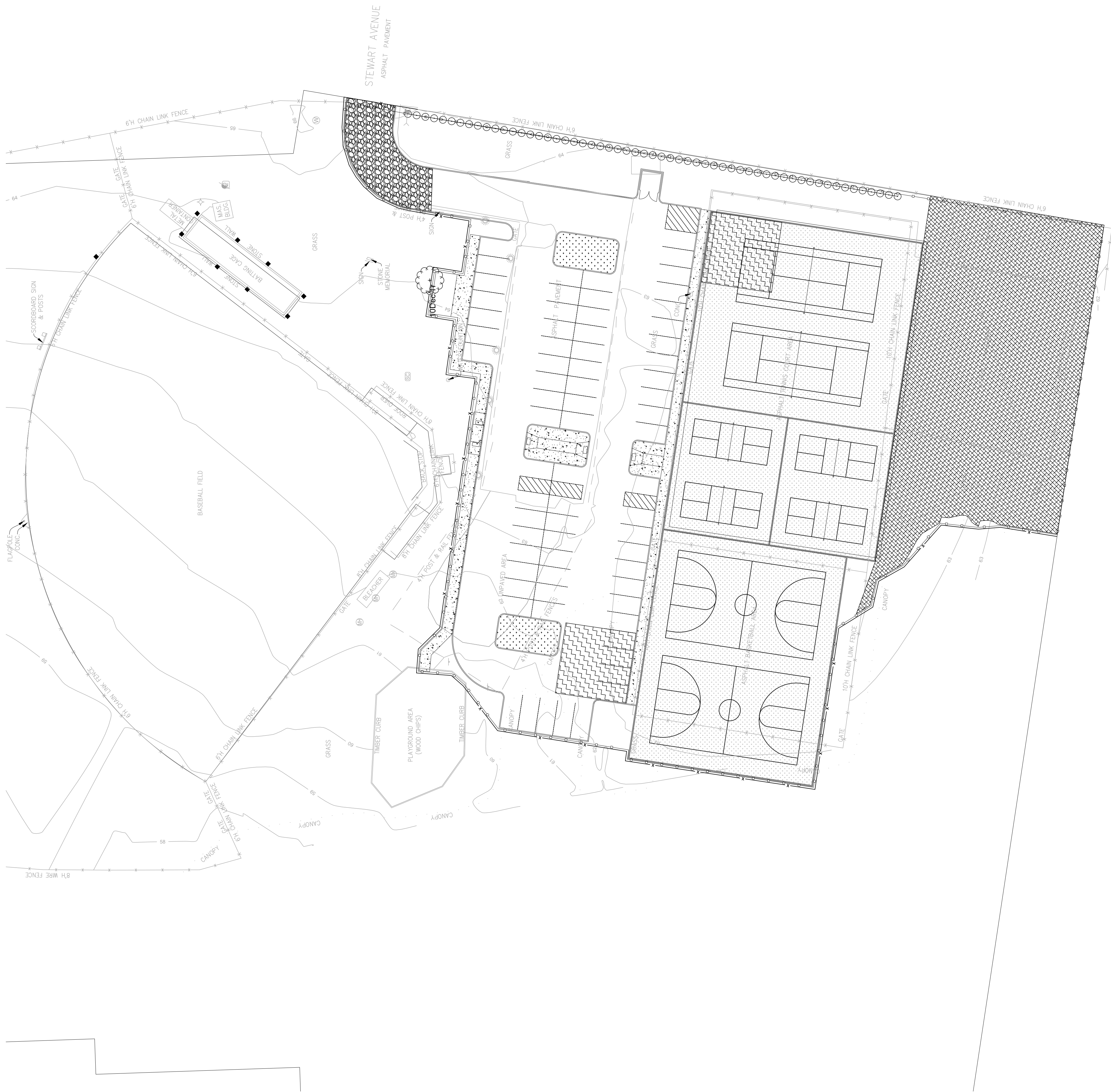
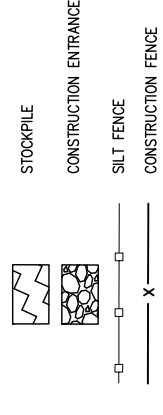


NOTE: I, the undersigned, of the New York State Education Law for any person, unless otherwise stated, hereby certifies that the drawing and/or related specifications, all alterations thereto made in compliance with the provisions of the Education Law, are the work of the undersigned or the Professional Engineer whose seal and signature are hereon, and I am not providing my professional seal or signature for any such alteration or reuse without his written consent.

EROSION CONTROL MEASURES:

1. DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES NECESSARY TO PREVENT THE TRANSPORT OF SEDIMENT TO OFF-SITE AREAS, DRAINAGE INLETS, ETC. ACTUAL EROSION CONTROL MEASURES WILL BE DICTATED BY FIELD CONDITIONS AS CONSTRUCTION PROGRESSES AND AS DIRECTED BY THE ENGINEER. THE FOLLOWING CONDITIONS SHALL BE OBSERVED.
 - A. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AND REMAIN UNDISTURBED. PROVIDE CONSTRUCTION FENCE ALONG THE PERIMETER OF ALL EXPOSED AREAS.
 - B. CLEARING AND GRADING SHALL BE SCHEDULED SO AS TO MINIMIZE THE SIZE OF EXPOSED AREAS AND THE LENGTH OF TIME THAT AREAS ARE EXPOSED.
 - C. THE LENGTH AND STEEPNESS OF CLEARED SLOPES SHALL BE MINIMIZED TO REDUCE RUNOFF VELOCITIES.
 - D. SEDIMENT SHALL BE TRAPPED ON THE SITE.
 - E. SPECIFIC METHODS AND MATERIALS EMPLOYED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES SHALL CONFORM TO THE "NEW YORK GUIDELINES FOR EROSION AND SEDIMENT CONTROL."
2. ALL SILT FENCES AND STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO ANY GRADING WORK ALONG THE LIMITS OF DISTURBANCES AND SHOULD BE MAINTAINED FOR THE DURATION OF THE WORK. NO SEDIMENT SHALL BE PERMITTED TO ENTER ANY DRAINAGE COURSE OR WATERWAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL PAVED SURFACES (ROADWAYS, PARKING FIELDS, ETC.) CLEAN FOR THE DURATION OF THE CONTRACT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED ONTO THE PAVED SURFACES BY THE CONTRACTOR SHALL BE REMOVED IMMEDIATELY.
3. GRADED AND STRIPPED AREAS AND STOOPLES SHALL BE KEPT STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AS REQUIRED. SEED MIXTURES SHALL BE IN ACCORDANCE WITH SOIL CONSERVATION SERVICE RECOMMENDATIONS. WHEN SEEDING IS REQUIRED, THE CONTRACTOR SHALL MAINTAIN THE SEEDING AREA FOR A MINIMUM OF 14 DAYS. IN THIS CASE, THE CONTRACTOR SHALL STABILIZE THE AREA IF THE SEASON IS NOT APPROPRIATE FOR TURF ESTABLISHMENT. IN THIS CASE, THE CONTRACTOR SHALL STABILIZE WITHIN 14 DAYS OF COMPLETING THE FINAL GRADING, WITH HAY OR STRAW MULCH, OR OTHER APPROVED OR SPECIFIED MEANS UNTIL TURF ESTABLISHMENT CAN BE COMPLETED.
4. DRAINAGE INLETS INSTALLED AS PART OF THE PROJECT SHALL BE PROTECTED FROM SEDIMENT BUILDUP THROUGH THE USE OF SEDIMENT BARRIERS, SEDIMENT TRAPS, ETC. AS REQUIRED. CONTROLS SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREAS DRAINING TO THE INLET HAVE BEEN STABILIZED BY EITHER PAVING, SEEDING, OR SLOPE PROTECTION.
5. PROPER MAINTENANCE OF EROSION CONTROL MEASURES IS TO BE PERFORMED BY THE CONTRACTOR AS INDICATED BY PERIODIC INSPECTION AND AFTER HEAVY OR PROLONGED STORMS. MAINTENANCE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING: PERIODIC INSPECTION AND REPAIR OF BARRIERS, SEDIMENT TRAPS, BARRIERS, CLEANING AND REPAIR OF BARRIERS AND DIVERSIONS AND CLEANING AND REPAIR OF INLET PROTECTION.
6. APPROPRIATE MEANS SHALL BE USED TO CONTROL DUST DURING CONSTRUCTION.
7. A. STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO PREVENT SOIL AND LOOSE DEBRIS FROM BEING TRACKED ONTO LOCAL ROADS. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED.
 - B. SEDIMENT BARRIERS AND OTHER EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL UPLAND DISTURBED AREAS HAVE BEEN STABILIZED AND DRAINAGE SYSTEMS CLEANED AND FLUSHED AS NECESSARY.
9. IN ALL CASES, MEASURES BEYOND THE NECESSARY FLATTENING OF THE DISCHARGE WILL BE REQUIRED, UNLESS THE PUMP DISCHARGE IS CLEAR AND FREE OF SEDIMENT. THE LOCATION AND DESIGN OF THIS FLATTENING METHOD SHALL BE PREPARED BY THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER, AND THEN REVIEWED AND APPROVED BY THE ENGINEER, PRIOR TO ITS IMPLEMENTATION.
10. TEMPORARY SOIL EROSION AND WATER POLLUTION CONTROL MEASURES INDICATED ON THIS PLAN SHALL BE CONSIDERED AS THE MINIMUM REQUIRED.
11. INLET PROTECTION TO BE PROVIDED FOR ALL OFF-SITE DRAINAGE INLETS WITHIN 500 FEET OF SUBJECT PROPERTY. ONLY FILTER BAG DROP INLET PROTECTION MAY BE USED ON ALL EXISTING OFF-SITE DROP INLETS.
12. INLET PROTECTION IS TO BE PROVIDED AT ALL ON-SITE STORMWATER INLETS AS THE DRAINAGE STRUCTURES ARE INSTALLED. CONTRACTOR MAY USE EITHER OF THE TWO (2) DETAILED TYPES OF DROP INLET PROTECTION ON THE PROPOSED, ON-SITE DROP INLETS.
13. LOCATIONS OF STOOPLES, CONSTRUCTION ENTRANCES, SILT FENCE, CONSTRUCTION TRAILERS, CONCRETE WASHOUTS, ETC. ARE SHOWN SCHEMATICALLY. THE CONTRACTOR IS TO FINALIZE THE LOCATIONS OF ALL EROSION CONTROL MEASURES IN THE FIELD. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ADEQUATE LEVELS OF EROSION AND SEDIMENT CONTROL ARE MET.
14. SILT FENCE IS TO BE INSTALLED AT THE PERIMETER OF ALL STOCK PILES AT THE TOE OF SLOPE. THIS SILT FENCE IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE STOCK PILE.

LEGEND



REFERENCES

1. TOPOGRAPHY SURVEY; PHOTOGRAMMETRY, PHOTOLOGICAL, AND LAND SURVEYING. PROJECT NO. 235 EAST JERICHO TURNPIKE MINEOLA NY 11501 DATED: JUNE 27, 2025

NO.	DATE	REVISION	BY

EROSION CONTROL PLAN

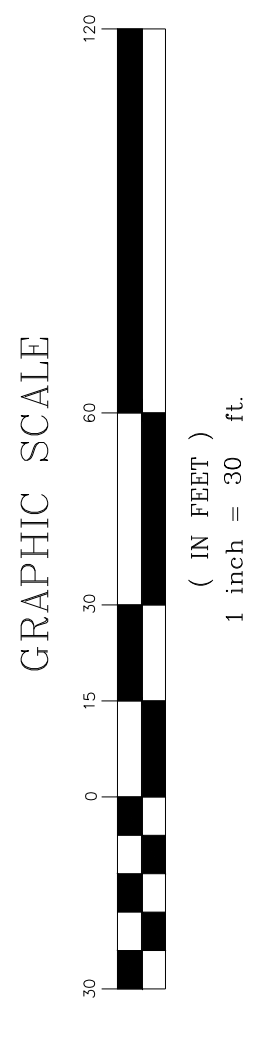
**TOWN OF SOUTHAMPTON
HAMPTON WEST PARK**

LiRo Engineers, Inc.
GISI Consulting Group Company
Mineola, N.Y. 516-746-2350 (T)

SCALE: AS SHOWN
PLAN: _____
PROFILE: _____
HORIZ: _____
VERT: _____
DATE: DEC 2025
DRAWING NUMBER: ESC-100
SHEET NUMBER: 08 OF 09

DESIGNED BY: CS DRAFTED BY: CS CHECKED BY: DL PROJECT NO.: 26-148-0427

NOTE: The Engineer of the New York State Education Law for any profession, unless the drawing and/or related specifications, all alterations must be made in compliance with the applicable laws and regulations of the Professional Engineer whose seal, signature and stamp are required for any such alteration or re-use without his written consent.



**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Hampton West Park		
Project Location (describe, and attach a general location map): 700 Stewart Avenue, Westhampton		
Brief Description of Proposed Action (include purpose or need): To revitalize and rehabilitat the pre-existing Town park facility by clearing 4,356 square feet of existing natural vegetation, in order to demolish and re-construct the existing sports courts; demolish existing asphalt courts; expand and formalize the existing parking areas; install bio-swales for the capture and recharge of runoff associated with the parking areas; construct a comfort station and associated innovative/alternative on-site wastewater treatment system (I/A OWTS); install evergreen screening and re-vegetate approximately 17,000 square feet of the parcel by planting pitch pine seedlings, followed by allowance for natural recovery and vegetative succession.		
Name of Applicant/Sponsor: Town of Southampton c/o Parks and Recreation		Telephone: 631-728-8585 E-Mail: KDoulos@southamptontownny.gov
Address: 116 Hampton Road		
City/PO: Southampton	State: NY	Zip Code: 11968
Project Contact (if not same as sponsor; give name and title/role): Janice Scherer, Town Planning and Development Administrator		Telephone: 631-702-1800 E-Mail: JScherer@southamptontownny.gov
Address: 116 Hampton Road		
City/PO: Southampton	State: NY	Zip Code: 11968
Property Owner (if not same as sponsor):		Telephone: E-Mail:
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, or Village Board of Trustees <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Funding	January 2026
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Administrative Site Plan	Spring 2026
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Central Pine Barrens Joint Planning & Policy Committee	December 2025
g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
<p>i. Coastal Resources.</p> <p><i>i.</i> Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><i>ii.</i> Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><i>iii.</i> Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

The site is a pre-existing park located within an area targeted for open space preservation through the Town's Community Preservation Plan, as well as the area identified as a "Core Preservation Area" in the Long island Central Pine Barrens COmprehensive Land Use Plan.

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
 If Yes, what is the zoning classification(s) including any applicable overlay district?
 Country Residence 200 (CR-200)

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No
 If Yes,
 i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Westhampton School District

b. What police or other public protection forces serve the project site?
Town of Southampton

c. Which fire protection and emergency medical services serve the project site?
Westhampton Fire and Ambulance Districts

d. What parks serve the project site?
The subject premises is operated as an active recreational park by the Town of Southampton.

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Recreational.

b. a. Total acreage of the site of the proposed action? _____ 17.7 acres
 b. Total acreage to be physically disturbed? _____ <3 acres
 c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ approx. 17.7 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
 i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No
 If Yes,
 i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) _____
 ii. Is a cluster/conservation layout proposed? Yes No
 iii. Number of lots proposed? _____
 iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No
 i. If No, anticipated period of construction: _____ months
 ii. If Yes:
 • Total number of phases anticipated _____
 • Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
 • Anticipated completion date of final phase _____ month _____ year
 • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,
 i. Total number of structures 1
 ii. Dimensions (in feet) of largest proposed structure: <20 height; 14 width; and 24 length
 iii. Approximate extent of building space to be heated or cooled: 336 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,
 i. Purpose of the impoundment: _____
 ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
 iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
 v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:
 i. What is the purpose of the excavation or dredging? Installation of the innovative/alternative on-site wastewater treatment system.
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): <500 cubic yards
 • Over what duration of time? <6 months
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

 iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

 v. What is the total area to be dredged or excavated? _____ <1 acres
 vi. What is the maximum area to be worked at any one time? _____ <3 acres
 vii. What would be the maximum depth of excavation or dredging? _____ <20 feet
 viii. Will the excavation require blasting? Yes No
 ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No
 If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No
 If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No
 If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No
 If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No
 If, Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No
 If Yes:

i. Total anticipated liquid waste generation per day: _____ <500 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No
 If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ <3 acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?
 Bio-swales will be constructed within the newly formalized parking area. _____

 • If to surface waters, identify receiving water bodies or wetlands: _____

 • Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ 7 am - 5 pm • Saturday: _____ • Sunday: _____ • Holidays: _____ 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ Sunrise to sunset • Saturday: _____ Sunrise to sunset • Sunday: _____ Sunrise to sunset • Holidays: _____ Sunrise to sunset
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration: _____

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
Describe: _____

n. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: _____

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s): _____

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: _____
- Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): Recreational
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	<2 acres	<2 acres	<1 acres
• Forested	9.9 acres	Approx. 10 acres	approx. 17,000 sq. ft.
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: <u>recreational playing fields, astroturf</u>	Approx. 6.4	Approx. 6.4	0

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: The Town of Southampton owns and operates this facility as an active recreational park identified as "Hampton West" park.

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:
The subject premises is a Town owned and operated park, which serves children, elderly and people with disabilities.

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:
• Dam height: _____ feet
• Dam length: _____ feet
• Surface area: _____ acres
• Volume impounded: _____ gallons OR acre-feet
ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No
• If yes, cite sources/documentation: _____
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____
iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): 152224
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): 152224
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ >25 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ >20 feet

e. Drainage status of project site soils: Well Drained: _____ 100 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ 100 % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No

If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:

i. Name of aquifer: Nassau-Suffolk SSA

<p>m. Identify the predominant wildlife species that occupy or use the project site:</p> <table style="width: 100%; border: none;"> <tr> <td style="width: 33%; border-bottom: 1px solid black;">White Tailed Deer</td> <td style="width: 33%; border-bottom: 1px solid black;">Northern Long Eared Bat</td> <td style="width: 33%; border-bottom: 1px solid black;">Racoon</td> </tr> <tr> <td style="border-bottom: 1px solid black;">Turkey</td> <td style="border-bottom: 1px solid black;">Coastal Buckmoth</td> <td style="border-bottom: 1px solid black;"></td> </tr> </table>			White Tailed Deer	Northern Long Eared Bat	Racoon	Turkey	Coastal Buckmoth	
White Tailed Deer	Northern Long Eared Bat	Racoon						
Turkey	Coastal Buckmoth							
<p>n. Does the project site contain a designated significant natural community? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p>Pitch Pine - Oak Forest, Pitch Pine - Oak Heath Woodland</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ 2690.509, 2903.889 acres • Following completion of project as proposed: _____ 2690.509, 2903.889 acres • Gain or loss (indicate + or -): _____ 0 acres 								
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>Frosted Elfin, Northern Long Eared Bat</p>								
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p>								
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p>								
<p>E.3. Designated Public Resources On or Near Project Site</p>								
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>								
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site? _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>								
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p>								
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: Dwarf Pine Forest, SGPA, Central Suffolk Pine Barrens, Aquifer Protection Overlay District</p> <p style="margin-left: 20px;">ii. Basis for designation: Benefit to human health & protection drinking water, protect groundwater and preserve pure water quality</p> <p style="margin-left: 20px;">iii. Designating agency and date: 2/10/88, 3/19/93, 6/20/84, Suffolk County</p>								

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____ _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

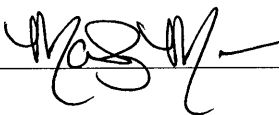
Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

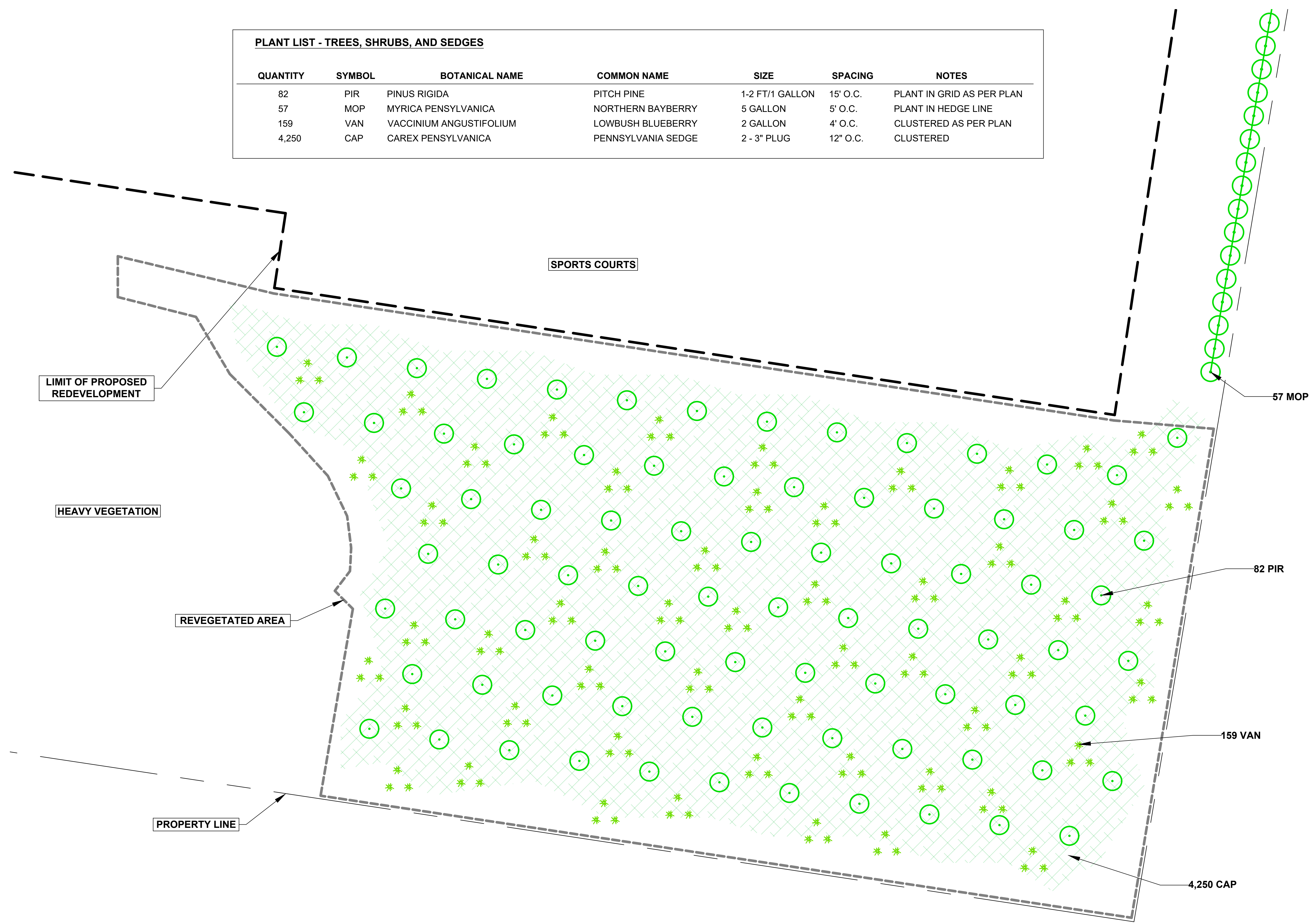
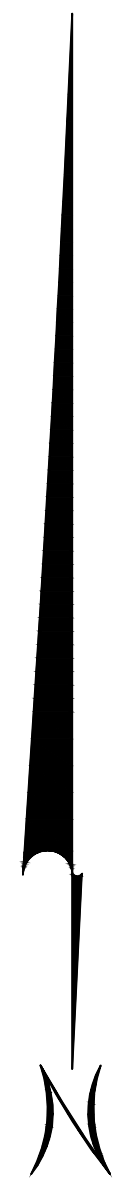
Applicant/Sponsor Name Maria Moore Date 2/3/2026

Signature  Title Town Supervisor



HAMPTON WEST PARK
700 STEWART AVENUE
WESTHAMPTON, NY 11977

PLANT LIST - TREES, SHRUBS, AND SEDGES						
QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
82	PIR	PINUS RIGIDA	PITCH PINE	1-2 FT/1 GALLON	15' O.C.	PLANT IN GRID AS PER PLAN
57	MOP	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	5 GALLON	5' O.C.	PLANT IN HEDGE LINE
159	VAN	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	2 GALLON	4' O.C.	CLUSTERED AS PER PLAN
4,250	CAP	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	2 - 3" PLUG	12" O.C.	CLUSTERED



REVEGETATION PLAN

DATE: FEB 4, 2026

DRAWN BY: DLB

SCALE: 1" = 10'-0"

REVISIONS:

SHEET NO.

1