



**Central Pine Barrens Commission Meeting Agenda**  
**Wednesday, March 18, 2026 at 2:00 pm**  
**Brookhaven Town Hall**  
**One Independence Hill, Farmingville, NY**

**1. Administrative and Public Comment**

- a. Public Comment
- b. Minutes for Commission Meeting of February 18, 2026 review (*approve*)
- c. Authorize execution of Memorandum of Understanding Brookhaven National Laboratory
- d. Authorize execution of Memorandum of Understanding with State University of New York College of Environmental Science and Forestry
- e. Review of a draft resolution to approve the Commission's Prescribed Fire Contract Budget #DEC01-C01014GG, from April 1, 2025 to September 30, 2026

Ryan P. McGarry  
*Chairman*

Jerome Halpin  
*Member*

Maria Z. Moore  
*Member*

Daniel J. Panico  
*Member*

Edward P. Romaine  
*Member*

**2. Invoices for Payment**

- a. Invoices for Judy Jakobsen, Consultant: Invoice numbers 2026-03 to 07 for the total amount of \$4,432.00 from January 26, 2026 to February 27, 2026
- b. Invoices for SWCA Consultant for the US Forest Service Grant to prepare the Southampton Community Wildfire Protection Plan in the total amount of \$19,504.65 from October 2025 to February 2026
- c. Invoice for USGS #90160813 dated 2/9/26 in the amount of \$33,676.00 for the expenses from October 1, 2025 to December 31, 2025
- d. Authorize purchase of video equipment and software for the Education Outreach and Communications Division

**3. Planning, Land Use and the Pine Barrens Credit Program  
Compatible Growth Area**

- a. **Brookhaven Town Lead Agency Coordination:** The Meadows at Artist Lake / 200-379-1-3.1, 5.1 and 12 / Middle Country Road, Middle Island / development of mixed use project including 295 residential units, restaurants and retail uses totaling 418,308 square feet, a community park and 29 acres of open space on a 74 acre site in the A1 Residence and J2 Business zoning districts / *draft response*

**4. Public Hearings at 2:30 pm**

- a. **645 Grumman Boulevard** Core Preservation Area Hardship Waiver Application / 600-141-2-2.1 / Calverton / two-phased development project to reuse site with three existing industrial buildings totaling 126,500 square feet and a parking lot for 337 vehicles for the use of indoor cannabis cultivation on a 20 acre site in the Natural Resources Protection zoning district / decision deadline 06/01/26
- b. **Hampton Hills Golf and Country Club** Core Preservation Area Hardship Waiver Application / Northampton / 900-194-1-3 / construction of a restroom building and sanitary system on a 200 acre site with an existing golf and country club in the CR 200 zoning district / decision deadline 06/03/26
- c. **Hampton West Park** Core Preservation Area Hardship Waiver Application / 700 Stewart Avenue, Westhampton / 900-308-4-1.3 / construction of a restroom building and sanitary system and expansion of a parking lot, redevelopment of sports courts and habitat restoration on a 17.7 acre town park in the CR 200 zoning district / decision deadline 06/02/26

**5. Public Comment**

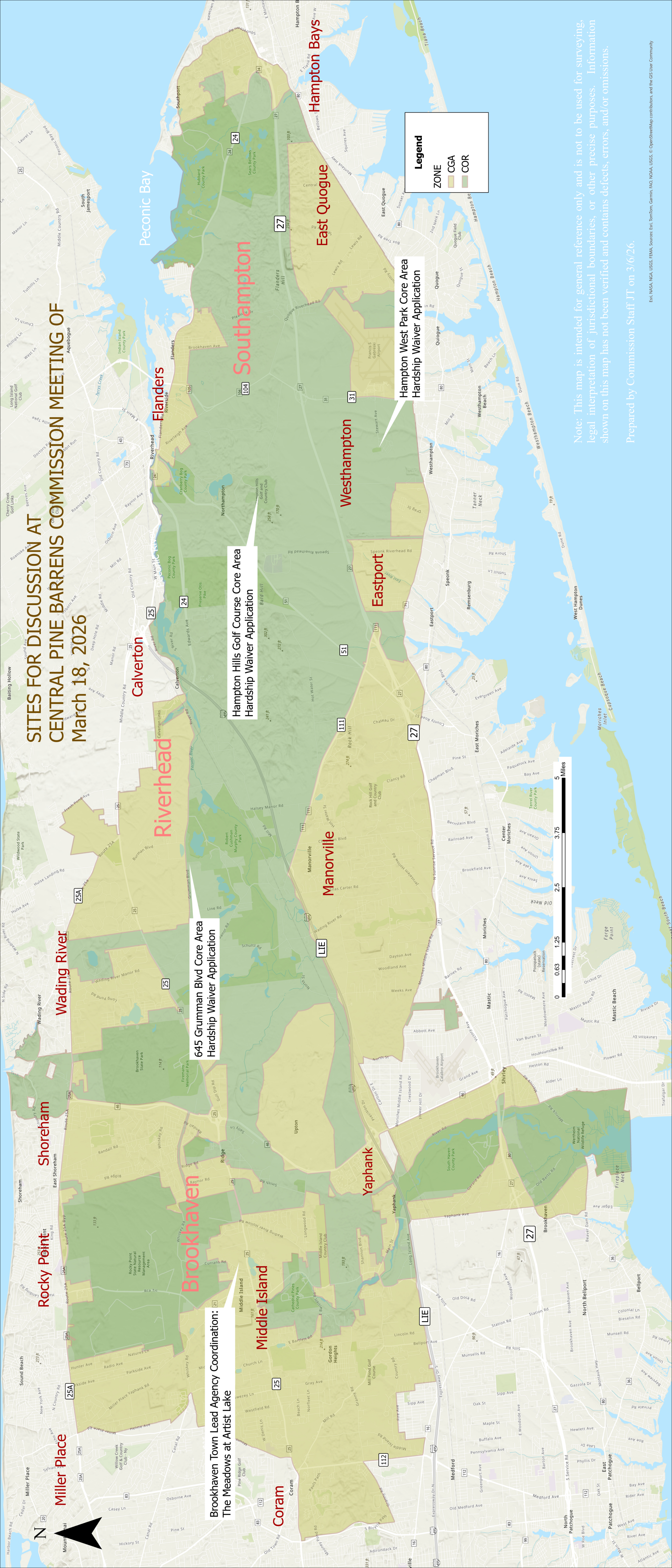
**6. Closed Advisory Session** (if necessary)

624 Old Riverhead Road  
Westhampton Beach, NY  
11978

Phone (631) 288-1079  
[www.pb.state.ny.us](http://www.pb.state.ny.us)

Next Commission Meeting, Wednesday, April 15, 2026 at 2:00 pm  
Southampton Town Hall, 116 Hampton Road, Southampton, NY  
For meeting information visit <https://pb.state.ny.us/>

# SITES FOR DISCUSSION AT CENTRAL PINE BARRENS COMMISSION MEETING OF March 18, 2026



**Hampton Hills Golf Course Core Area  
Hardship Waiver Application**

**645 Grumman Blvd Core Area  
Hardship Waiver Application**

**Brookhaven Town Lead Agency Coordination:  
The Meadows at Artist Lake**

**Hampton West Park Core Area  
Hardship Waiver Application**

**Legend**

<b>ZONE</b>	<b>CGA</b>	<b>COR</b>
[Light Green Box]	[Light Yellow Box]	[Light Blue Box]

Note: This map is intended for general reference only and is not to be used for surveying, legal interpretation of jurisdictional boundaries, or other precise purposes. Information shown on this map has not been verified and contains defects, errors, and/or omissions.

Prepared by Commission Staff JT on 3/6/26.



**Central Pine Barrens Commission Meeting Summary  
Wednesday, February 18, 2026 (DRAFT)  
Brookhaven Town Hall  
One Independence Hill, Farmingville, NY**

**2:00 PM**

*Commission members present: Mr. McGarry (New York State Governor's Representative), Mr. Panico (Brookhaven), Ms. Lansdale (for Suffolk County), Ms. Moore, Mr. Wilcox (for Southampton) and Mr. Charters (for Riverhead)*

*Others present: Commission and other agency staff members included Ms. Hargrave, Mr. Milazzo, Mr. Motz, Mr. Jaquez, Mr. Tverdyy, Mr. Callagy, Mr. Smith, Mr. Ward, Mr. Palestro and Ms. Brown-Walton*

Ryan P. McGarry  
*Chairman*

*The meeting started with the pledge to the flag led by Mr. Panico and Mr. McGarry noted that with five Commission members present, there is a quorum.*

Jerome Halpin  
*Member*

**1. Administrative and Public Comment**

Maria Z. Moore  
*Member*

**a. Public Comment**

*Summary: Mr. Joseph Gazza presented the Commission with a letter about a 47-acre abandoned sand pit located in the Pine Barrens core area. He gave the Commission background information about the property and discussed that he has brought his concerns about this property to the attention of many including the Town of Southampton Code Enforcement Department. Mr. Gazza believes what he anticipated would happen has now taken place. He discussed this property is currently being used for construction and demolition-related activities. Large portions of the site have been leveled, and the land has reportedly been divided into sections. Concrete walls have been installed around these sections, and the spaces are being rented out to other businesses. This raises serious concerns about industrial activity occurring within a residentially zoned Pine Barrens Core Area, as well as potential environmental and zoning impacts.*

Daniel J. Panico  
*Member*

Edward P. Romaine  
*Member*

**b. Minutes for Commission Meeting of 01/21/26 review**

*Summary: **The motion was made by Ms. Moore and seconded by Mr. Charters to adopt January 21, 2026 meeting minutes. The motion was approved by 5:0 vote.***

**c. Authorization to pay for three months of seasonal housing for the spring 2026 Prescribed Fire Crew using the NYSDEC Prescribed Fire Contract #C02014G**

*Summary: **The motion was made by Ms. Lansdale and seconded by Mr. McGarry to approve the draft resolution for housing costs at Wertheim National Refuge. The motion was approved by 5:0 vote.***

**d. Invoice #2026-02 to pay Judith Jakobsen, Consultant from 01/15/26 to 01/23/26**

*Summary: **The motion was made by Ms. Moore and seconded by Mr. McGarry to pay invoice #2026-02 to pay Judith Jakobsen, Consultant. The motion was approved by 5:0 vote.***

624 Old Riverhead Road  
Westhampton Beach, NY  
11978

Phone (631) 288-1079  
[www.pb.state.ny.us](http://www.pb.state.ny.us)

- e. *Invoice #2994-1 to pay Wynk Design, Inc. for the 2025 Pine Barrens Annual Report Summary: **The motion was made by Mr. McGarry and seconded by Mr. Panico to pay invoice #2994-1 to Wynk Design, Inc. The motion was approved by 5:0 vote.***

## 2. Division Reports

- a. *Education, Outreach and Communications: update  
Summary: Mr. Motz walked through the Central Pine Barrens Annual Report and discussed highlights and updates on the Education and Outreach division's activities covered in the previously distributed Education and Outreach division report.*
- b. *Science and Stewardship: update  
Summary: Mr. Smith discussed highlights and updates on the Science and Stewardship division's activities covered in the previously distributed Science and Stewardship division report.*
- c. *Compliance and Enforcement Division: update  
Summary: Mr. Callagy discussed highlights and updates on the Compliance and Enforcement division's activities covered in the previously distributed Compliance and Enforcement division report.*
- d. *Credit Program: update  
Summary: Mr. Tverdy discussed highlights and updates on the Credit Program's activities covered in the previously distributed Credit Program division report.*
- e. *Land Use Division: update  
Summary: Ms. Hargrave discussed highlights and updates on the Land Use division's activities covered in the previously distributed Land Use division report.*

## 3. Planning, Land Use and the Pine Barrens Credit Program

### Core Preservation Area

- a. *Gazza Wildfire Buffer Core Preservation Area Hardship Waiver Application / w/s of Old Riverhead Road, Westhampton / remove 1.93 acres of vegetation to minimize wildfire risk on six separate parcels that total 8.4 acres, developed with industrial uses in the LI 40 and CR 200 zoning districts.  
Summary: **The motion was made by Mr. McGarry and seconded by Mr. Charters to approve the extension of the decision deadline to 4/15/26 which will allow the staff to continue reviewing the application and develop a plan to manage the properties being affected. The motion was approved by 5:0 vote.***
- b. *645 Grumman Boulevard Core Preservation Area Hardship Waiver Application / 600-141-2-2.1 / two-phased redevelopment of a 20 acre site with three existing industrial buildings that contain 126,500 square feet and a parking lot for 337 vehicles for the use of indoor cannabis cultivation in the Natural Resources Protection zoning district  
Summary: **The motion was made by Mr. Charters and seconded by Ms. Moore to approve scheduling a public hearing at 2:30 on March 18, 2026 and commence the SEQRA process. The motion was approved by 5:0 vote.***

- c. *Hampton Hills Golf Course Core Preservation Area Hardship Waiver Application / Northampton / 900-194-1-3 / development of a 208 square foot restroom building and I/A system*  
**Summary: The motion was made by Ms. Moore and seconded by Mr. Panico to approve scheduling a public hearing at 2:30 pm on March 18, 2026. The motion was approved by 5:0 vote.**
- d. *Hampton West Park Core Preservation Area Hardship Waiver Application / Stewart Avenue, Westhampton / 900-308-4-1.3 / development of a restroom building and redevelopment of the parking lot and sports courts on 17.7 acre town park in the CR 200 zoning district*  
**Summary: The motion was made by Mr. McGarry and seconded by Mr. Charters to approve scheduling a public hearing at 2:30 pm on March 18, 2026. The motion was approved by 5:0 vote.**

### **Compatible Growth Area**

- e. *Brookhaven Town referral: Elite Towers @ Country Farms / 200 Bellport Avenue, Medford/ 200-609-2-2.3 / development of a 150 foot tall monopole and a 2,500 square foot equipment area on 12.6 acres in the Horse Farm zoning district*  
**Summary: The motion was made by Ms. Moore and seconded by Mr. Panico to approve sending the draft response to Brookhaven Town. The motion was approved by 5:0 vote.**
- f. *Riverhead Town referral: Draft Scope for the DEIS for Duffy MX Motocross Track / 2822 River Road, Calverton / 600-136-1-4 / draft scope for the project to develop a motocross facility including the removal of 120,000 cubic yards of soil on 15 acres in the Calverton Industrial zoning district*  
**Summary: The motion was made by Mr. McGarry and seconded by Mr. Panico to approve sending the draft response to Riverhead Town. The motion was approved by 5:0 vote.**
- g. *Southampton Town referral: Northwell Health Subdivision / n/s Old Country Road, Eastport / 900-325-1-2, 2.2 / development of 46 lot subdivision on 44 acres in the CR 60 and CR 200 zoning districts*  
**Summary: The motion was made by Mr. Panico and seconded by Ms. Lansdale to approve sending the draft response to Southampton Town. The motion was approved by 5:0 vote.**
- h. *Letter received: Hampton Bays Sewage Treatment Plant / NYS Route 24, Flanders / 900-205-1-1.3 / development of 550,000 gallon community scale sewage treatment plant in a Critical Resource Area on 32 acres in the CR 80 zoning*  
**Summary: The staff presented letters received by the surrounding community members in opposition to the project. The project would have to be presented to the Commission because it is in a Critical Resource Area.**
- i. *NYSDEC referral: East Quogue Farms irrigation well / Lewis Road / 900-288-1-64.1 and 65.1 / construct new 300 gallon per minute irrigation well*  
**Summary: The motion was made by Ms. Moore and seconded by Mr. Panico to approve sending the draft response to NYSDEC. The motion was approved by 5:0 vote.**

**4. Public Comment**

*Summary: Mr. Michael Hillebrand discussed his dissatisfaction regarding the contemplated development of a Sewage Treatment Plant that would service portions of Hampton Bays business district and vicinity. The location of the STP is situated within the Central Pine Barrens Compatible Growth Area. There are several reasons this project should not be considered. Mr. Hillebrand referred to the letter he submitted on this matter*

*Ms. Nina Leonhart discussed her concern about the Northwell Eastport project and she agrees that the Sewage Treatment Plant is a good project, but it should be in a more developed location.*

*A motion was made by Mr. McGarry and seconded by Ms. Moore to close the meeting. The motion was approved by a 5:0 vote.*

*The meeting was adjourned at approximately 3:00pm.*

Attachments (in order of discussion)

1. Draft Commission meeting summary for January 21, 2026
2. Final Commission meeting summary for January 21, 2026
3. Draft resolution to authorize payment for housing costs at Wertheim National Wildlife Refuge for the Seasonal Prescribed Fire Crew dated February 18, 2026
4. Final resolution to authorize payment for housing costs at Wertheim National Wildlife Refuge for the Seasonal Prescribed Fire Crew dated February 18, 2026
5. Judith Jakobsen invoice #2026-02 dated January 26, 2026
6. Wynk Design, Inc invoice #2994-1 dated February 9, 2026
7. Education Outreach and Communication Division update dated February 2026; Central Pine Barrens Annual Report dated 2025
8. Science Stewardship Division update dated February 18, 2026
9. New York Wildfire and Incident Management Academy update dated December 2025
10. Compliance and Enforcement Division update dated January - February 2026
11. Credit Program update dated February 18, 2026
12. Land Use Division update dated February 18, 2026
13. Draft resolution 645 Grumman Blvd Core Preservation Area Hardship Waiver Application dated February 18, 2026; Signature Core Preservation Area Hardship Application for 645 Grumman dated February 2026
14. Final resolution 645 Grumman Blvd Core Preservation Area Hardship Waiver Application dated February 18, 2026
15. First Coast Hampton Hills Country Club Core Preservation Area Hardship Application dated January 27, 2026
16. Conformance Letter to Hardship Waiver and attachments from the Town of Southampton Planning and Development dated February 3, 2026; Letter from the Town of Southampton Parks and Recreation Department regarding Hampton West Park Core Preservation Area Hardship Application dated January 12, 2026
17. Draft response regarding referral: Elite Towers at Country Farms dated February 18, 2026; Memo, maps and application from the Town of Brookhaven dated February 2, 2026
18. Final response regarding referral: Elite Towers of Country Farms dated February 18, 2026
19. Draft response regarding SEQRA Draft Scope for Draft EIS for Duffy MX Motorcross Track dated February 18, 2026; Letter and attachments from the Town of Riverhead dated January 29, 2026
20. Final response regarding SEQRA Draft Scope for Draft EIS for Duffy MX Motorcross Track dated February 18, 2026
21. Draft response regarding Northwell Eastport Development dated February 18, 2026; Letter and attachments from the Town of Southampton dated January 13, 2026
22. Final response regarding Northwell Eastport Development dated February 18, 2026
23. Letter and attachments from Michael Hillebrand regarding Proposed Sewage Treatment Plant in the Pine Barrens dated January 20, 2026; email from Christopher Gulotta dated February 18, 2026; Letter from FPM Group dated February 9, 2026; Letter from Jeffrey Seeman dated February 15, 2026
24. Draft response regarding NYSDEC Referral; East Quogue Farms, LLC dated February 18, 2026; Letter and survey from PWGC dated December 1, 2026.
25. Final response regarding NYSDEC Referral; East Quogue Farms, LLC dated February 18, 2026

MEMORANDUM OF UNDERSTANDING  
Between  
CENTRAL PINE BARRENS JOINT PLANNING AND POLICY COMMISSION  
and  
U.S. DEPARTMENT OF ENERGY, BROOKHAVEN SITE OFFICE  
and  
BROOKHAVEN SCIENCE ASSOCIATES, LLC, AS MANAGER AND OPERATOR OF  
BROOKHAVEN NATIONAL LABORATORY  
UPTON,NY

**ARTICLE I. BACKGROUND & OBJECTIVES**

This Memorandum of Understanding ("MOU") among the Central Pine Barrens Joint Planning and Policy Commission ("Commission"), and the United States Department of Energy, Brookhaven Site Office ("Landowner") and, the Brookhaven Science Associates ("BSA"), LLC, under contract with the Landowner to manage and operate the Brookhaven National Laboratory ("BNL"), having its principal place of business at Upton, NY 11973 is made to facilitate and strengthen collaboration opportunities in ecological stewardship, wildland fire prevention, management and training; ecological research, and education and outreach activities. The MOU provides for the limited interchange of personnel, equipment, information, and funds to obtain these goals.

**WITNESSETH**

**WHEREAS**, BSA's policy is to protect the environment, conserve resources, and prevent pollution; and

**WHEREAS**, BNL is a multidiscipline U.S. Department of Energy (DOE) research laboratory with research supporting seven Nobel Prizes to its credit and is one of the world's leading basic and applied science, engineering and technology laboratories in the world. BNL is managed and operated by BSA pursuant to Contract No. DE- SC0012704; and

**WHEREAS**, the BSA manages the 5,265 acres of property, all of which is located in the Central Pine Barrens; and

**WHEREAS**, the Commission protects and helps manage over 106,000 acres of public and private lands within the Central Pine Barrens Core Preservation Area and Compatible Growth Area; and

**WHEREAS**, the pitch pine-scrub oak barrens or pine barrens in Suffolk County and the Towns of Brookhaven, Riverhead and Southampton and known as the "Central Pine Barrens" is a landscape of rare and endangered natural communities and species identified by the New York Natural Heritage Program and is a fire adapted and dependent habitat; and

**WHEREAS**, the Commission was established in New York Environmental Conservation Law Article 57, the Long Island Pine Barrens Maritime Reserve Act of 1990 as amended by the Long Island Pine Barrens Protection Act of 1993 in which the New York State Legislature declared it to be in the public interest to protect and manage the Central Pine Barrens by establishing a Central Pine Barrens Joint Planning and Policy Commission; and

**WHEREAS**, The Act and Central Pine Barrens Comprehensive Land Use Plan, first adopted in June of 1995, charge the Commission with the combined duties of a state agency, a planning board and a park commission. The Commission has joint land use review and regulation, permitting, and enforcement

authority along with local municipalities, and also oversees the implementation of the land use plan. The Act also assigned the Commission stewardship and protected land management and ecological management responsibilities; and

**WHEREAS**, Natural resource management actions using best management practices are identified as a necessity in this Comprehensive Land Use Plan to protect, preserve and enhance the functional integrity of the Pine Barrens ecosystem and its significant natural resources, and that prescribed fire and ecologically designed land management actions are specifically listed as resource management tools in this Plan; and

**WHEREAS**, the unique State-of-the-Art facilities at BNL, the Upton Ecological Research Reserve at BNL, and the surrounding pine barrens, provide tremendous opportunities for the Commission and BSA in the development of joint research programs/projects training the next generation of scientific and technical workforce, and the partnering in outreach and enrichment programs including through the planned development of Discovery Park; and

**WHEREAS**, the Commission and BSA have expertise in prescribed burning and wildland fire management as well as natural resource management; and

**WHEREAS**, the Commission and BSA currently employ personnel and equipment capable of performing prescribed burning and wildland fire suppression and other natural resource management work; and

**WHEREAS**, it is to the mutual benefit of both parties to combine resources on certain natural resource management projects including, BSA's prescribed fire program; and

**WHEREAS**, the Commission's mission is to provide leadership, resources and expertise, in the safe and appropriate use of prescribed fire for public protection and ecosystem management and suppression of wildfires; and

**WHEREAS**, NYWIMA's mission is to develop fire management and firefighting safety awareness among firefighting organizations and public officials as well as to encourage interagency cooperation, coordination and exchange of knowledge, information and technology among all levels of government; and

**WHEREAS**, BNL lies within the Ridge, Manorville, Calverton Community Wildfire Protection Area and the resulting management plan was adopted by the Commission and to which BSA and the Landowner were signatories and which identifies the need for wildfire mitigation such as prescribed fire within the naturally vegetated areas of BNL; and

**WHEREAS**, the MOU provides for the use of BNL lands, facilities, and equipment necessary for the Commission to carry out education programming, conferences, and NYWIMA as pre-approved, authorized, and coordinated in advance of programs, activities, and events; and

**WHEREAS**, both the Commission and BSA have MOUs with the State University of New York, College of Environmental Science and Forestry for conducting research at BNL and the greater Central Pine Barrens area; and

**WHEREAS**, the MOU provides for the limited interchange of personnel, equipment, and information to obtain these goals.

**NOW THEREFORE**, the parties state their mutual understandings as follows:

## **ARTICLE II. SCOPE**

1. Ecological Stewardship and Management
  - a. Personnel and equipment may be provided by the Commission to BSA, or by BSA to the Commission as requested, in matters relating to ecological stewardship and management projects and efforts, to be undertaken by the Commission on BNL lands, in cooperation with BSA and the Landowner and involving, but not limited to:
    1. Ecological assessments
    2. Natural resource management planning and implementation
    3. Fire management planning
    4. Invasive species management
    5. Scientific and statistical analysis
    6. Mobilization of resources
    7. Monitoring and evaluation of management treatments
    8. Natural resources inventory
    9. Technical assistance
    10. Integrated pest management
    - 11.** Ecological research
    12. Data collection
    13. Reporting
    14. Wildfire prevention and mitigation
    15. Prescribed fire implementation
    16. Fire training and qualification
    17. Training and professional development
2. Fire Management:
  - a. Fire management activities may be undertaken by the Commission on BNL lands, at the request of BSA and in cooperation with BSA and the Landowner. Personnel and equipment may be provided by the Commission to BSA, or by BSA to the Commission as requested. Release of personnel and equipment shall be at the discretion of the Commission Executive Director or his/her designee or BNL Fire Rescue or Natural Resource Manager as deemed appropriate, and depending on workload, priorities, and fire danger. Staff and equipment may be used for:
    1. Technical assistance including preparation or review of fire management plans and prescribed burn plans.
    2. Fire danger monitoring and reporting.
    3. Pre-burn preparations including vegetation and fuel load sampling, control line construction and maintenance, environmental monitoring, and fuels manipulation.
    4. Prescribed burn implementation including project supervision, ignition, holding, fire behavior and weather monitoring, and mop-up.
    5. Fire suppression needs directly relating to or resulting from any participated in prescribed fire management actions
    6. Post-burn monitoring and evaluation.
  - b. The assisting party will be given an opportunity to assist in the development of individual prescribed burn plans, or review and provide comments to the administering party.

Contingency planning in the event of an escaped fire will be an essential element of each plan.

- c. A chief-of-party will be designated for the assisting party's employees and equipment. The chief-of-party will work closely with the prescribed Burn Boss. If the chief-of-party determines that the proposed burn is unsafe or has serious concerns about the advisability of burning, and is unable to reach a satisfactory agreement with the Burn Boss to rectify the situation, he or she retains the option of withdrawing the assisting party's resources.
  - d. Each party will provide and be responsible for salary or wage costs of its own employees and operation, maintenance and repair of its own equipment.
  - e. Commission, Landowner, and BSA shall honor the Prescribed Burn Boss qualifications standards of the cooperating party when the cooperator furnishes a Burn Boss. Commission and BSA cooperators are encouraged to exchange more detailed information on individual Burn Boss qualifications and experience to ensure that appropriate individuals are placed in charge of burn projects affecting the Landowner's property. The selected Burn Boss will review the training, experience, and physical fitness of all other burn crew members to ensure that they meet the minimum standards of the party on whose land the burn is conducted. As a minimum, all BSA employees working on Commission fire suppression details or burn projects will have received S-130 Basic Firefighter and S-190 Introduction to Fire Behavior training. Commission employees working on BNL lands will meet the same qualifications standards as when working on other Commission-led prescribed fire operations.
  - f. Commission employees working on BNL lands will wear the Commission-required personal protective equipment consisting of Nomex shirt and trousers or jumpsuits, fire-resistant hard hat with chinstrap, leather gloves, 8" high leather boots, fire shelter, and Goggles and hearing protection will be carried and worn if needed. BSA employees working with Commission lead operations are required to wear the same equipment; items may be assigned by the Commission to BSA employees as needed.
  - g. BSA and the Commission will keep each other informed of upcoming training opportunities, and on a space available basis, fire training programs of the Commission, such as those available through NYWIMA, will be open to BSA and Landowner staff. The cost of training will be borne by the attendees of the Commission or BSA, as is most appropriate. The Commission is allowed, after receiving permission from BSA, to jointly utilize BNL facilities, land, and equipment to conduct its New York Wildfire and Incident Management Academy (NYWIMA),
3. Education and Outreach
- a. The Commission and BSA will work cooperatively to advance the development of a next generation workforce in the environmental sciences and more broadly in STEM to support their respective missions. To that end, the Commission and BSA will seek to provide resources within the constraints of their charter and contract as applicable to provide educational and enrichment programs supporting the environmental sciences for students, educators and the community through:
    - 1. Development of field based and remote access/virtual community science projects, programs and activities accessible to students and educators,
    - 2. Utilization of facilities and properties managed and/or accessible to the

Commission and BNL to provide research and learning opportunities for students, educators and the community. Examples include the implementation of Day in the Life program activities, nature trails, sampling in areas like the Upton Ecological Research Reserve and research forums and seminars.

3. Provision of resources as appropriate to support student development through existing programs such as high school and university student internships, teacher training workshops, and other activities hosted by both organizations.
  4. Advance the development of underrepresented and underserved groups in the environmental sciences and STEM more broadly through existing programs and the development of new programs as agreeable to both the Commission and BSA.
- b. The Commission and BSA will cooperatively conduct outreach reflecting the program opportunities and impact of work conducted jointly in workforce development for the environmental sciences and STEM; programs and activities that promote and support environmental stewardship.
  - c. The Commission and BSA will undertake joint communication of programs achievements through news articles scientific and educational publications, social media, posters and talk at scientific and educational events.

### **ARTICLE III. TERMS**

- a. This MOU will be in effect for a period of five (5) years from the date of final signature. This MOU may be amended upon mutual written consent of the Parties. This MOU may be terminated by any Party upon ninety (90) days written notice to the other Party.
- b. The Parties acknowledge that they are entering into this MOU in a spirit of cooperation. While the Parties to this MOU believe that it is desirable that the Parties be able to contribute as effectively as possible to the collaboration effort, it is understood that they cannot make promises in advance to commit specific resources. The Parties do, however, pledge to use best efforts to identify and secure sufficient support for the proposed activities. It is further acknowledged that the Parties are entering into this agreement with the understanding that it is not intended to be legally binding on any Party.
- c. Research proposed under this MOU will be conducted under and subject to separate research or technology transfer agreements authorized under the BSA M&O contract. Therefore, the Parties may desire to enter into such a separate research agreement, for a particular project, which would include standard DOE approved provisions addressing Intellectual Property (IP), Publication, etc. and to the extent permissible under the BSA M&O contract as mutually agreed by the Parties.
- d. The Parties agree that press releases or other public statements regarding this collaboration or the results thereof shall be issued upon mutual consultation and consent.
- e. In the event that any Party desires to share proprietary information with the other Parties in furtherance of the collaboration, a specific non-disclosure agreement will be executed to fit the circumstances of the perceived need for the information

on a case-by-case basis.

- f. Unless otherwise specified, this MOU embodies the entire understanding between the parties and any prior representation is hereby superseded.
- g. Nothing in this MOU shall prevent BSA from fulfilling its obligations under the terms of the contract between BSA and DOE.
- h. Any notices required hereunder shall be in writing signed by the Party giving it, and shall be served personally or sent by registered or certified mail to the individuals listed under Article IV below, or to such other addressee as may be hereafter designated by notice. All such notices become effective when received by the addressee. The Commission and BSA each agree to be responsible for any and all causes of action in law or equity arising directly from and attributable to the negligence of its respective employees, agents, or contractors.
- i. It is understood that for the purposes of Commission and Federal worker's compensation coverage, employees of the Commission assisting in prescribed burns or other ecological stewardship activities on BNL lands are to be considered as employees of the Commission and not BSA's employees.
- J. It is understood that for purposes of BSA's worker's compensation coverage employees of BSA assisting in prescribed burns or other ecological stewardship activities on Commission-led operations are to be considered employees of BSA and not the Commission.
- k. Nothing herein contained shall be construed as binding the Commission to expend in any one fiscal year any sum in excess of appropriations made by or administratively allocated for the purpose of this MOU for that fiscal year, or to involve the Commission itself in any contract or other obligation for the further expenditure of money in excess of such appropriations or allocations.
- l. The performance by BSA of any of the terms, covenants, or conditions in this MOU which BSA is obligated to perform shall be subject to the availability of funds appropriated and allotted by the United States Congress for operation of the Brookhaven National Laboratory. Nothing shall be construed as implying that Congress will, at a later date, appropriate sufficient funds. Furthermore, it is understood that, unless otherwise expressly provided for elsewhere in this MOU or subsequent specific burn plan or project, the Commission waives any right, claim, or entitlement of compensation for the services provided to BSA under this MOU.
- m. BSA will allow the Commission to advertise and conduct Commission-sponsored events including NYWIMA and the Pine Barrens Research Forum. Specific events may require additional permits or use agreements to be prepared by BSA. This Agreement does not obligate BSA to issue any permit or agreement that may be required: BSA commits to fairly considering all events and activities but cannot commit to the outcome of any future proposal.

## ARTICLE IV. KEY OFFICIALS

### 1. Central Pine Barrens Joint Planning and Policy Commission

Name: Julie Hargrave or successor  
Title: Interim Executive Director  
Address: 624 Old Riverhead Road Westhampton Beach, NY 11978  
Phone: 631-288-1079  
Email: Julie.Hargrave@SCWA.com

### 2. Department of Energy

Name: Robert Gordon or successor  
Title: Manager Brookhaven Site Office  
Address: Bldg. 464, Upton, NY 11973  
Phone: 631-344-3346  
Email: robert.gordon@science.doe.gov

### 3. Brookhaven Science Associates/ Brookhaven National Laboratory

The designated senior manager responsible for BSA-DOE-Commission collaboration:

Name: Doon Gibbs or successor  
Title: Laboratory Director  
Address: Bldg. 460, Upton, NY  
Phone: 631-344-5803  
Email: .

**IN WITNESS WHEREOF**, the said parties hereunto subscribe their names.

Central Pine Barrens Joint Planning and Policy Commission  
624 Old Riverhead Road  
Westhampton Beach, NY 11978

\_\_\_\_\_  
Signature

(Name and Title)

\_\_\_\_\_  
(Date)

Brookhaven Science Associates, LLC  
Brookhaven National Laboratory  
Upton, NY-11973

U.S. Department of Energy  
Brookhaven Site Office  
53 Bell Avenue, BLDG 464  
Upton, NY 11973-5000

(Signature)

\_\_\_\_\_  
(Signature)

\_\_\_\_\_  
(Name and Title)

\_\_\_\_\_  
(Name and Title)

\_\_\_\_\_  
(Date)

\_\_\_\_\_  
(Date)

**Memorandum of Understanding**  
**Between**  
**Central Pine Barrens Joint Planning and Policy Commission**  
**and**  
**The Research Foundation for The State University of New York**  
**with offices at the**  
**State University of New York College of Environmental Science and Forestry**

**ARTICLE I. BACKGROUND AND OBJECTIVES**

This Memorandum of Understanding ("MOU") between The Research Foundation for the State University of New York with offices at the State University of New York College of Environmental Science and Forestry("ESF"), a non-profit educational corporation chartered by the Board of Regents and existing under the laws of the State of New York, and having its principal place of business located at 35 State Street, Albany, New York 12207, hereinafter referred to as "Foundation"; and the Central Pine Barrens Joint Planning and Policy Commission (Commission) having its principal place of business at 624 Old Riverhead Road, Westhampton Beach, NY 11978 (collectively, the "Parties") is made to foster and strengthen collaboration opportunities in research, education and outreach activities within the Central Pine Barrens.

WHEREAS, ESF, a non-profit education institution having a mission to advance knowledge and skills to promote the leadership necessary for the stewardship of both the natural and designed environments has a strong interest in collaborating with the Commission to explore avenues to conduct environmental research, education and outreach within the Central Pine Barrens of New York.

WHEREAS, Foundation is the fiduciary agent for the State University of New York through which all ESF extramural research awards are administered.

WHEREAS, the Commission, acting under the authority of New York State Environmental Conservation Law (ECL) Article 57, is empowered to plan, manage and oversee land use within the Central Pine Barrens to protect, preserve and enhance the functional integrity of the Pine Barrens ecosystem and its vast and significant natural resources (including plant and animal populations and communities); vital groundwater and surface waters; and diverse agricultural, historical, cultural and recreational resources for current and future generations.

WHEREAS, scientific research and education and outreach within the Central Pine Barrens is critical to the understanding of an ecosystem's response to environmental and anthropogenic stressors and management activities and species-specific dependencies and the publics' awareness of ecosystem management and processes in order to inform progressive and adaptive management; educational programming and training and land use policies within the Central Pine Barrens.

WHEREAS an agreement between RFSUNY and the Commission would be mutually beneficial by expanding the expertise and resources available to be applied to the development and implementation of joint research programs/projects, training of the next generation of scientific and technical workforce. These will provide significant benefits to both Parties for research collaborations, allow for the development of a pool of students trained in areas of ecological science and will contribute to the overall economic and scientific development and environmental stewardship of New York State. Furthermore, because the ESF faculty are international leaders in their fields of expertise and because ESF students are among the best in the nation, these factors will facilitate important collaborations focused on environmental discovery, learning and sustainability that will advance the mission of ESF.

NOW THEREFORE, the Parties state their mutual understandings as follows:

## **ARTICLE II. STATEMENT OF WORK**

The Commission and RFSUNY will work together to develop mutually beneficial relationships in research, and public service in New York State.

- a) 1) The Commission and RFSUNY will identify areas of research interest that are compatible with ESF faculty and research priorities and that will assist the Commission in carrying out its mission. In particular, ESF will identify research initiatives, degree programs, certifications, and professional development activities that would benefit from access to Commission staff and facilities and equipment; and ESF researchers will detail opportunities for mutually beneficial collaborative interdisciplinary research in sustainability technologies, environmental sciences, engineering, and biological sciences and inclusive of scientific computation.
  - b) The Commission and RFSUNY will develop multiple pathways for supporting and engaging graduate students, such as provisions for dissertation research with joint Commission/RFSUNY research projects and/or use of Commission's staff and equipment.
  - c) The Commission and RFSUNY will develop multiple pathways to engage undergraduate students in research in citizen science research programs with a focus on environmental science and sustainability.
  - d) The Commission and RFSUNY will aid in the development of Pine Barrens Research Forums in which to share findings from monitoring and research to inform activities such as ecosystem trends, adaptive management, land use policies, and the protection of rare, threatened and endangered species.
  - e) The Commission and RFSUNY will seek to identify and co-advise graduate student candidates to conduct thesis and/or dissertation research on joint projects.
  - f) The Commission and RFSUNY will seek to place undergraduate students in internships at the Commission.
  - g) The Commission and RFSUNY will seek collaborative research opportunities to engage with students underrepresented in STEM fields and/or teachers and university faculty serving those audiences.
  - h) The Commission and RFSUNY will collaborate in developing and submitting proposals for funding that will advance the mutual interests of the Commission representing work important to the Commission and RFSUNY.
- 2) Steps to Support Cooperative Activities
- a) The Commission and RFSUNY will develop a common approach to support cooperative research activities to accelerate collaboration efficiency and minimize administrative burdens including such activities as obtaining permits, etc. The Commission and RFSUNY will pursue raising financial support for faculty and student travel and housing for research conducted within the Central Pine Barrens.

## **ARTICLE III. TERMS**

- a) This MOU will be in effect for a period of five (5) years from the date of final signature. This MOU may be amended upon mutual written consent of the Parties. This MOU may be terminated by either Party upon 90 days' written notice to the other Party. This MOU may be renewed for another five (5) year term and subsequent terms upon consent of the Parties.
- b) The Parties acknowledge that they are entering into this MOU in a spirit of cooperation. While the Parties to this MOU believe that it is desirable that the Parties be able to contribute as

effectively as possible to the collaboration effort, it is understood that they cannot make promises in advance to commit specific resources. The Parties do, however, pledge to use best efforts to identify and secure sufficient support for the proposed activities. It is further acknowledged that the Parties are entering into this agreement with the understanding that it is not intended to be legally binding on any Party or oblige expending funds to further the goals identified in this Agreement.

- c) Research proposed under this MOU will be conducted under and subject to separate research or technology transfer agreements authorized under an RFSUNY/Commission contract. Therefore, the Parties may desire to enter into such a separate research agreement for a particular project as mutually agreed by the Parties.
- d) The Parties agree that press releases or other public statements regarding this collaboration or the results thereof shall be issued upon mutual consultation and consent. However, the terms and conditions concerning publications, press releases, and public statements agreed upon in separate research or project agreements shall take precedence.
- e) In the event that any Party desires to share proprietary information with the other Party in furtherance of the collaboration, a specific non-disclosure agreement will be executed to fit the circumstances of the perceived need for the information on a case-by-case basis.
- f) Unless otherwise specified, this MOU embodies the entire understanding between the Parties and any prior representation is hereby superseded.
- g) Any notices required hereunder shall be in writing signed by the Party giving it and shall be served personally or sent by registered or certified mail to the individuals listed under Article IV below, or to such other addressee as may be hereafter designated by notice. All such notices become effective when received by the addressee.

#### **ARTICLE IV. KEY OFFICIALS**

##### **1) Central Pine Barrens Joint Planning and Policy Commission**

Name: Judy Jakobsen  
Title: Executive Director  
Address: 624 Old Riverhead Road, Westhampton Beach, NY 11978  
Telephone: 631-288-1079  
Email Address: director@pb.state.ny.us

##### **2) The Research Foundation for The State University of New York**

The designated RFSUNY official for assisting in the collaboration between Commission and RFSUNY.

Name: Mark Abbey  
Title: Director, Sponsored Programs Services  
Address: 35 State Street, Albany, NY 12207  
Telephone: 518-434-7108  
Email address: mark.abbey@rfsuny.org


IN WITNESS WHEREOF, the undersigned have executed this MOU in duplicate as of the date below:

**Central Pine Barrens Joint Planning and Policy Commission**

\_\_\_\_\_  
Judy Jakobsen  
Executive Director

Date: \_\_\_\_\_

**The Research Foundation for the State University of New York**

  
\_\_\_\_\_  
Mark Abbey  
Director, Sponsored Programs Services

Date: 12/17/2025

The remainder of this page intentionally left blank



Central Pine Barrens Joint Planning and Policy Commission Meeting  
Wednesday, March 18, 2026  
Brookhaven Town Hall  
One Independence Hill, Farmingville, NY

Draft Resolution

To approve the NYSDEC Prescribed Fire Budget for the Period of  
April 2025 through September 2026 and Authorize Execution of Contract with  
New York State Department of Environmental Conservation

Commission members present:

- \_, for the NYS Governor
- \_, for the Suffolk County Executive
- \_, Brookhaven Town Supervisor
- \_, Riverhead Town Supervisor
- \_, Southampton Town Supervisor

Ryan P. McGarry  
*Chairman*

**Whereas**, the Central Pine Barrens Joint Planning and Policy Commission (the Commission) and the New York State Department of Environmental Conservation (NYSDEC) will be executing a new contract, Contract # C02014G, for the 18 month contract period April 1, 2025 to September 30, 2026 that will provide funding to the Commission from New York State for the implementation and administration of a prescribed fire program, and

Jerome Halpin  
*Member*

Maria Z. Moore  
*Member*

**Whereas**, the Commission is required to prepare and submit a budget plan to NYSDEC at the beginning of each contract period, and

Daniel J. Panico  
*Member*

**Whereas**, New York State has allocated \$250,000 for State Fiscal year 2025-2026 and reallocated the remaining unspent allocation of \$365,582.84 for a total budget of \$556,788.59 for contract period April 1, 2025 to September 30, 2026, and

Edward P. Romaine  
*Member*

**Whereas**, an estimated budget of \$556,788.59 has been prepared and a summary is attached for the contract period of April 1, 2025 through September 30, 2026 and is presented for the Commission Board's consideration and approval.

**Now, therefore, be it**

**Resolved**, that the Commission adopts the annual budget plan for contract period April 1, 2025 through September 30, 2026 and authorizes the expenditures contained therein, and be it further

**Resolved**, the Commission authorizes the executive director to execute the contract agreement with NYSDEC from April 1, 2025 through September 30, 2026 on behalf of the Commission.

624 Old Riverhead Road  
Westhampton Beach, NY  
11978

Phone (631) 288-1079  
[www.pb.state.ny.us](http://www.pb.state.ny.us)

Motion by:

Second by:

Ayes:

Nays:

Abstentions:

Absent:

Attachment B-1 Expenditure Based Budget  
Summary

Project Name: Central Pine Barrens Joint Planning & Policy Commission

Contractor SFS Payee Name: Central Pine Barrens Joint Planning & Policy Commission

Contract: CO2014G From: April 1, 2025

To: September 30, 2026

**SFS Entries 2025-26:**

Category of Expense	Grant Funds	Match Funds	Match %	Carryover Funds	Total
<b>1. Personal Services</b>					
a. Salary	\$160,307.40	0	0	\$59,690.69	\$176,969.49
b. Fringe	\$12,263.52	0	0	\$4,338.02	\$12,974.81
Subtotal	<b>\$172,570.91</b>			<b>\$64,028.71</b>	<b>\$189,944.20</b>
<b>2. Non Personal Services</b>					
a. Contractual Services	\$3,000.00	0	0	\$105,000.00	\$108,000.00
b. Travel	\$2,000.00	0	0	\$11,391.36	\$13,391.36
c. Equipment	\$43,900.00	0	0	\$81,590.17	128,363.61
d. Space/ Property & Utilities	\$0.00	0	0	\$0.00	\$0.00
e. Operating Expenses	\$5,801.81	0	0	\$44,837.79	40,972.17
Subtotal	<b>\$54,701.81</b>			<b>\$242,819.32</b>	<b>\$290,727.24</b>
<b>Subtotal Personal and Non Personal w/o fee</b>	<b>\$227,272.73</b>			<b>\$306,848.03</b>	<b>\$480,671.34</b>
f. Other expenses (SCWA 10% Admin fee)	\$22,727.27	0	0	\$58,734.81	\$76,117.15
<b>Total</b>	<b>\$250,000.00</b>			<b>\$365,582.84</b>	<b>\$556,788.59</b>

Contract Number: C02014G

Attachment B-1- Expenditure Based Budget 2025-2026

**INVOICE # 2026-03**

Judith Jakobsen

42 Mooney Pond Road, Selden, NY 11784

**DATE:** February 11 , 2026

**BILL TO**

Suffolk County Water Authority  
PO BOX 38, Oakdale NY 11769

INVOICE #3

**Details**

**Work performed 1/26/2026 through 1/28/2026**

1/26/2026 Reviewed prescribed fire budget & Commission budget	2.5
1/27/2026 Meeting with DEC on contracts	2
Discussion with JHargrave on followup work related to contracts	0.2
Review NYS EO 22 waste diversion template and data needs for NYS EO22	0.5
Review data an information from SWCA on nature center	0.5
1/28/2026 Review draft maps and document examples for CWPP	2
Commission General Contract-review and edit work plan .	0.5
Meeting with JH to discuss work and tasks	0.5

TOTAL HOURS 8.65

TOTAL INVOICE AMOUNT \$692.00

Make all checks payable to Judith Jakobsen

If you have any questions concerning this invoice, use the following contact in:

Contact information: [mooneypdfarm@optonline.net](mailto:mooneypdfarm@optonline.net) or 631-559-5996

**INVOICE # 2026-04**

Judith Jakobsen

42 Mooney Pond Road, Selden, NY 11784

**DATE: February 11, 2026**

**BILL TO**

Suffolk County Water Authority  
PO BOX 38, Oakdale NY 11769

INVOICE#4

<b>Details</b>	<b>Hours</b>
<b>Worked performed 2/2/2026 through 2/6/2026</b>	
2/2/2026 Nature Center - next steps- planning for meeting next week	
Attend Senator Palumbo environmental roundtable in Riverhead	2
2/3/26 General budget- final review	
General contract work plan -review	
Ethics training monthly reporting & reminder emails to Commission	8
2/4/26 General contract work plan	1
2/5/2026 Prescribed fire budget and related forms - review	2
2/6/2026 Waste Diversion Plan required by NYS EO22	2.5
<b>TOTAL HOURS</b>	<b>15.5</b>
<b>TOTAL INVOICE AMOUNT</b>	<b>\$1,240.00</b>

Make all checks payable to Judith Jakobsen

If you have any questions concerning this invoice, use the following contact information:

Contact information: [mooneypdfarm@optonline.net](mailto:mooneypdfarm@optonline.net) or 631-559-5996

**BILL TO**

Suffolk County Water Authority  
PO BOX 38, Oakdale NY 11769  
INVOICE #5

**For Consultation Services  
Pine Barrens**

<b>Details</b>	<b>Hours</b>
<b>Worked performed 2/9/2026 through 2/13/2026</b>	
2/9/2026 Nature Center - next steps- planning for meeting on 2/10/2026	2
2/10/2026 Meeting with Center Planning team members to discuss and plan next steps for funding the center	2
Meeting with Commission staff on CWPP and other ongoing work	2
2/11/2026 emails.	0.5
2/13/2026 Waste Diversion Plan	6
<b>TOTAL HOURS</b>	<b>12.5</b>
<b>TOTAL INVOICE AMOUNT</b>	<b>\$1,000.00</b>

Make all checks payable to Judith Jakobsen  
If you have any questions concerning this invoice, use the following contact information:  
Contact information: mooneypdfarm@optonline.net or 631-559-5996

Judith Jakobsen

42 Mooney Pond Road, Selden, NY 11784

6-Mar-26

**FOR  
Consultation  
services - Central  
Pine Barrens work**

**BILL TO**

Suffolk County Water Authority

PO BOX 38, Oakdale NY 11769

INVOICE # 6

**Details**

<b>Work performed 2/16/2026 through 2/20/2026</b>	<b>Hours</b>
2/17/2026 Waste Diversion Plan	2.00
CWPP annual report for USFS grant	3.00
2/18/2026 CWPP annual report for USFS grant	2.50
<hr/>	
<hr/>	
<hr/>	
<hr/>	
TOTAL HOURS	7.50
TOTAL INVOICE AMOUNT	\$600.00

Make all checks payable to Judith Jakobsen

If you have any questions concerning this invoice, use the following contact information:

Contact information: [mooneypdfarm@optonline.net](mailto:mooneypdfarm@optonline.net) or 631-559-5996



## SOUTHAMPTON PINE BARRENS CWPP

SWCA Project Number: 99294

SWCA Project Manager: Arianna Porter ([arianna.porter@swca.com](mailto:arianna.porter@swca.com))

SWCA Assistant Project Manager: Adriana Hughes ([adriana.hughes@swca.com](mailto:adriana.hughes@swca.com))

SWCA Geographic Information Systems Lead: Liz Hitzfelder ([elisabeth.hitzfelder@swca.com](mailto:elisabeth.hitzfelder@swca.com))

### EXECUTIVE SUMMARY

This project will guide the communities of the Southampton Pine Barrens through a collaborative CWPP planning process. We will develop a CWPP which will serve as a framework for the community as part of its long-term wildfire resiliency efforts, as well as provide a mechanism for grant funding opportunities to reduce the risk to wildfire across the landscape. Throughout the project we will convene 3 core team meetings, conduct a hazard and risk analysis, implement a public involvement strategy and host community workshops, and develop the CWPP with collaborative and actionable recommendations resulting in a final CWPP that is unique to the landscape and its residents.

---

### DECEMBER 2025 SUMMARY

The project is currently on time and on budget as of 12/22/2025. Work accomplished in December, and anticipated work to be completed in January 2026 are provided below.

#### WORK ACCOMPLISHED IN DECEMBER 2025

- Task 1: CWPP Content
  - Continuous Project Management
  - Monthly Admin meeting
- Task 2: Gather Data and Establish Community Base Maps
  - Data gathering underway
  - Draft base maps shared with Judy, Julie, Jason and Jerry for comments
  - Updated base maps based on Judy, Julie, Jason and Jerry's comments
- Task 3: Community Background Information, Fire History, and Fire Occurrence Data Collection
  - Continued with data gathering
- Task 4: Conduct Hazard and Risk Analysis
  - Began discussion on conducting field work in spring 2026.
- Task 5: Develop Strategies and Recommendations
  - Not started
- Task 6: Develop Action Plan and Monitoring & Evaluation Strategy
  - Not started
- Task 7: Develop CWPP
  - Created outline and sent to Judy, Julie, Jason and Jerry for comments
- Task 8: Presentation of the Draft Plan to Commission and SEQRA Review
  - Not started
- Task 9: Develop Interactive Hub, Story Map, and Tracker
  - Continued work on Hub Site
- Task 10: Design and Facilitate Public Outreach
  - Created Public Survey

#### WORK TO BE ACCOMPLISHED IN JANUARY 2026

- Task 1: CWPP Content
  - Core Team meeting #1 1/5/2026
  - Monthly Admin meeting 1/15/2026
- Task 2: Gather Data and Establish Community Base Maps
  - Continue data gathering

- Share base maps with Core Team during Core Team meeting #1. SWCA will update the base maps based on feedback from this meeting.
- Task 3: Community Background Information, Fire History, and Fire Occurrence Data Collection
  - SWCA will ask for additional data and input from the Core Team during Core Team meeting #1.
- Task 4: Conduct Hazard and Risk Analysis
  - Continue discussion on when to conduct field work.
- Task 5: Develop Strategies and Recommendations
  - No work to be done in January 2026.
- Task 6: Develop Action Plan and Monitoring & Evaluation Strategy
  - No work to be done in January 2026.
- Task 7: Develop CWPP
  - Share outline with Core Team during Core Team Meeting #1. SWCA will update the outline based on feedback from this meeting.
- Task 8: Presentation of the Draft Plan to Commission and SEQRA Review
  - No work to be done in January 2026.
- Task 9: Develop Interactive Hub, Story Map, and Tracker
  - Continue working on Hub Site
- Task 10: Design and Facilitate Public Outreach
  - Distribute Public Survey

## AREAS OF CONCERN

- None at this time

## SOUTHAMPTON PINE BARRENS CWPP

SWCA Project Number: 99294

SWCA Project Manager: Arianna Porter ([arianna.porter@swca.com](mailto:arianna.porter@swca.com))

SWCA Assistant Project Manager: Adriana Hughes ([adriana.hughes@swca.com](mailto:adriana.hughes@swca.com))

SWCA Geographic Information Systems Lead: Liz Hitzfelder ([elisabeth.hitzfelder@swca.com](mailto:elisabeth.hitzfelder@swca.com))

### EXECUTIVE SUMMARY

This project will guide the communities of the Southampton Pine Barrens through a collaborative CWPP planning process. We will develop a CWPP which will serve as a framework for the community as part of its long-term wildfire resiliency efforts, as well as provide a mechanism for grant funding opportunities to reduce the risk to wildfire across the landscape. Throughout the project we will convene 3 core team meetings, conduct a hazard and risk analysis, implement a public involvement strategy and host community workshops, and develop the CWPP with collaborative and actionable recommendations resulting in a final CWPP that is unique to the landscape and its residents.

---

### JANUARY 2025 SUMMARY

The project is currently on time and on budget as of 2/4/2026. Work accomplished in January and work anticipated to be completed in February are provided below.

#### WORK ACCOMPLISHED IN JANUARY 2026

- Task 1: CWPP Content
  - Continuous Project Management
  - Core Team meeting #1 1/5/2026
  - Monthly Admin meeting 1/15/2026
- Task 2: Gather Data and Establish Community Base Maps
  - Data gathering continued
  - Shared base maps with Core Team during Core Team meeting #1.
- Task 3: Community Background Information, Fire History, and Fire Occurrence Data Collection
  - SWCA received additional data including information on fire breaks and fire history from the Core Team during Core Team meeting #1.
- Task 4: Conduct Hazard and Risk Analysis
  - Continued discussion on conducting field work in spring 2026.
- Task 5: Develop Strategies and Recommendations
  - Preliminary notes and suggestions collected from feedback.
- Task 6: Develop Action Plan and Monitoring & Evaluation Strategy
  - Not started
- Task 7: Develop CWPP
  - Shared outline with Core Team during Core Team Meeting #1.
- Task 8: Presentation of the Draft Plan to Commission and SEQRA Review
  - Not started
- Task 9: Develop Interactive Hub, Story Map, and Tracker
  - Continued work on Hub Site
- Task 10: Design and Facilitate Public Outreach
  - Distributed Public Survey
  - Set up meeting with Tim Motz to discuss press release

#### WORK TO BE ACCOMPLISHED IN FEBRUARY 2026

- Task 1: CWPP Content
  - Monthly Admin meeting 2/19/2026
- Task 2: Gather Data and Establish Community Base Maps
  - Continue data gathering

- Task 3: Community Background Information, Fire History, and Fire Occurrence Data Collection
  - Data gathering will continue.
- Task 4: Conduct Hazard and Risk Analysis
  - Continue planning field work.
- Task 5: Develop Strategies and Recommendations
  - Continue collecting recommendations and feedback.
- Task 6: Develop Action Plan and Monitoring & Evaluation Strategy
  - No work to be done in February 2026.
- Task 7: Develop CWPP
  - Update outline based on feedback from Core Team and begin authorship.
- Task 8: Presentation of the Draft Plan to Commission and SEQRA Review
  - No work to be done in February 2026.
- Task 9: Develop Interactive Hub, Story Map, and Tracker
  - Continue working on Hub Site
- Task 10: Design and Facilitate Public Outreach
  - Meeting with Tim Motz on 2/9/2026 to discuss a press release

## AREAS OF CONCERN

- None at this time

Routing # 071922777 | Account # 7811583501 | Payable to: SWCA, Incorporated | Business Checking Account: First American Bank  
 Notification: payment@swca.com | Physical Remittance: P.O. Box 7217, Carol Stream, IL 60197- 7217 | EIN: #86-0483317

Judy Jakobsen  
 Central Pine Barrens Joint Planning and Policy Commission  
 624 Old Riverhead Road  
 Westhampton Beach, New York 11978

October 22, 2025  
 Invoice No: 231555  
 Project Manager: Ari Porter  
 Project No: 00099294-000-AMH

<b>Invoice Total</b>	<b>\$3,209.86</b>
----------------------	-------------------

Central Pine Barrens Joint Planning and Policy Commission CWPP  
 RFP NO. 1659

**Professional Services through October 4, 2025**

Phase 01 Community Wildfire Protection Plan Content

**Professional Services**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Environmental Resources-Specialist V	2.50	110.70	276.75	
Environmental Resources-Specialist X	3.50	170.10	595.35	
Environmental Resources-Specialist XII	2.50	203.40	508.50	
GIS/CADD-Specialist VIII	1.00	142.20	142.20	
Project Controls - Specialist VIII	.50	142.20	71.10	
Project Controls - Specialist XI	.25	186.30	46.58	
Totals	10.25		1,640.48	
<b>Total Professional Services</b>				<b>1,640.48</b>
		<b>Total this Phase</b>		<b>\$1,640.48</b>

Phase 02 Establish Community Base Maps

**Professional Services**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Environmental Resources-Specialist VI	.75	123.30	92.48	
GIS/CADD-Specialist V	10.50	110.70	1,162.35	
GIS/CADD-Specialist VIII	.75	142.20	106.65	
Totals	12.00		1,361.48	
<b>Total Professional Services</b>				<b>1,361.48</b>
		<b>Total this Phase</b>		<b>\$1,361.48</b>

Phase 07 Develop the Draft Community Wildfire Protection Plan

**Professional Services**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Environmental Resources-Specialist I	3.00	69.30	207.90	
Totals	3.00		207.90	
<b>Total Professional Services</b>				<b>207.90</b>
		<b>Total this Phase</b>		<b>\$207.90</b>

---

Project	00099294-000-AMH	Central Pine Barrens Joint Planning and	Invoice	231555
---------	------------------	---	---------	--------

---

<b>Contract Limits</b>	<b>Current</b>	<b>Prior</b>	<b>To-Date</b>
Total Billings	3,209.86	0.00	3,209.86
Limit			174,955.50
Remaining			171,745.64

**PLEASE PAY THIS AMOUNT =====> \$3,209.86**

For any questions regarding this invoice please contact Tamara Mathew  
Phone: 602.274.3831 Email: tamara.mathew@swca.com

# Billing Backup

Wednesday, October 22, 2025

SWCA, Incorporated

Invoice 231555 Dated 10/22/2025

11:28:59 AM

Project 00099294-000-AMH Central Pine Barrens Joint Planning and Policy Commission CWPP

Phase 01 Community Wildfire Protection Plan Content

**Professional Services**

			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
Environmental Resources-Specialist V					
Hughes, Adriana	9/18/2025		1.25	110.70	138.38
Client Kickoff call, team communication					
Hughes, Adriana	9/22/2025		.50	110.70	55.34
notes and action items					
Hughes, Adriana	9/23/2025		.50	110.70	55.35
meeting					
Hughes, Adriana	9/24/2025		.25	110.70	27.68
Team communication					
Environmental Resources-Specialist X					
Porter, Ari	8/14/2025		.50	170.10	85.02
project set up					
Porter, Ari	8/15/2025		.25	170.10	42.53
project set up					
Porter, Ari	8/18/2025		.25	170.10	42.53
kick off call					
Porter, Ari	8/20/2025		.25	170.10	42.53
PM					
Porter, Ari	9/17/2025		.25	170.10	42.53
meeting agenda					
Porter, Ari	9/18/2025		1.00	170.10	170.10
kick off meeting					
Porter, Ari	9/23/2025		.50	170.10	85.05
PM/kick off call set up					
Porter, Ari	9/24/2025		.25	170.10	42.53
PM					
Porter, Ari	9/30/2025		.25	170.10	42.53
CWPP outline					
Environmental Resources-Specialist XII					
Amato, Victoria	9/17/2025		1.00	203.40	203.40
review of previous CWPP					
Amato, Victoria	9/18/2025		1.00	203.40	203.40
coordination meeting and review of previous CWPP					
Amato, Victoria	9/25/2025		.25	203.40	50.85
coordination					
Amato, Victoria	10/2/2025		.25	203.40	50.85
coordination					
GIS/CADD-Specialist VIII					
Hitzfelder, Liz	9/18/2025		1.00	142.20	142.20
Orientation Meeting					
Project Controls - Specialist VIII					
Walters, Karen	8/14/2025		.50	142.20	71.10
Project Setup					

Project	00099294-000-AMH	Central Pine Barrens Joint Planning and	Invoice	231555	
Project Controls - Specialist XI					
Powers, Stacy		8/18/2025	.25	186.30	46.58
Project controls					
Totals			10.25		1,640.48
<b>Total Professional Services</b>					<b>1,640.48</b>
<b>Total this Phase</b>					<b>\$1,640.48</b>
-----					
Phase	02	Establish Community Base Maps			
<b>Professional Services</b>					
			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
Environmental Resources-Specialist VI					
Goldsnider, Jess		9/17/2025	.25	123.30	30.82
GIS requests, project site request					
Goldsnider, Jess		9/23/2025	.25	123.30	30.83
Meeting					
Goldsnider, Jess		10/1/2025	.25	123.30	30.83
Second GIS ticket, coordination with Jen rideout for sharepoint site					
GIS/CADD-Specialist V					
Jansen, Erica		9/25/2025	4.00	110.70	442.80
GIS Support - Data Gathering and Web Map					
Jansen, Erica		9/26/2025	2.00	110.70	221.40
GIS Support - Data Gathering and Web Map					
Jansen, Erica		9/29/2025	4.50	110.70	498.15
GIS Support - Data Gathering and Web Map					
GIS/CADD-Specialist VIII					
Hitzfelder, Liz		9/23/2025	.25	142.20	35.55
GIS					
Hitzfelder, Liz		9/24/2025	.25	142.20	35.55
GIS					
Hitzfelder, Liz		9/25/2025	.25	142.20	35.55
GIS					
Totals			12.00		1,361.48
<b>Total Professional Services</b>					<b>1,361.48</b>
<b>Total this Phase</b>					<b>\$1,361.48</b>
-----					
Phase	07	Develop the Draft Community Wildfire Protection Plan			
<b>Professional Services</b>					
			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
Environmental Resources-Specialist I					
Dominic, Grace		10/3/2025	3.00	69.30	207.90
Development of Draft CWPP Outline (TSCR)					
Totals			3.00		207.90
<b>Total Professional Services</b>					<b>207.90</b>
<b>Total this Phase</b>					<b>\$207.90</b>
<b>Total this Project</b>					<b>\$3,209.86</b>
<b>Total this Report</b>					<b>\$3,209.86</b>

Routing # 071922777 | Account # 7811583501 | Payable to: SWCA, Incorporated | Business Checking Account: First American Bank  
 Notification: payment@swca.com | Physical Remittance: P.O. Box 7217, Carol Stream, IL 60197- 7217 | EIN: #86-0483317

Judy Jakobsen  
 Central Pine Barrens Joint Planning and Policy Commission  
 624 Old Riverhead Road  
 Westhampton Beach, New York 11978

November 19, 2025  
 Invoice No: 233749  
 Project Manager Ari Porter  
 Project No: 00099294-000-AMH

<b>Invoice Total</b>	<b>\$3,548.94</b>
----------------------	-------------------

Central Pine Barrens Joint Planning and Policy Commission CWPP  
 RFP NO. 1659

**Professional Services through November 1, 2025**

Phase	01	Community Wildfire Protection Plan Content		
<b>Professional Services</b>				
			<b>Hours</b>	<b>Rate</b>
				<b>Amount</b>
		Environmental Resources-Specialist X	5.75	170.10
		Environmental Resources-Specialist XII	1.00	203.40
		Totals	6.75	1,181.48
		<b>Total Professional Services</b>		<b>1,181.48</b>
				<b>Total this Phase</b>
				<b>\$1,181.48</b>

Phase	02	Establish Community Base Maps		
<b>Professional Services</b>				
			<b>Hours</b>	<b>Rate</b>
				<b>Amount</b>
		GIS/CADD-Specialist V	5.00	110.70
		GIS/CADD-Specialist VIII	.25	142.20
		Totals	5.25	589.05
		<b>Total Professional Services</b>		<b>589.05</b>
				<b>Total this Phase</b>
				<b>\$589.05</b>

Phase	03	Community Background Information, Fire History, and Fire Occurrence Data Collection		
<b>Professional Services</b>				
			<b>Hours</b>	<b>Rate</b>
				<b>Amount</b>
		Environmental Resources-Specialist V	.50	110.70
		Environmental Resources-Specialist VI	1.75	123.30
		GIS/CADD-Specialist V	1.50	110.70
		GIS/CADD-Specialist VIII	1.00	142.20
		Totals	4.75	579.38
		<b>Total Professional Services</b>		<b>579.38</b>
				<b>Total this Phase</b>
				<b>\$579.38</b>

Phase	09	Develop Interactive GIS Hub, Story Map, and Project Tracking Tool		
<b>Professional Services</b>				
			<b>Hours</b>	<b>Rate</b>
				<b>Amount</b>
		Environmental Resources-Specialist V	.25	110.70

Project	00099294-000-AMH	Central Pine Barrens Joint Planning and	Invoice	233749	
Environmental Resources-Specialist VI		9.50	123.30	1,171.35	
Totals		9.75		1,199.03	
<b>Total Professional Services</b>				<b>1,199.03</b>	
			<b>Total this Phase</b>	<b>\$1,199.03</b>	
<b>Contract Limits</b>		<b>Current</b>	<b>Prior</b>	<b>To-Date</b>	
Total Billings		3,548.94	3,209.86	6,758.80	
Limit				174,955.50	
Remaining				168,196.70	
		<b>PLEASE PAY THIS AMOUNT =====&gt;</b>			<b>\$3,548.94</b>

For any questions regarding this invoice please contact Tamara Mathew  
Phone: 602.274.3831 Email: tamara.mathew@swca.com

# Billing Backup

Wednesday, November 19, 2025

SWCA, Incorporated

Invoice 233749 Dated 11/19/2025

10:02:27 AM

---

Project	00099294-000-AMH	Central Pine Barrens Joint Planning and Policy Commission CWPP		
---------	------------------	--	--	--

Phase	01	Community Wildfire Protection Plan Content		
-------	----	--	--	--

**Professional Services**

		Hours	Rate	Amount
Environmental Resources-Specialist X				
Porter, Ari	10/6/2025	1.00	170.10	170.07
outline and data collection				
Porter, Ari	10/9/2025	.25	170.10	42.53
data collection				
Porter, Ari	10/13/2025	.50	170.10	85.05
PM				
Porter, Ari	10/14/2025	.25	170.10	42.53
meeting prep				
Porter, Ari	10/16/2025	1.50	170.10	255.15
kick off and associated tasks				
Porter, Ari	10/17/2025	.25	170.10	42.53
data gathering				
Porter, Ari	10/20/2025	.75	170.10	127.58
data gathering				
Porter, Ari	10/23/2025	.25	170.10	42.53
PM				
Porter, Ari	10/27/2025	.25	170.10	42.53
data gathering				
Porter, Ari	10/28/2025	.25	170.10	42.53
CWPP				
Porter, Ari	10/31/2025	.50	170.10	85.05
cwpp support				
Environmental Resources-Specialist XII				
Amato, Victoria	10/6/2025	.50	203.40	101.70
review outline				
Amato, Victoria	10/9/2025	.25	203.40	50.85
coordination				
Amato, Victoria	10/14/2025	.25	203.40	50.85
coordination				
Totals		6.75		1,181.48
<b>Total Professional Services</b>				<b>1,181.48</b>
<b>Total this Phase</b>				<b>\$1,181.48</b>

---

Phase	02	Establish Community Base Maps		
-------	----	-------------------------------	--	--

**Professional Services**

		Hours	Rate	Amount
GIS/CADD-Specialist V				
Jansen, Erica	10/6/2025	.50	110.70	55.35
GIS Support - Data Processing				
Jansen, Erica	10/13/2025	2.00	110.70	221.40
GIS Support - Data Gathering and Mapping				

Project	00099294-000-AMH	Central Pine Barrens Joint Planning and	Invoice	233749	
Jansen, Erica		10/16/2025	1.00	110.70	110.70
	GIS Support - Mapping and Data Gathering				
Jansen, Erica		10/21/2025	1.50	110.70	166.05
	GIS Support - Mapping				
GIS/CADD-Specialist VIII					
Hitzfelder, Liz		10/20/2025	.25	142.20	35.55
	GIS				
	Totals		5.25		589.05
	<b>Total Professional Services</b>				<b>589.05</b>
				<b>Total this Phase</b>	<b>\$589.05</b>

---

Phase 03 Community Background Information, Fire History, and Fire Occurrence Data Collection

**Professional Services**

			Hours	Rate	Amount
Environmental Resources-Specialist V					
Hughes, Adriana		10/15/2025	.25	110.70	27.67
	emails and updating sharepoint				
Hughes, Adriana		10/30/2025	.25	110.70	27.68
	upload data links to SharePoint				
Environmental Resources-Specialist VI					
Roberts, Lexi		10/16/2025	.75	123.30	92.48
	internal notes/email draft				
Roberts, Lexi		10/22/2025	1.00	123.30	123.30
	SP dev				
GIS/CADD-Specialist V					
Jansen, Erica		10/21/2025	1.00	110.70	110.70
	GIS Support - Data Processing				
Jansen, Erica		10/28/2025	.50	110.70	55.35
	GIS Support - Data Gathering				
GIS/CADD-Specialist VIII					
Hitzfelder, Liz		10/16/2025	1.00	142.20	142.20
	GIS and client coordination call				
	Totals		4.75		579.38
	<b>Total Professional Services</b>				<b>579.38</b>
				<b>Total this Phase</b>	<b>\$579.38</b>

---

Phase 09 Develop Interactive GIS Hub, Story Map, and Project Tracking Tool

**Professional Services**

			Hours	Rate	Amount
Environmental Resources-Specialist V					
Hughes, Adriana		10/23/2025	.25	110.70	27.68
	hub site communications				
Environmental Resources-Specialist VI					
Roberts, Lexi		10/23/2025	6.00	123.30	739.80
	CWPP hub site				
Roberts, Lexi		10/27/2025	3.00	123.30	369.90
	hub site				
Roberts, Lexi		10/28/2025	.50	123.30	61.65

Project	00099294-000-AMH	Central Pine Barrens Joint Planning and	Invoice	233749
	GIS coordination			
		Totals	9.75	1,199.03
		<b>Total Professional Services</b>		<b>1,199.03</b>
			<b>Total this Phase</b>	<b>\$1,199.03</b>
			<b>Total this Project</b>	<b>\$3,548.94</b>
			<b>Total this Report</b>	<b>\$3,548.94</b>

Routing # 071922777 | Account # 7811583501 | Payable to: SWCA, Incorporated | Business Checking Account: First American Bank  
 Notification: payment@swca.com | Physical Remittance: P.O. Box 7217, Carol Stream, IL 60197- 7217 | EIN: #86-0483317

Judy Jakobsen  
 Central Pine Barrens Joint Planning and Policy Commission  
 624 Old Riverhead Road  
 Westhampton Beach, New York 11978

December 22, 2025

Invoice No: 236473  
 Project Manager: Ari Porter  
 Project No: 00099294-000-AMH

<b>Invoice Total</b>	<b>\$3,155.65</b>
----------------------	-------------------

Central Pine Barrens Joint Planning and Policy Commission CWPP  
 RFP NO. 1659

**Professional Services through November 29, 2025**

Phase	01	Community Wildfire Protection Plan Content		
<b>Professional Services</b>				
			<b>Hours</b>	<b>Rate</b>
				<b>Amount</b>
		Environmental Resources-Specialist V	.25	110.70
		Environmental Resources-Specialist X	3.25	170.10
		Environmental Resources-Specialist XII	1.50	203.40
		Totals	5.00	885.61
		<b>Total Professional Services</b>		<b>885.61</b>
				<b>Total this Phase</b>
				<b>\$885.61</b>

Phase	02	Establish Community Base Maps		
<b>Professional Services</b>				
			<b>Hours</b>	<b>Rate</b>
				<b>Amount</b>
		GIS/CADD-Specialist VIII	.25	142.20
		Totals	.25	35.55
		<b>Total Professional Services</b>		<b>35.55</b>
				<b>Total this Phase</b>
				<b>\$35.55</b>

Phase	03	Community Background Information, Fire History, and Fire Occurrence Data Collection		
<b>Professional Services</b>				
			<b>Hours</b>	<b>Rate</b>
				<b>Amount</b>
		Environmental Resources-Specialist V	2.50	110.70
		Environmental Resources-Specialist X	.75	170.10
		GIS/CADD-Specialist V	4.75	110.70
		Totals	8.00	930.16
		<b>Total Professional Services</b>		<b>930.16</b>
				<b>Total this Phase</b>
				<b>\$930.16</b>

Phase	09	Develop Interactive GIS Hub, Story Map, and Project Tracking Tool		
<b>Professional Services</b>				
			<b>Hours</b>	<b>Rate</b>
				<b>Amount</b>
		GIS/CADD-Specialist V	8.25	110.70

Project	00099294-000-AMH	Central Pine Barrens Joint Planning and	Invoice	236473
GIS/CADD-Specialist VIII		2.75	142.20	391.05
Totals		11.00		1,304.33
<b>Total Professional Services</b>				<b>1,304.33</b>
<b>Total this Phase</b>				<b>\$1,304.33</b>
<b>Contract Limits</b>		<b>Current</b>	<b>Prior</b>	<b>To-Date</b>
Total Billings		3,155.65	6,758.80	9,914.45
Limit				174,955.50
Remaining				165,041.05
<b>PLEASE PAY THIS AMOUNT =====&gt;</b>				<b>\$3,155.65</b>

For any questions regarding this invoice please contact Tamara Mathew  
 Phone: 602.274.3831 Email: tamara.mathew@swca.com

# Billing Backup

Monday, December 22, 2025

SWCA, Incorporated

Invoice 236473 Dated 12/22/2025

9:29:06 AM

Project 00099294-000-AMH Central Pine Barrens Joint Planning and Policy Commission CWPP

Phase 01 Community Wildfire Protection Plan Content

**Professional Services**

			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
Environmental Resources-Specialist V					
Hughes, Adriana	11/10/2025	review Smartsheet schedule	.25	110.70	27.68
Environmental Resources-Specialist X					
Porter, Ari	11/10/2025	PM	1.00	170.10	170.10
Porter, Ari	11/19/2025	meeting agenda	.50	170.10	85.05
Porter, Ari	11/20/2025	project management meeting + pm	1.50	170.10	255.15
Porter, Ari	11/26/2025	meeting notes	.25	170.10	42.53
Environmental Resources-Specialist XII					
Amato, Victoria	11/14/2025	coordination	.25	203.40	50.85
Amato, Victoria	11/17/2025	coordination	.25	203.40	50.85
Amato, Victoria	11/20/2025	admin meeting	1.00	203.40	203.40
		Totals	5.00		885.61
<b>Total Professional Services</b>					<b>885.61</b>
<b>Total this Phase</b>					<b>\$885.61</b>

Phase 02 Establish Community Base Maps

**Professional Services**

			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
GIS/CADD-Specialist VIII					
Hitzfelder, Liz	11/4/2025	GIS	.25	142.20	35.55
		Totals	.25		35.55
<b>Total Professional Services</b>					<b>35.55</b>
<b>Total this Phase</b>					<b>\$35.55</b>

Phase 03 Community Background Information, Fire History, and Fire Occurrence Data Collection

**Professional Services**

			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
Environmental Resources-Specialist V					
Hughes, Adriana	11/4/2025	check in on data, uploading links to SharePoint	.50	110.70	55.35

Project	00099294-000-AMH	Central Pine Barrens Joint Planning and	Invoice	236473
Hughes, Adriana	11/20/2025	1.00	110.70	110.70
monthly check in with Judy, Julie, Jerry and Jason. Discussion of GIS data needs and scheduling 1st core team meeting.				
Hughes, Adriana	11/26/2025	1.00	110.70	110.70
clean up notes and action items				
Environmental Resources-Specialist X				
Porter, Ari	11/4/2025	.50	170.10	85.05
data collection				
Porter, Ari	11/25/2025	.25	170.10	42.53
data collection				
GIS/CADD-Specialist V				
Jansen, Erica	11/4/2025	2.00	110.70	221.40
GIS Meeting and Data Gathering				
Jansen, Erica	11/19/2025	2.75	110.70	304.43
GIS Support - Data Processing and Web Map				
Totals		8.00		930.16
<b>Total Professional Services</b>				<b>930.16</b>
<b>Total this Phase</b>				<b>\$930.16</b>

---

Phase	09	Develop Interactive GIS Hub, Story Map, and Project Tracking Tool		
<b>Professional Services</b>				
		<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
GIS/CADD-Specialist V				
Walters, Savannah	11/13/2025	3.50	110.70	387.45
Hub site skeleton				
Walters, Savannah	11/14/2025	3.50	110.70	387.45
Hub site skeleton				
Walters, Savannah	11/17/2025	1.25	110.70	138.38
Hub site skeleton				
GIS/CADD-Specialist VIII				
Hitzfelder, Liz	11/3/2025	.25	142.20	35.55
GIS				
Hitzfelder, Liz	11/13/2025	1.75	142.20	248.85
GIS				
Hitzfelder, Liz	11/14/2025	.50	142.20	71.10
GIS				
Hitzfelder, Liz	11/17/2025	.25	142.20	35.55
GIS				
Totals		11.00		1,304.33
<b>Total Professional Services</b>				<b>1,304.33</b>
<b>Total this Phase</b>				<b>\$1,304.33</b>
<b>Total this Project</b>				<b>\$3,155.65</b>
<b>Total this Report</b>				<b>\$3,155.65</b>

Routing # 071922777 | Account # 7811583501 | Payable to: SWCA, Incorporated | Business Checking Account: First American Bank  
 Notification: payment@swca.com | Physical Remittance: P.O. Box 7217, Carol Stream, IL 60197- 7217 | EIN: #86-0483317

Judy Jakobsen  
 Central Pine Barrens Joint Planning and Policy Commission  
 624 Old Riverhead Road  
 Westhampton Beach, New York 11978

January 12, 2026  
 Invoice No: 237252  
 Project Manager: Ari Porter  
 Project No: 00099294-000-AMH

<b>Invoice Total</b>	<b>\$4,672.14</b>
----------------------	-------------------

Central Pine Barrens Joint Planning and Policy Commission CWPP  
 RFP NO. 1659

**Professional Services through January 3, 2026**

Phase 01 Community Wildfire Protection Plan Content

**Professional Services**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Environmental Resources-Specialist V	5.00	110.70	553.50	
Environmental Resources-Specialist X	3.50	170.10	595.35	
Environmental Resources-Specialist XII	.75	203.40	152.55	
GIS/CADD-Specialist V	.25	110.70	27.68	
Totals	9.50		1,329.08	
<b>Total Professional Services</b>				<b>1,329.08</b>

**Total this Phase \$1,329.08**

Phase 02 Establish Community Base Maps

**Professional Services**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
GIS/CADD-Specialist V	14.50	110.70	1,605.15	
GIS/CADD-Specialist VIII	1.25	142.20	177.75	
Planning-Specialist II	.50	81.90	40.95	
Totals	16.25		1,823.85	
<b>Total Professional Services</b>				<b>1,823.85</b>

**Total this Phase \$1,823.85**

Phase 03 Community Background Information, Fire History, and Fire Occurrence Data Collection

**Professional Services**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Environmental Resources-Specialist V	2.75	110.70	304.43	
GIS/CADD-Specialist V	1.00	110.70	110.70	
Planning-Specialist II	.50	81.90	40.95	
Totals	4.25		456.08	
<b>Total Professional Services</b>				<b>456.08</b>

**Total this Phase \$456.08**

Phase 04 Conduct Hazard and Risk Analysis

**Professional Services**

	Hours	Rate	Amount
GIS/CADD-Specialist V	4.50	110.70	498.15
Totals	4.50		498.15
<b>Total Professional Services</b>			<b>498.15</b>
<b>Total this Phase</b>			<b>\$498.15</b>

Phase 09                      Develop Interactive GIS Hub, Story Map, and Project Tracking Tool

**Professional Services**

	Hours	Rate	Amount
Environmental Resources-Specialist X	1.00	170.10	170.10
GIS/CADD-Specialist V	1.25	110.70	138.38
Totals	2.25		308.48
<b>Total Professional Services</b>			<b>308.48</b>
<b>Total this Phase</b>			<b>\$308.48</b>

Phase 10                      Design and Facilitate Public Outreach and Awareness

**Professional Services**

	Hours	Rate	Amount
Planning-Specialist IV	2.50	102.60	256.50
Totals	2.50		256.50
<b>Total Professional Services</b>			<b>256.50</b>
<b>Total this Phase</b>			<b>\$256.50</b>

**Contract Limits**

	Current	Prior	To-Date
Total Billings	4,672.14	9,914.45	14,586.59
Limit			174,955.50
Remaining			160,368.91

**PLEASE PAY THIS AMOUNT =====>                      \$4,672.14**

For any questions regarding this invoice please contact Tamara Mathew  
 Phone: 602.274.3831 Email: tamara.mathew@swca.com

# Billing Backup

Monday, January 12, 2026

SWCA, Incorporated

Invoice 237252 Dated 1/12/2026

5:04:37 PM

Project 00099294-000-AMH Central Pine Barrens Joint Planning and Policy Commission CWPP

Phase 01 Community Wildfire Protection Plan Content

## Professional Services

			Hours	Rate	Amount
Environmental Resources-Specialist V					
Hughes, Adriana	12/10/2025	Core team survey results	.50	110.70	55.35
Hughes, Adriana	12/12/2025	check in with Ari, update sharepoint, emails	.50	110.70	55.35
Hughes, Adriana	12/15/2025	agenda development, team communication	.50	110.70	55.35
Hughes, Adriana	12/16/2025	prep agenda for monthly admin meeting, prep agenda for kick off meeting, prep PPT for kick off meeting	2.00	110.70	221.40
Hughes, Adriana	12/18/2025	monthly admin meeting	.50	110.70	55.35
Hughes, Adriana	12/22/2025	December Progress report	1.00	110.70	110.70
Environmental Resources-Specialist X					
Porter, Ari	12/1/2025	data gathering & PM	.25	170.10	42.53
Porter, Ari	12/2/2025	PM	.25	170.10	42.53
Porter, Ari	12/5/2025	core team meeting invite	.25	170.10	42.53
Porter, Ari	12/9/2025	PM	.25	170.10	42.50
Porter, Ari	12/10/2025	data gathering	.25	170.10	42.53
Porter, Ari	12/11/2025	kick off meeting	.50	170.10	85.05
Porter, Ari	12/12/2025	kick off meeting	.25	170.10	42.53
Porter, Ari	12/16/2025	meeting prep	.50	170.10	85.05
Porter, Ari	12/18/2025	monthly meeting	1.00	170.10	170.10
Environmental Resources-Specialist XII					
Amato, Victoria	12/1/2025	coordination	.25	203.40	50.85
Amato, Victoria	12/8/2025	coordination	.25	203.40	50.85
Amato, Victoria	12/16/2025	coordiantion	.25	203.40	50.85
GIS/CADD-Specialist V					
Jansen, Erica	12/10/2025		.25	110.70	27.68

Project	00099294-000-AMH	Central Pine Barrens Joint Planning and	Invoice	237252
---------	------------------	---	---------	--------

GIS

Totals	9.50	1,329.08	<b>1,329.08</b>
<b>Total Professional Services</b>			<b>1,329.08</b>

**Total this Phase \$1,329.08**

Phase 02 Establish Community Base Maps

**Professional Services**

	Hours	Rate	Amount
GIS/CADD-Specialist V Dutcher, Jason	12/15/2025	1.00	110.70
GIS Support Jansen, Erica	12/2/2025	3.00	332.10
GIS Support - Mapping Jansen, Erica	12/3/2025	2.50	276.75
GIS Support - Mapping Jansen, Erica	12/15/2025	2.00	221.40
GIS Support - Basemaps Jansen, Erica	12/29/2025	6.00	664.20
GIS Support - Figures, Data Processing, and Calculations GIS/CADD-Specialist VIII Hitzfelder, Liz	12/5/2025	.75	142.20
GIS Hitzfelder, Liz	12/10/2025	.50	71.10
GIS Check In Planning-Specialist II Dominic, Grace	12/1/2025	.50	81.90
Map Feedback - GIS Request Totals	16.25		1,823.85
<b>Total Professional Services</b>			<b>1,823.85</b>
			<b>Total this Phase \$1,823.85</b>

Phase 03 Community Background Information, Fire History, and Fire Occurrence Data Collection

**Professional Services**

	Hours	Rate	Amount
Environmental Resources-Specialist V Hughes, Adriana	12/1/2025	.25	27.68
Project Management Hughes, Adriana	12/2/2025	1.00	110.70
Project Management Hughes, Adriana	12/3/2025	.50	55.35
Project Management Hughes, Adriana	12/4/2025	1.00	110.70
Project Management GIS/CADD-Specialist V Walters, Savannah	12/15/2025	1.00	110.70
Looked for Long Island Zoning Atlas data, reached out to their GIS team for their data			
Planning-Specialist II Dominic, Grace	12/9/2025	.50	81.90

Project	00099294-000-AMH	Central Pine Barrens Joint Planning and	Invoice	237252
---------	------------------	---	---------	--------

Resources update

Totals	4.25	456.08	<b>456.08</b>
<b>Total Professional Services</b>			<b>456.08</b>

**Total this Phase \$456.08**

Phase 04 Conduct Hazard and Risk Analysis

**Professional Services**

	Hours	Rate	Amount
GIS/CADD-Specialist V			
Jansen, Erica 12/1/2025	1.00	110.70	110.70
GIS Support - WRAP Data			
Jansen, Erica 12/2/2025	3.50	110.70	387.45
GIS Support - WRAP Data and Web Map			
Totals	4.50		498.15
<b>Total Professional Services</b>			<b>498.15</b>

**Total this Phase \$498.15**

Phase 09 Develop Interactive GIS Hub, Story Map, and Project Tracking Tool

**Professional Services**

	Hours	Rate	Amount
Environmental Resources-Specialist X			
Porter, Ari 12/10/2025	1.00	170.10	170.10
hub site + data collection			
GIS/CADD-Specialist V			
Walters, Savannah 12/10/2025	1.00	110.70	110.70
GIS discussion & hub discussion			
Walters, Savannah 12/11/2025	.25	110.70	27.68
Hub site skeleton finalizing			
Totals	2.25		308.48
<b>Total Professional Services</b>			<b>308.48</b>

**Total this Phase \$308.48**

Phase 10 Design and Facilitate Public Outreach and Awareness

**Professional Services**

	Hours	Rate	Amount
Planning-Specialist IV			
Berski, Emmi 12/16/2025	1.50	102.60	153.90
Community survey draft			
Berski, Emmi 12/17/2025	1.00	102.60	102.60
Community survey draft			
Totals	2.50		256.50
<b>Total Professional Services</b>			<b>256.50</b>

**256.50**

---

Project	00099294-000-AMH	Central Pine Barrens Joint Planning and	Invoice	237252
			<b>Total this Phase</b>	<b>\$256.50</b>
			<b>Total this Project</b>	<b>\$4,672.14</b>
			<b>Total this Report</b>	<b>\$4,672.14</b>

---

Routing # 071922777 | Account # 7811583501 | Payable to: SWCA, Incorporated | Business Checking Account: First American Bank  
 Notification: payment@swca.com | Physical Remittance: P.O. Box 7217, Carol Stream, IL 60197- 7217 | EIN: #86-0483317

Jason Smith  
 Central Pine Barrens Joint Planning and Policy Commission  
 624 Old Riverhead Road  
 Westhampton Beach, New York 11978

February 23, 2026

Invoice No: 239876  
 Project Manager: Ari Porter  
 Project No: 00099294-000-AMH

<b>Invoice Total</b>	<b>\$4,918.06</b>
----------------------	-------------------

Central Pine Barrens Joint Planning and Policy Commission CWPP  
 RFP NO. 1659

**Professional Services through February 7, 2026**

Phase 01 Community Wildfire Protection Plan Content

**Professional Services**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Environmental Resources-Specialist V	7.00	110.70	774.90	
Environmental Resources-Specialist VI	1.50	123.30	184.95	
Environmental Resources-Specialist X	5.00	170.10	850.50	
Environmental Resources-Specialist XII	2.00	203.40	406.80	
GIS/CADD-Specialist V	.50	110.70	55.35	
Totals	16.00		2,272.50	
<b>Total Professional Services</b>				<b>2,272.50</b>
		<b>Total this Phase</b>		<b>\$2,272.50</b>

Phase 02 Establish Community Base Maps

**Professional Services**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Environmental Resources-Specialist X	.50	170.10	85.05	
GIS/CADD-Specialist V	6.00	110.70	664.20	
GIS/CADD-Specialist VIII	1.25	142.20	177.75	
Totals	7.75		927.00	
<b>Total Professional Services</b>				<b>927.00</b>
		<b>Total this Phase</b>		<b>\$927.00</b>

Phase 03 Community Background Information, Fire History, and Fire Occurrence Data Collection

**Professional Services**

	<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Environmental Resources-Specialist V	3.25	110.70	359.78	
GIS/CADD-Specialist V	7.00	110.70	774.90	
Totals	10.25		1,134.68	
<b>Total Professional Services</b>				<b>1,134.68</b>
		<b>Total this Phase</b>		<b>\$1,134.68</b>

Phase 04 Conduct Hazard and Risk Analysis

**Professional Services**

	Hours	Rate	Amount
GIS/CADD-Specialist VIII	.25	142.20	35.55
Totals	.25		35.55
<b>Total Professional Services</b>			<b>35.55</b>
<b>Total this Phase</b>			<b>\$35.55</b>

Phase 07                      Develop the Draft Community Wildfire Protection Plan

**Professional Services**

	Hours	Rate	Amount
Planning-Specialist IV	.50	102.60	51.30
Totals	.50		51.30
<b>Total Professional Services</b>			<b>51.30</b>
<b>Total this Phase</b>			<b>\$51.30</b>

Phase 09                      Develop Interactive GIS Hub, Story Map, and Project Tracking Tool

**Professional Services**

	Hours	Rate	Amount
Environmental Resources-Specialist V	1.50	110.70	166.05
GIS/CADD-Specialist V	.50	110.70	55.35
Planning-Specialist IV	.50	102.60	51.30
Totals	2.50		272.70
<b>Total Professional Services</b>			<b>272.70</b>
<b>Total this Phase</b>			<b>\$272.70</b>

Phase 10                      Design and Facilitate Public Outreach and Awareness

**Professional Services**

	Hours	Rate	Amount
Environmental Resources-Specialist V	.50	110.70	55.35
Planning-Specialist II	1.75	81.90	143.33
Planning-Specialist IV	.25	102.60	25.65
Totals	2.50		224.33
<b>Total Professional Services</b>			<b>224.33</b>
<b>Total this Phase</b>			<b>\$224.33</b>

**Contract Limits**

	Current	Prior	To-Date
Total Billings	4,918.06	14,586.59	19,504.65
Limit			174,955.50
Remaining			155,450.85

**PLEASE PAY THIS AMOUNT =====>                      \$4,918.06**

For any questions regarding this invoice please contact Tamara Mathew  
 Phone: 602.274.3831 Email: tamara.mathew@swca.com

# Billing Backup

Monday, February 23, 2026

SWCA, Incorporated

Invoice 239876 Dated 2/23/2026

4:34:55 PM

Project 00099294-000-AMH Central Pine Barrens Joint Planning and Policy Commission CWPP

Phase 01 Community Wildfire Protection Plan Content

**Professional Services**

			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
<b>Environmental Resources-Specialist V</b>					
Hughes, Adriana	1/5/2026	3.00	110.70	332.09	
prep for meeting, Core Team meeting 1, follow up for meeting					
Hughes, Adriana	1/6/2026	.50	110.70	55.35	
Sharepoint org, meeting follow up					
Hughes, Adriana	1/15/2026	1.00	110.70	110.70	
monthly admin meeting					
Hughes, Adriana	1/16/2026	.25	110.70	27.68	
emails					
Hughes, Adriana	2/4/2026	2.00	110.70	221.40	
January Progress report, team communication on action items, authorship meeting with Emmi, rescheduling admin meeting					
Hughes, Adriana	2/5/2026	.25	110.70	27.68	
team communication					
<b>Environmental Resources-Specialist VI</b>					
Goldsneider, Jess	1/26/2026	1.50	123.30	184.95	
*					
<b>Environmental Resources-Specialist X</b>					
Porter, Ari	1/5/2026	1.50	170.10	255.15	
core team meeting 1					
Porter, Ari	1/6/2026	.50	170.10	85.05	
core team meeting email					
Porter, Ari	1/7/2026	.25	170.10	42.53	
core team meeting 1 follow up					
Porter, Ari	1/9/2026	.25	170.10	42.53	
coordination/PM					
Porter, Ari	1/15/2026	1.50	170.10	255.12	
PM meeting with clients + data collection					
Porter, Ari	1/26/2026	.25	170.10	42.53	
data gathering					
Porter, Ari	2/2/2026	.25	170.10	42.53	
PM					
Porter, Ari	2/4/2026	.25	170.10	42.53	
PM					
Porter, Ari	2/6/2026	.25	170.10	42.53	
PM					
<b>Environmental Resources-Specialist XII</b>					
Amato, Victoria	1/5/2026	.25	203.40	50.85	
coordination					
Amato, Victoria	1/15/2026	1.00	203.40	203.40	
Admin meeting					
Amato, Victoria	1/20/2026	.25	203.40	50.85	
coordination					

Project	00099294-000-AMH	Central Pine Barrens Joint Planning and	Invoice	239876	
Amato, Victoria		1/26/2026	.25	203.40	50.85
	coordination				
Amato, Victoria		2/2/2026	.25	203.40	50.85
	coordination				
GIS/CADD-Specialist V					
Jansen, Erica		1/22/2026	.50	110.70	55.35
	Client Meeting				
	Totals		16.00		2,272.50
<b>Total Professional Services</b>					<b>2,272.50</b>
					<b>Total this Phase</b>
					<b>\$2,272.50</b>

---

Phase	02	Establish Community Base Maps			
<b>Professional Services</b>					
			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
Environmental Resources-Specialist X					
Porter, Ari		1/13/2026	.25	170.10	42.52
	maps and data				
Porter, Ari		1/14/2026	.25	170.10	42.53
	data and maps				
GIS/CADD-Specialist V					
Jansen, Erica		1/23/2026	.25	110.70	27.68
	GIS Coordination				
Jansen, Erica		1/26/2026	1.00	110.70	110.69
	GIS Support and Coordination				
Jansen, Erica		1/27/2026	.75	110.70	83.03
	GIS Coordination				
Jansen, Erica		1/28/2026	2.00	110.70	221.40
	GIS Support and Coordination				
Jansen, Erica		1/29/2026	1.00	110.70	110.70
	GIS Support				
Walters, Savannah		1/16/2026	1.00	110.70	110.70
	Process data from client and incorporate into gdb and maps				
GIS/CADD-Specialist VIII					
Hitzfelder, Liz		1/14/2026	.50	142.20	71.10
	GIS				
Hitzfelder, Liz		1/15/2026	.25	142.20	35.55
	GIS				
Hitzfelder, Liz		1/22/2026	.50	142.20	71.10
	GIS				
	Totals		7.75		927.00
<b>Total Professional Services</b>					<b>927.00</b>
					<b>Total this Phase</b>
					<b>\$927.00</b>

---

Phase	03	Community Background Information, Fire History, and Fire Occurrence Data Collection			
<b>Professional Services</b>					
			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>
Environmental Resources-Specialist V					
Hughes, Adriana		1/26/2026	2.00	110.70	221.40
	check in on action items, team communication, stakeholder engagement with Lisa				

Project	00099294-000-AMH	Central Pine Barrens Joint Planning and	Invoice	239876
Hughes, Adriana	1/28/2026	1.25	110.70	138.38
follow up on January admin meeting action items, team communication				
GIS/CADD-Specialist V				
Jansen, Erica	1/5/2026	.75	110.70	83.03
GIS Support				
Jansen, Erica	1/6/2026	.75	110.70	83.03
GIS Support				
Jansen, Erica	1/13/2026	.50	110.70	55.33
GIS Coordination				
Jansen, Erica	1/14/2026	1.50	110.70	166.05
GIS Coordination and Mapping				
Jansen, Erica	1/15/2026	.75	110.70	83.03
GIS Coordination				
Jansen, Erica	1/16/2026	.25	110.70	27.68
GIS Coordination				
Jansen, Erica	1/20/2026	2.00	110.70	221.40
GIS Support - Land Ownership Data, Mapping and Calculations				
Jansen, Erica	2/2/2026	.50	110.70	55.35
GIS Coordination				
Totals		10.25		1,134.68
<b>Total Professional Services</b>				<b>1,134.68</b>
<b>Total this Phase</b>				<b>\$1,134.68</b>

---

Phase	04	Conduct Hazard and Risk Analysis	Hours	Rate	Amount
<b>Professional Services</b>					
GIS/CADD-Specialist VIII					
Hitzfelder, Liz	1/28/2026	.25	142.20	35.55	
GIS					
Totals		.25		35.55	
<b>Total Professional Services</b>				<b>35.55</b>	
<b>Total this Phase</b>				<b>\$35.55</b>	

---

Phase	07	Develop the Draft Community Wildfire Protection Plan	Hours	Rate	Amount
<b>Professional Services</b>					
Planning-Specialist IV					
Berski, Emmi	2/4/2026	.50	102.60	51.30	
Document set up coordination					
Totals		.50		51.30	
<b>Total Professional Services</b>				<b>51.30</b>	
<b>Total this Phase</b>				<b>\$51.30</b>	

---

Phase	09	Develop Interactive GIS Hub, Story Map, and Project Tracking Tool
-------	----	---

**Professional Services**

			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Environmental Resources-Specialist V						
Hughes, Adriana	1/13/2026		1.25	110.70	138.37	
	review hub site, set up meeting agenda, communications with core team members on data needs					
Hughes, Adriana	1/14/2026		.25	110.70	27.68	
	team communication					
GIS/CADD-Specialist V						
Walters, Savannah	1/14/2026		.50	110.70	55.35	
	Hub site edits					
Planning-Specialist IV						
Berski, Emmi	1/14/2026		.25	102.60	25.65	
	GIS data coordination					
Berski, Emmi	2/6/2026		.25	102.60	25.65	
	Spanish GIS hubsite request					
	Totals		2.50		272.70	
	<b>Total Professional Services</b>					<b>272.70</b>
						<b>Total this Phase</b>
						<b>\$272.70</b>

Phase 10 Design and Facilitate Public Outreach and Awareness

**Professional Services**

			<b>Hours</b>	<b>Rate</b>	<b>Amount</b>	
Environmental Resources-Specialist V						
Hughes, Adriana	2/6/2026		.50	110.70	55.35	
	press release, review of draft survey, team communication					
Planning-Specialist II						
Dominic, Grace	2/5/2026		.25	81.90	20.48	
	Task Assignment					
Dominic, Grace	2/6/2026		1.50	81.90	122.85	
	plan Review + Press release					
Planning-Specialist IV						
Berski, Emmi	1/26/2026		.25	102.60	25.65	
	Public survey edits					
	Totals		2.50		224.33	
	<b>Total Professional Services</b>					<b>224.33</b>
						<b>Total this Phase</b>
						<b>\$224.33</b>
						<b>Total this Project</b>
						<b>\$4,918.06</b>
						<b>Total this Report</b>
						<b>\$4,918.06</b>

UNITED STATES DEPARTMENT OF THE INTERIOR  
DOWN PAYMENT (BILL) REQUEST

Make Remittance Payable To: U.S. Geological Survey  
Billing Contact: Tracy Bristol Phone: 518-285-5626

Bill #: 90160813  
Customer: 6000006100  
Date: 02/09/2026  
Due Date: 04/10/2026

Remit Payment To: United States Geological Survey  
P.O. Box 6200-27  
Portland, OR 97228-6200

Payer: Central Pines Barrens Joint Planning and  
624 Old Riverhead Road  
Westhampton Beach NY 11978



PAID TO PAY 2H  
CENTRAL PINE BARRENS  
E/L NUMBER 590028  
COST CENTER NUMBER 70000  
ORDER NUMBER 101567

Additional forms of payment may be accepted. Please  
email GS-A-HQ\_RMS@USGS.GOV or call  
703-648-7683 for additional information.

Checks must be made payable to  
U.S. Geological Survey. Please detach the top portion  
or include bill number on all remittances.

Amount of Payment: \$ \_\_\_\_\_

To pay through Pay.gov go to <https://www.pay.gov>.

Date	Description	Qty	Unit Price		Amount
			Cost	Per	
02/09/2026	Expenses incurred under Joint Funding Agreement 24LKJFA24570031 for the Surface water-quality and groundwater level monitoring in the Central Pine Barrens Region, Suffolk County, New York for the period October 1, 2025 to December 31, 2025 24LKJFA24570031	1	33,676.00	1	33,676.00

Amount Due this Bill: 33,676.00

Accounting Classification:  
Sales Order: 142113  
Sales Office: GELK  
Customer: 6000006100  
Accounting #: 11651850  
  
TIN: \*\*\*\*\*6762

**Billing back-up for Central Pine Barrens Commission**

**Project title:** A comprehensive water resources monitoring program for the Central Pine Barrens Region, Suffolk County, New York

**Account number:** GC25LK000033100

**Billing cycle:** Oct 1, 2025 through Dec 31, 2025

**Completed tasks:**

- 1. Collection and analysis of water-quality samples.** Water quality samples were collected during this period from the following sites: 01304500 (Peconic Gage), 01304440 (Connecticut Ave.), 01305040 (tidal), 01304995 (upper lake), 01305000 (CR gage), and 01304990 (bartlett).
- 2. Collection of water levels (GW). Collection of water levels (GW).** Real-time continuous groundwater level measurements began October 2024 at S 46542. 1 - USGS Water Data for the Nation and S 6413. 2 - USGS Water Data for the Nation. S 6413. 2 telemetry has been operating without issue. S 46542. 1 telemetry issues have been communicated with the cooperator previously. Data was downloaded and uploaded at site S 46542 manually, providing continuous data. Other groundwater wells have been tested for telemetry, but so far, S 46542 has the best continuous data.
- 3. Any meeting to report?** Yes, on Dec 11<sup>th</sup> we attended the Carmans River Partnership and Performance Meeting. We presented our findings from the following USGS Scientific Investigations Report: [Characterization of stream water quality and groundwater levels in the Central Pine Barrens region, Suffolk County, New York, 2017-23 \(usgs.gov\)](https://pubs.usgs.gov/ofr/2017/23/)



# Central Pine Barrens Commission

Educational Outreach and Communications Division  
March 2026

Memo: Purchase of Video Technology

## Proposal

The Educational Outreach and Communications division is seeking various technologies to create and edit video projects for numerous aspects of the division's work. The total for all equipment purchased will be less than \$6,000.

## Background

The division utilizes video technology for many of the projects we engage in daily, including videos we create for the commission's annual Cooperators Meeting; Barrens to Bay Summer Camp; social media; commission-sponsored events; and the "A Day in the Life" of a local river program, among other projects. The creation of engaging videos has become an instrumental part of our division's work, helping us to positively promote the commission's work and the Central Pine Barrens region as a whole.

High level video production requires a professional camera system capable of recording high-resolution video (4K UHD or higher) with interchangeable lenses to accommodate different focal lengths and filming environments.

Stabilization equipment such as a 3-axis motorized gimbal and a professional tripod system is necessary to ensure smooth, stable footage during both stationary and moving shots. Additional production equipment should include external microphones and essential accessories to maintain high-quality audio and visual capture in a variety of shooting conditions.

Post-production requires a high-performance computer workstation capable of handling high-bitrate 4K video workflows, large media files, and complex editing timelines.

Editing should be completed using Adobe Premiere Pro, with other tools within Adobe Creative Cloud used for color correction, motion graphics, audio processing and final export. This setup supports efficient media management, multi-layer editing, color grading and final delivery across broadcast, web and social media platforms.

## Budget and Funding

Pricing of individual components is still underway, but as noted above, total expenditures will be kept below \$6,000. Preliminary research indicates that we will be able to secure the equipment needed below that figure.

Ryan P. McGarry  
*Chairman*

Jerome Halpin  
*Member*

Maria Z. Moore  
*Member*

Daniel J. Panico  
*Member*

Edward P. Romaine  
*Member*

624 Old Riverhead Road  
Westhampton Beach, NY  
11978

Phone (631) 288-1079  
[www.pb.state.ny.us](http://www.pb.state.ny.us)



March 18, 2026

Michael Albano  
 Town of Brookhaven Planning Department  
 One Independence Hill  
 Farmingville, New York 11738

**RE:** Meadows at Artist Lake, Lot #2024-011-CZ  
 SCTM Numbers 200-379-1-3.1, 5.1 and 12  
 Central Pine Barrens Compatible Growth Area

Dear Mr. Albano:

On March 3, 2026, the Central Pine Barrens Commission office received the referral for the referenced project. The project is classified as a Type I Action pursuant to the SEQRA regulations. The Commission does not object to the Town Board assuming Lead Agency.

Ryan P. McGarry  
*Chairman*

Jerome Halpin  
*Member*

Maria Z. Moore  
*Member*

Daniel J. Panico  
*Member*

Edward P. Romaine  
*Member*

**Existing Conditions and Proposed Project**

The 74.25 acre project site is located in the Compatible Growth Area (CGA) of the Central Pine Barrens, in two zoning districts, A 1 Residence and J2 Business. A KMart store and parking lot previously occupied the southerly portion of the site. Natural open space is present in the northerly portion of the site.

The proposal consists of a mixed use, multi-family development with an estimated area coverage of 418,304 square feet for uses including:

- Residential complex with 295 units in six, three-story buildings where each building is 49,584 square feet and an 8,800 square foot clubhouse
- a 104,000 square foot commercial building,
- a 4,500 square foot restaurant
- a 2,500 square foot drive-through restaurant
- a sewage treatment plant
- a gas station
- parking for 1,161 vehicles
- a 28,850 square foot public recreational area including a baseball field, basketball court and a 1,000 square foot restroom/concession building
- a 1,000 square foot civic space
- 29.48 acres of open space

624 Old Riverhead Road  
 Westhampton Beach, NY  
 11978

Phone (631) 288-1079  
[www.pb.state.ny.us](http://www.pb.state.ny.us)

According to the Environmental Assessment Form, the mixed use development will generate 130,000 gallons per day of wastewater including irrigation and 62,500 gallon per day of sanitary wastewater.

## **Central Pine Barrens Status**

The proposal constitutes development activity pursuant to the Long Island Pine Barrens Protection Act (the Act), embodied in New York State Environmental Conservation Law (ECL) §57-0107(13). The proposal must conform with the Standards and Guidelines for land use outlined in the Central Pine Barrens Comprehensive Land Use Plan (the Plan). If the project does not conform with one or more provisions, the applicant must apply to the Commission for a CGA Hardship Waiver.

## **Development of Regional Significance**

According to the Plan, Section, 4.5.5.1, Development of Regional Significance, the project appears is a Development of Regional Significance (DRS). The definitions that appear to apply include:

- #2. A residential project that proposes the development of two hundred (200) residential development units or more or causes the total number of existing residential units on a project to exceed 200 units. A unit shall include any mixture of residential dwelling units such as attached single-family units or homes, detached single-family units or homes, apartments, condominium units.
- #3. A mixed use project that proposes a mixed use development of 400,000 square feet or greater of any type of use. The proposal appears to classify as a Development of Regional Significance.

As a DRS, the proposal must conform with the standards and guidelines for land use in Chapter 5 of the Plan. Please require the applicant to demonstrate conformance with the Plan prior to development on the project site. If the proposal does not conform with one or more Plan standards and guidelines, the applicant must apply to the Commission for a CGA Hardship Waiver. If a waiver is necessary, physical disturbance on the site may not occur until the Commission grants a hardship. See §57-0121.3(a) of the Act, which states:

3. (a) Subsequent to the adoption of the land use plan, the provisions of any other law, ordinance, rule or regulation to the contrary notwithstanding, no application for development within the Central Pine Barrens area shall be approved by any municipality or county or agency thereof or the commission, and no state approval, certificate, license, consent, permit, or financial assistance for the construction of any structure or the disturbance of any land within such area shall be granted, unless such approval or grant conforms to the provisions of such land use plan;

Artist Lake is defined in the Plan as a Scenic Area in the Central Pine Barrens, see Chapter 5, Figure 5-3, and Volume II of the Plan.

## **General comments**

Preliminary comments on the proposed site plan and information provided in the EAF Part I were prepared for your consideration including:

- Standard 5.3.3.6.1 Vegetation clearance limits
  - Please demonstrate conformance with this Standard.
  - To determine conformance, please have the applicant identify and provide:
    - Amount of existing cleared area and existing natural area
    - Extent of existing cleared area and natural area that are present in each different zoning district
    - Proposed coverages of cleared area and natural area
  
- Standard 5.3.3.6.3 Fertilizer-dependent vegetation and 5.3.3.6.4 Native Plantings
  - An estimated 7.7 acres (338,482 square feet) of fertilizer dependent vegetation in landscaping (14.2%) is proposed.
  - Consider reducing the extent of fertilizer dependent vegetation to protect the water quality of Artist Lake and groundwater resources and to minimize contaminated runoff from the project site.
  - Consider using a greater amount of native plants in landscaping that are drought tolerant and limit fertilizer use to minimize chemical inputs in runoff to surface and groundwater resources and to support the pine barrens ecosystem.
  
- Guideline: 5.3.3.11.5 Roadside design and management.
  - Consider features visible from the roadside including buildings and parking lots.
  - Consider adding a row of street trees on the roadside.
  
- Minimize lighting on open space. Utilize dark skies fixtures in developed areas.
  
- Limit the number and variety of signage in the landscape to reduce sign pollution.
  
- Consider a conservation easement to protect and dedicate the 29+ acres of natural open space for the future. Require the easement or other legal instrument to be recorded prior to demolition, construction and development on the project site. Protected open space should be free of development and improvements including parking lots and paved areas.

The proposal must conform to all other involved agency jurisdictions and permit requirements in effect on the project site. If you have any questions, please contact me at (631) 218-1192.

Sincerely,

Julie Hargrave  
Pine Barrens Manager

cc: John C. Milazzo, Counsel

## Hargrave, Julie

---

**From:** Antoinette (Toni) Rivera <arivera@brookhavenny.gov>  
**Sent:** Tuesday, March 3, 2026 12:52 PM  
**To:** Gregson H. Pigott; Highway Engineering Plans; PB Hargrave, Julie; Dwight Sorgan; Craig Strong; Luke Ormand; John Turner; Lamiroult, Kimberly L (DEC); Kohlmann, Thomas S (DEC); Melik Tariq; Steiger, Eric (DOT) <Eric.Steiger@dot.ny.gov>; Amanda Kiernan; Nicole Fantigrossi; Peter Fountaine; Anthony Todaro; Chris Mehrman; Nicholas Spata  
**Cc:** Michael Albano; Karen Sullivan  
**Subject:** 2024-011-CZ The Meadows at Artist Lake  
**Attachments:** The Meadows at Artist Lake-Rev. Application 3.3.26.pdf; The Meadows at Artist Lake-Rev. Concept Plan 3.3.26.pdf; The Meadows at Artist Lake-Rev. FEAF 3.3.26.pdf

**CAUTION:** This email originated from outside of SCWA. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon,

**FROM:** Michael Albano  
Planning Division

**RE:** Town Board Application: **The Meadows @ Artist Lake**, Log # **2024-011-CZ**  
From A1 & J2 to PDD  
N/s Middle Country Rd. E/o Currans Rd., Middle Island  
Suffolk County Tax Map #: 0200 37900 0100 003001, 005001 & 01200, 74.25 acres.

Attached is a copy of a new application this office has received. For your review and consideration, please find enclosed a copy of the project application materials.

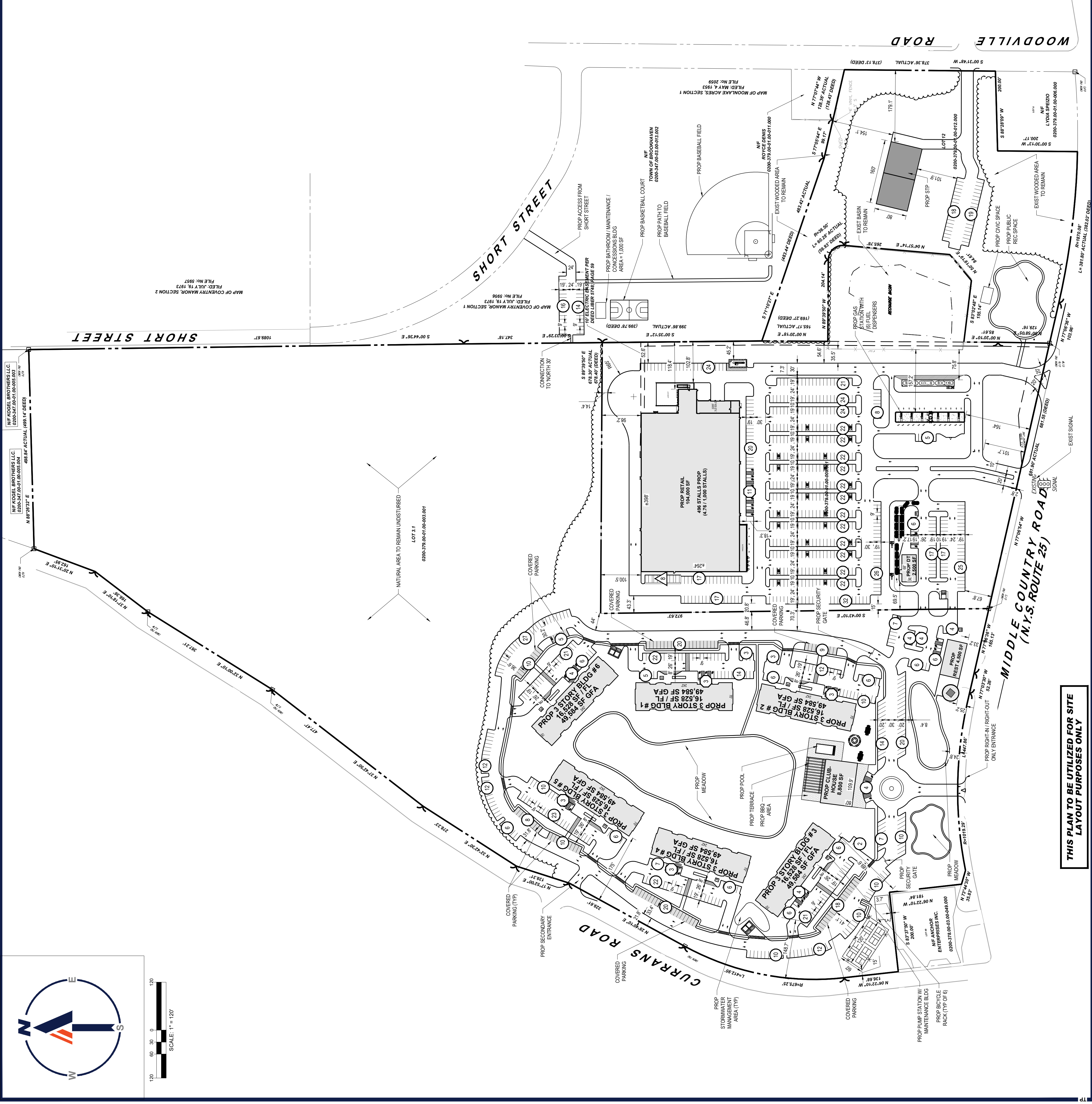
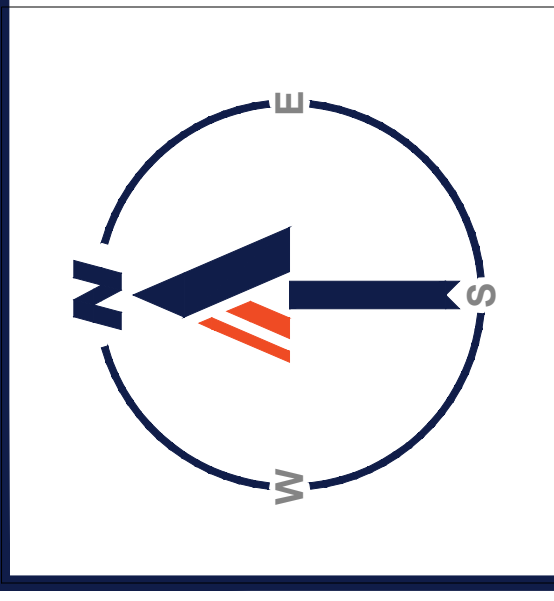
According to the Town of Brookhaven procedures for implementation of the State Environmental Quality Review Act, this project is **TYPE 1** action with possible significant environmental impacts. As an interested agency or an agency involved in approving this action, you are hereby requested to indicate your position regarding designation of a lead agency. If there are no objections, the Town of Brookhaven Town Board intends to assume lead agency status.

Please reply within 30 days of the date of this mailing. Also, kindly forward any findings or concerns you may have regarding this proposal, particularly with respect to your areas of expertise and jurisdiction, which would enhance the utilization of this site or provide additional protection to the community.

**All correspondence should be forwarded to The Office of the Town Clerk for distribution to lead agency: [Karen Sullivan](mailto:ksullivan@brookhavenny.gov)**  
[ksullivan@brookhavenny.gov](mailto:ksullivan@brookhavenny.gov)

**Town of Brookhaven**  
**OFFICE OF THE TOWN CLERK**  
Kevin J. Lavallo  
One Independence Hill  
Farmingville, NY 11738

Thank you for your continued cooperation. If you have any questions or need any further information, please contact this Division.



**THIS PLAN IS TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY**

### ZONING TABLE

USE: PROP RESIDENTIAL, COMMERCIAL CENTER, CLUBHOUSE, RESTAURANT, RESTAURANT W/ DRIVE-THRU & RECREATIONAL AREAS  
 PROPOSED ZONING: RESIDENTIAL COMMERCIAL CENTER (R-CC) (SEE SECTION 24.1)  
 ALL PERMITTED USES WITHIN MF, CRD AND J BUSINESS PER § 85-742.A (1) (D) & (9).

ITEM	CODE	PERMITTED	PROPOSED
MIN LOT AREA	§ 85-742 A (1)	THERE SHALL BE NO MIN LOT AREA REQUIREMENTS FOR USES, UNITS OR LOTS CREATED INTERNALLY WITHIN THE PDD	3,234,191 SF (74,247 AC)
MIN WIDTH OF LOT	§ 85-742 B (1)	THERE SHALL BE NO MIN LOT WIDTH REQUIREMENTS FOR USES, UNITS OR LOTS CREATED INTERNALLY WITHIN THE PDD	498.84'
MAX SITE CLEARANCE NATIVE PLANTINGS (RECOMMENDED)	§ 85-742 B (2)	65% (2,102,224 SF) (INCL EXIST BASIN)	48.29% (1,560,933 SF)
MIN YARD SETBACKS	§ 85-742 C	25'	33.2' (RESTAURANT)
FRONT YARD	§ 85-742 D	50'	45.2' (REAR - RETAIL)
SIDE AND REAR YARD	§ 85-742 E	90 OR 3 J STORES	189.6' (SIDE - RESIDENTIAL)
MAX PERMITTED HEIGHT	§ 85-742 F	60% (1,940,544.8 SF)	57' COMPLEES (REFER TO ARCH PLANS)
MAX PERMITTED FAR	§ 85-742 G	RESIDENTIAL AND NON-RESIDENTIAL USES SHALL PROVIDE A BUFFER TO ADJACENT PDD	57' COMPLEES (REFER TO ARCH PLANS)
MIN BUFFER TO RESIDENTIAL USES	§ 85-742 G & § 85-343	RESIDENTIAL AND NON-RESIDENTIAL USES SHALL PROVIDE A BUFFER TO ADJACENT PDD	48.29% (1,560,933 SF)
MIN BUFFER TO ALL ROAD FRONTAGES (COMMERCIAL CENTER)	§ 85-742 H (1)	CIVIC SPACE REQUIREMENTS ARE IN ADDITION TO THE RECREATIONAL REQUIREMENTS REQUIRED HEREIN	COMPLEES
MIN BUFFER TO ALL ROAD FRONTAGES (COMMERCIAL CENTER)	§ 85-742 H (2)	MIN BUFFER TO ALL ROAD FRONTAGES (COMMERCIAL CENTER)	COMPLEES
MIN STREET TREES	§ 85-343 A (6)	MIN PERMITTED BUFFER AREA OF 75' ADJACENT TO ANY RESIDENTIAL USE OR LANDSCAPE BUFFER TO RESIDENTIAL	COMPLEES
MIN LANDSCAPE COVERAGE	§ 85-343 A (2)	50% OF REQUIRED LANDSCAPE COVERAGE	33.69% (379,137 SF)
MIN FRONT YARD LANDSCAPING	§ 85-343 B (2)	MIN PERMITTED BUFFER AREA OF 75' ADJACENT TO ANY RESIDENTIAL USE OR LANDSCAPE BUFFER TO RESIDENTIAL	48.29%
SUPPLEMENTAL STANDARDS - RESIDENTIAL		OUTDOOR/RECREATIONAL USE	WATER REQUIRED

**BOHLER**

SITE CIVIL AND CONSULTING ENGINEERING  
 PROGRAM ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 PERMITTING SERVICES  
 TRANSPORTATION SERVICES

REV	DATE	COMMENT
1	04/29/2025	REVISED DRIVE-THRU BUILDING
2	06/01/2025	REVISED PER CLIENT COMMENTS
3	07/01/2025	REVISED PER CLIENT COMMENTS
4	10/27/2025	REVISED PER CLIENT COMMENTS
5	12/04/2025	REVISED PER BIGGER BUFFER
6	01/30/2026	CHANGE OF ZONE

Know what's below.  
Call before you dig.

NEW YORK CITY & LONG ISLAND  
 ONE CALL BEFORE YOU DIG  
 WHEREVER IT'S ON PRIVATE OR PUBLIC LAND.

www.nyc.gov/811.com

**ISSUED FOR MUNICIPAL & APPROVAL AGENCY REVIEW & APPROVAL**

REVISIONS AND COMMENTS TO BE MADE BY THE ARCHITECT AND ENGINEER IN CONSULTATION WITH THE MUNICIPAL AGENCY AND APPROVAL AGENCY.

PROJECT NO.: NY1423048-01-8A  
 DRAWN BY: DCRM  
 CHECKED BY: CAMS  
 CAD ID: P-CIVIL-SITE

**ISSUED FOR MUNICIPAL & APPROVAL AGENCY REVIEW & APPROVAL**

REVISIONS AND COMMENTS TO BE MADE BY THE ARCHITECT AND ENGINEER IN CONSULTATION WITH THE MUNICIPAL AGENCY AND APPROVAL AGENCY.

PROJECT NO.: NY1423048-01-8A  
 DRAWN BY: DCRM  
 CHECKED BY: CAMS  
 CAD ID: P-CIVIL-SITE

**BOHLER**

275 BROADHOLLOW ROAD, SUITE 100  
 MELVILLE, NY 11747  
 Phone: (631) 738-1200  
 Fax: (631) 285-6464  
[www.BohlerEngineering.com](http://www.BohlerEngineering.com)

**DALE E. KOCH**

PROFESSIONAL ENGINEER  
 LICENSE NO. 029818  
 STATE OF NEW YORK

**OVERALL SITE PLAN**

SHEET NUMBER: **C-301**

REVISION 6 - 01/30/2026

SHEET TITLE:

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF COUNTRY ROAD, SECTION 2  
 FILED: JULY 18, 1973  
 FILE NO. 9957

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

MAP OF BROOKHAVEN ACRES, SECTION 1  
 FILE NO. 5986

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**RECEIVED**

By Brookhaven Town Clerk at 9:39 am, Mar 03, 2026

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: The Meadows at Artist Lake		
Project Location (describe, and attach a general location map): n/e/c of Middle Country Road and Currans Road, Middle Island		
Brief Description of Proposed Action (include purpose or need): (see attached)		
Name of Applicant/Sponsor: Poly-Jaz Realty LLC, Newbridge Jaz LLC and Mid Isle LLC		Telephone: 516-741-7400
		E-Mail: dorwasher@breslinrealty.com
Address: 500 Old Country Road, Suite 200		
City/PO: Garden City	State: NY	Zip Code: 11530
Project Contact (if not same as sponsor; give name and title/role): David Orwasher, Chief Development Officer		Telephone: 516-741-7400
		E-Mail: dorwasher@breslinrealty.com
Address: Same as above.		
City/PO: Same as above	State: NY	Zip Code: 11530
Property Owner (if not same as sponsor): Same as above		Telephone: Same as above
		E-Mail: Same as above
Address: Same as above		
City/PO: Same as above	State: Same as above	Zip Code: Same

**The Meadows at Artist Lake  
A Breslin/Midwood Development  
Hamlet of Middle Island, Town of Brookhaven  
Suffolk County, New York**

**Part I – Environmental Assessment Form**

**Attachment**

**Page 1, Item A – Brief Description of Proposed Action:**

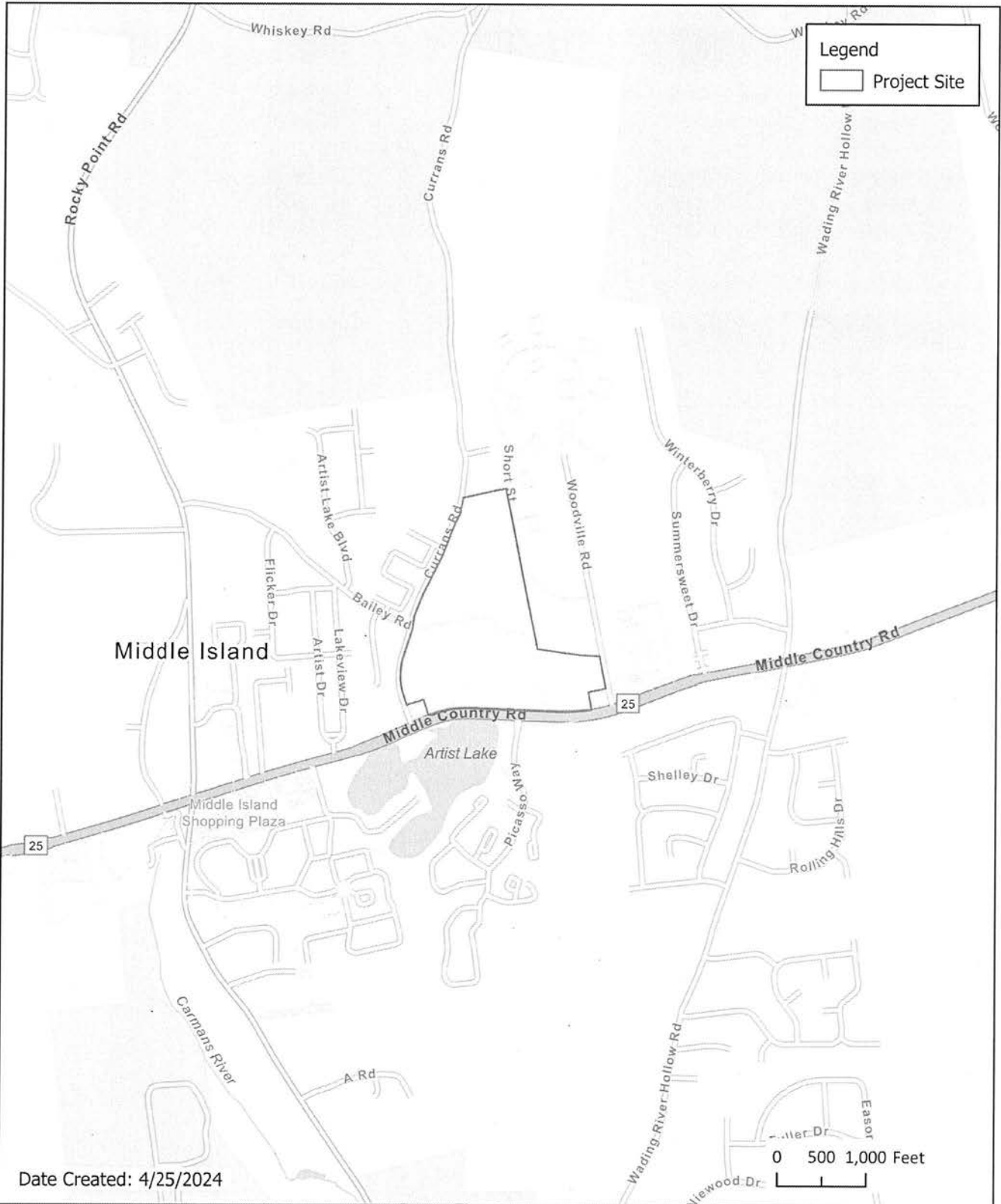
The Proposed Action involves a request for change of zone and site plan approval to permit the development of a mixed-use multi-family development located on the northeast corner of the intersection of Middle Country Road (NYS Route 25) and Currans Road within the hamlet of Middle Island, Town of Brookhaven, Suffolk County, New York. The Subject Property is 74.25± acres in size and includes pavement and disturbed areas associated with a former K-Mart development in the southern portion of the subject property. The northern portion of the subject property consists of undeveloped, wooded land, and the southeastern portion of the subject property includes a recharge basin. A 0.87±-acre water body in this basin is a Town-designated wetland. The majority of the subject property is currently within the Town of Brookhaven's A-1 Residence zoning district, with the former K-Mart development site within the J-2 Business zoning district. The proposed Action seeks to change the zoning of the site to the Planned Development District (PDD).

The proposed development involves six three-story buildings in the southwestern portion of the subject property to include a total of 295 multi-family residential units, including 28 studio units, 88 one-bedroom units, and 179 two-bedroom units. 10 percent of the units will be included as workforce housing and 10 percent of the units will be included as affordable housing, in accordance with Chapter 85 of the Town Code. 50 percent of the units will be age-restricted. Additionally, the proposed development includes a 8,800-square-foot (SF) clubhouse with a pool as a resident amenity, a 104,000-SF grocery store in the central portion of the subject property east of the residential development, a 4,500-SF restaurant, a 2,500-SF drive-thru restaurant, 195-SF gas station with six fuel dispensers, a 5,000-SF pump house/maintenance facility, approximately 20,850 SF of public recreational area, 1,000 SF of civic space, and an on-site wastewater management area. Commercial space and associated parking is provided in the south-central portion of the subject property. Additional accessory areas include amenity areas, four tennis courts, central open space/meadows with boardwalk and walking trails, a recharge basin/retention pond, and parking and driveway areas. The remaining 29.48± acres of primarily the northern portion of the subject property would remain undeveloped, wooded land.

The layout of the proposed mixed use multi-family development would provide required buffering along Middle Country Road (NYS Route 25) and Currans Road, and would be adequately screened from adjacent residential uses. Access to the commercial areas would include a divided main access drive with planted median in the southeastern portion of the subject property along

Middle Country Road (NYS Route 25), which includes an existing traffic signal. The main access to the residential areas of the subject property would be via a right-in/right-out only access point in the southwest portion of the subject property along Middle Country Road, which leads to a two-way loop with a fountain entrance feature, and access to all of the residential buildings. A secondary entrance to the residential buildings would be provided along the western side of the proposed development, along Currans Road. Three electronic gates would provide resident access to the residential buildings and clubhouse from the Middle Country Road entrance and the adjacent commercial space. The proposed project would contain 1,161 parking stalls of the 1,339 stalls required (variance required). 37 of the proposed stalls would be ADA-compliant.

An on-site wastewater management area is provided in the southeastern portion of the subject property for treatment of sanitary wastewater from the proposed project. Potable water is proposed to be supplied to the project by the Suffolk County Water Authority. Stormwater would be contained and infiltrated on-site via an on-site recharge basin in the eastern portion of the subject property as well as green infrastructure and leaching pools per Town requirements.



Date Created: 4/25/2024



**FIGURE 1  
LOCATION MAP**

Sources: ESRI Streets Layer, 2017; Suffolk County GIS, 2016  
Scale: 1 inch equals 1,500 feet



**Breslin - Artist Lake**

**EAF**



Date Created: 4/25/2024

Artist Lake



**FIGURE 2  
AERIAL MAP**

Sources: NYS Orthoimagery, 2023; ESRI Hybrid Reference Layer, 2017;  
Suffolk County GIS, 2016

Scale: 1 inch equals 400 feet



**Breslin - Artist Lake**

**EAF**

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town Board (Change of Zone Approval, Variances); Site Plan/zoning approval, SWPPP	January 2026
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Town IDA (IDA Review)	TBD
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SCDHS (STP, SPDES discharge, water conn.) SCWA (water connection); SCPC (239-m)	TBD
f. Regional agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	PSEG and National Grid (utility connections) CPBJPPC (Development of Regional Significance)	TBD
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DOT (Access from Middle Country Rd.) (NY-25); NYS DEC (SPDES Construction Permit)	TBD
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

NYS Heritage Areas: LI North Shore Heritage Area

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

<b>C.3. Zoning</b>	
a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. If Yes, what is the zoning classification(s) including any applicable overlay district? A1 Residence and J2 Business	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
b. Is the use permitted or allowed by a special or conditional use permit?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
c. Is a zoning change requested as part of the proposed action? If Yes, i. What is the proposed new zoning for the site? Planned Development District (PDD)	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<b>C.4. Existing community services.</b>	
a. In what school district is the project site located? Longwood Central School District (CSD)	
b. What police or other public protection forces serve the project site? Suffolk County Police Department (SCPD), 7th Precinct, Police Sector 704	
c. Which fire protection and emergency medical services serve the project site? Middle Island Fire District	
d. What parks serve the project site? Middle Island Dog Park, Cathedral Pines County Park, Rocky Point Pine Barrens State Forest	

**D. Project Details**

<b>D.1. Proposed and Potential Development</b>	
a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Mixed use multi-family residential/commercial	
b. a. Total acreage of the site of the proposed action? 74.247 acres b. Total acreage to be physically disturbed? ±45 acres c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 74.247 acres	
c. Is the proposed action an expansion of an existing project or use? i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
d. Is the proposed action a subdivision, or does it include a subdivision? If Yes, i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types) ii. Is a cluster/conservation layout proposed? iii. Number of lots proposed? iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
e. Will the proposed action be constructed in multiple phases? i. If No, anticipated period of construction: _____ months ii. If Yes: • Total number of phases anticipated _____ 3 • Anticipated commencement date of phase I (including demolition) _____ 01 month _____ 2027 year • Anticipated completion date of final phase _____ 01 month _____ 2030 year • Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____ The first phase of development will include sanitary infrastructure and general site infrastructure, which the subsequent phases rely upon.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	0	0	0	148
At completion of all phases	0	0	0	295

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures 7 Restaurant/retail, club house, STP, maintenance building  
 ii. Dimensions (in feet) of largest proposed structure: 50 height; 264 width; and 398 length  
 iii. Approximate extent of building space to be heated or cooled: ±138,000 square feet All buildings listed above

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_  
 iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) \*Site to be balanced; no off-site disposal of excavated materials expected.  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): \_\_\_\_\_  
 • Over what duration of time? \_\_\_\_\_  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_  
 \_\_\_\_\_  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_  
 v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres  
 vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres  
 vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No  
 If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
 If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No  
 If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 130,000 ± gallons/day \*includes irrigation

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
 If Yes:

- Name of district or service area: Suffolk County Water Authority
- Does the existing public water supply have capacity to serve the proposal? TBD\*  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
 If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
 If, Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No  
 If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 62,500 ± gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_  
Sanitary wastewater from the mixed use multi-family community, including 295 residential units, clubhouse, supermarket, restaurant, and retail space

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
 If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

\*The Suffolk County Water Authority previously served the former structure at the Subject Property. The Applicant has submitted a request to confirm capacity for the Proposed Project, which will be confirmed prior to the implementation of the Proposed Project.  
 Page 5 of 13

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 On-site wastewater management area for treatment of sanitary wastewater from residential and commercial uses \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 N/A \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or 19.51 acres (impervious surface)  
 \_\_\_\_\_ Square feet or 74.25 acres (parcel size)

ii. Describe types of new point sources. Stormwater runoff from roofs and impervious surfaces  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
On-site recharge basin in eastern portion of subject property to capture and infiltrate all stormwater runoff from impervious surfaces; other green infrastructure and leaching pools to be installed per site plan.  
 \_\_\_\_\_

• If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 N/A \_\_\_\_\_

• Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)



m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 Some construction activities may exceed ambient noise levels; however, all activities will be conducted in accordance with and during permitted hours as indicated under Chapter 50 "Noise Control" of the Town of Brookhaven Code.

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: Construction of the proposed project may remove some vegetation currently acting as a noise barrier/screen; however, the current plans include installation of landscaped trees and will retain as much existing vegetation around the border as is feasible.

---

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 Specific locations for outdoor lighting fixtures are to be determined. It is anticipated that outdoor lighting fixtures would be installed throughout the Subject Property for safety and security purposes. It is expected that all lighting fixtures would be downward facing and shielded to prevent off-site spill.

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: Construction of the proposed project may remove some vegetation currently acting as a light barrier/screen; however, the current plans include installation of landscaped trees and will retain as much existing vegetation around the border as is feasible.

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:  
 \_\_\_\_\_  
 \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored Gasoline & Diesel  
 ii. Volume(s) ±40,000 gal per unit time 24/7 storage (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: Gas station with 6 fuel dispensers - containment and spill prevention to comply with all applicable standards

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
Fertilizer to be used for a maximum of 15% of landscaped vegetation (357,655 SF). Project proposes 338,482 SF of fertilized landscaped vegetation (14.2%).  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: ±2,100 tons per month (unit of time) \*Commercial use only (restaurant  
 • Operation : ±5.1 tons per day (unit of time) and retail)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: All excavated material to be reused on-site subject to finalization of site grading plan.  
 \_\_\_\_\_  
 • Operation: Material to be recycled where possible  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: N/A - balanced site subject to finalization of site grading plan.  
 \_\_\_\_\_  
 • Operation: Recyclables and solid waste to be picked up by licensed carter and disposed of at off-site approved location.  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
Wooded land to the north, single-family and multi-family residential present to the east, west, and south of the subject proeprty. Commercial uses southwest and southeast of the subject property along Middle Country Road.

b. Land uses and coverytypes on the project site.

Land use or Coverytype	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	22.76	19.51	-3.25
• Forested	49.54	32.31	-17.23
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	1.08	1.06	-0.02
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	0
• Wetlands (freshwater or tidal)	0.87	0.87	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: <u>Landscaped (maintained)</u>	0.00	20.50	+20.50

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
*i.* If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
 If Yes,  
*i.* Identify Facilities: \_\_\_\_\_  
 \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
 If Yes:  
*i.* Dimensions of the dam and impoundment:  
 • Dam height: \_\_\_\_\_ feet  
 • Dam length: \_\_\_\_\_ feet  
 • Surface area: \_\_\_\_\_ acres  
 • Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
*ii.* Dam's existing hazard classification: \_\_\_\_\_  
*iii.* Provide date and summarize results of last inspection: \_\_\_\_\_  
 \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
 If Yes:  
*i.* Has the facility been formally closed?  Yes  No  
 • If yes, cite sources/documentation: \_\_\_\_\_  
*ii.* Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
 \_\_\_\_\_  
*iii.* Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_  
 \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
 If Yes:  
*i.* Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_  
 \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
 If Yes:  
*i.* Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
*ii.* If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
 \_\_\_\_\_  
*iii.* Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
 If yes, provide DEC ID number(s): \_\_\_\_\_  
*iv.* If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ ±1,300 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

Cut and fill land (CuB)	44 %
Haven loam (HaA, HaB, HaC)	43 %
* Remaining ~3% PIB, RdA, RhB	
Riverhead sandy loam (RdB)	10 %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ 58 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 100 % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 65 % of site  
 10-15%: \_\_\_\_\_ 35 % of site  
 15% or greater: \_\_\_\_\_ 10 % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_

---

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name 922-44 Classification C
- Wetlands: Name Federal Waters, Federal Waters Approximate Size 32.8
- Wetland No. (if regulated by DEC) Artist Lake - MD-1

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: Sole Source Aquifer Names: Nassau-Suffolk SSA

m. Identify the predominant wildlife species that occupy or use the project site:  
 white-tailed deer, grey squirrel, racoon      eastern cottontail rabbit, chipmunk,      northern cardinal, blue jay,  
 american robin, red fox, groundhog      red-tailed hawk, mourning dove, turkey      eastern box turtle  
 Other species that are somewhat tolerant of human activities \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No  
 If Yes:  
 i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_  
 Coastal Plain Pond Shore, Pitch Pine-Oak-Heath Woodland  
 ii. Source(s) of description or evaluation: EAF Mapper  
 iii. Extent of community/habitat:  
 • Currently: \_\_\_\_\_ 0.1, 25.0, 1045.0 acres  
 • Following completion of project as proposed: \_\_\_\_\_ 25.0, 0.1, 1023.9 acres  
 • Gain or loss (indicate + or -): \_\_\_\_\_ -21.10 acres \*Pitch Pine-Oak-Heath Woodland

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No  
 If Yes:  
 i. Species and listing (endangered or threatened): \_\_\_\_\_  
 Narrow-leaved Pinweed, Small-flowered Dwarf Bulrush, Black-fruited Spike Rush, Small Swollen Bladderwort, Tiger Salamander, Nor...

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No  
 If Yes:  
 i. Species and listing: \_\_\_\_\_  
 Rose Coreopsis, Coastal Barrens Buckmoth

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No  
 If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No  
 If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No  
 i. If Yes: acreage(s) on project site? \_\_\_\_\_  
 ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No  
 If Yes:  
 i. Nature of the natural landmark:  Biological Community  Geological Feature  
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No  
 If Yes:  
 i. CEA name: \_\_\_\_\_  
 ii. Basis for designation: \_\_\_\_\_  
 iii. Designating agency and date: \_\_\_\_\_

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?  Yes  No  
 If Yes:  
 i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District  
 ii. Name: \_\_\_\_\_  
 iii. Brief description of attributes on which listing is based: \_\_\_\_\_

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No  
 If Yes:  
 i. Describe possible resource(s): \_\_\_\_\_  
 ii. Basis for identification: \_\_\_\_\_

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No  
 If Yes:  
 i. Identify resource: \_\_\_\_\_  
 ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_  
 iii. Distance between project and resource: \_\_\_\_\_ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No  
 If Yes:  
 i. Identify the name of the river and its designation: \_\_\_\_\_  
 ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.


If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**


I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Charles J. Voorhis, CEP, AICP Date January 29, 2026

Signature  Title Principal



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENTAL, Navteq, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, iC, OpenStreetMap contributors, and the GIS User Community, Esri, HERE, Garmin, NGA, USGS, NPS

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Yes - Digital mapping data are not available for all Special Planning Districts. Refer to EAF Workbook.
C.2.b. [Special Planning District - Name]	NYS Heritage Areas:LI North Shore Heritage Area
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
E.2.h.ii [Surface Water Features]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local, New York State, and federal wetlands and waterbodies is known to be incomplete. Refer to the EAF Workbook.
E.2.h.iv [Surface Water Features - Lake/Pond Name]	922-44
E.2.h.iv [Surface Water Features - Lake/Pond Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters

E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	No
E.2.j. [100 Year Floodplain]	No
E.2.k. [500 Year Floodplain]	No
E.2.l. [Aquifers]	Yes
E.2.l. [Aquifer Names]	Sole Source Aquifer Names:Nassau-Suffolk SSA
E.2.n. [Natural Communities]	Yes
E.2.n.i [Natural Communities - Name]	Coastal Plain Pond Shore, Pitch Pine-Oak-Heath Woodland
E.2.n.i [Natural Communities - Acres]	25.0, 0.1, 1045.0
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Narrow-leaved Bush Clover, Small Swollen Bladderwort, Narrow-leaved Pinweed, Hyssop Hedge Nettle, Three-ribbed Spike Rush, Carey's Smartweed, Veined Thoroughwort, Small-flowered Dwarf Bulrush, Clustered Bluets, Tiger Salamander, Northern Long-eared Bat
E.2.p. [Rare Plants or Animals]	Yes
E.2.p. [Rare Plants or Animals - Name]	Black-fruited Spike Rush, Rose Coreopsis, Tall Beak Sedge, Coastal Barrens Buckmoth
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

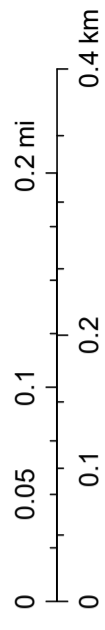
# The Meadows at Artist Lake



3/4/2026, 9:23:25 PM

1:7,504

- Street Labels: Blue: Blue
- Tax Parcels: White
- 2023 Orthoimagery: Light Gray
- Roads: 8,000: Red
- Parks: 250 - 16,000: Green
- SC Shoreline: 0 - 8,000: Light Gray
- Waterbody: 100 - 750,000: Light Blue
- Minor Arterial: Yellow
- Local: White
- Ramp: Light Gray
- Waterbody: 0 - 8,000: Light Blue
- Major Arterial: Yellow



DRAFT

**Central Pine Barrens Joint Planning and Policy Commission**

Draft Staff Report for the Public Hearing

Wednesday, March 18, 2026

**PROJECT NAME:** 645 Grumman Boulevard, Calverton  
Core Preservation Area Hardship Application

**APPLICATION TIMELINE:**

- 2/2/26 Application Received
- 2/18/26 Public Hearing Scheduled
- 3/18/26 Public Hearing
- 6/2/26 Deadline for Decision

**OWNER/APPLICANT:** Andrew M. Weiss, Jr.  
Co-Managing Member, 645 Grumman Blvd LLC  
CEO, Signature Partners LLC

**PROJECT SITE LOCATION:** 645 Grumman Boulevard, Calverton, Town of Riverhead

**SUFFOLK COUNTY TAX MAP NUMBER:** 600-141-2-2.1

**PROJECT SITE AREA:** 20 acres

**ZONING DISTRICT:** Natural Resources Protection

**CURRENT USE:** Vacant/abandoned

**PROPOSED USE:** Agriculture/Horticulture cultivation of cannabis

**EXISTING CONDITIONS**

The 20-acre Project Site is located at 645 Grumman Boulevard in Calverton, Town of Riverhead in the Core Preservation Area of the Central Pine Barrens. The site is on the south side of Grumman Boulevard. Natural open space adjoins the west and south sides. Swan Lake Golf Course adjoins the east side.

The site has been abandoned and not actively in use since the 1990s. (See Exhibit A for an aerial of the Project Site and Exhibit B for photographs of the Project Site.)

Approximately 10 acres of the site is developed; 10 acres is wooded with natural pine barrens habitat. The developed area contains three buildings totaling 127,169 square feet and a parking lot. The three building areas include:

- Building 1: 66,148 square feet, two stories, built in 1988-1992
- Building 2: 51,531 square feet, three stories, built in 1968
- Building 3: 9,490 square feet, built in 1984

The Applicant purchased the property in November 2025 for \$750,000.

## APPLICANT REQUEST

The Applicant requests a Core Preservation Area Hardship Waiver for a two-phased project to use the project site for an indoor cannabis cultivation operation. No expansion of existing building footprints or envelopes is proposed. The parking lot will be resurfaced and expanded by 32 parking spaces, from 305 to 337 spaces

The project will occur in two phases. Building 1 is in a condition to be reused with repairs and renovations that consist generally of cosmetic improvements. Building 2 is in poor condition. It requires remediation due to mold, water damage and asbestos contamination and requires structural repairs.

### Phase 1: Building 1 (aka Building 78)

Phase 1 focuses on Building 1 repairs and renovations including replacing glass, repainting the interior, renovating restrooms, installing fire alarms and sprinklers, and a new septic system and reconnecting utilities including electric and water services.

Removal of existing oil tanks and oil-fired boilers and replace with electric fire units to reduce the building's carbon footprint.

### Phase 2: Buildings 2 and 3

Phase 2 includes renovations to Buildings 2 and 3 including changing heating and cooling systems to electric and:

#### Renovations to Building 2

- This structure has mold, lead paint and asbestos contamination in need of remediation. Structural repairs and renovations are proposed including replacement of the water-damaged roof. Continuous water intrusion has occurred over three decades the building has been vacant. The interior requires complete renovation. The existing galvanized steel skin will be refurbished. The interiors will be rebuilt to suit incoming tenants.
- Renovations to Building 3
- Building envelopes, developed and undeveloped area coverages will remain the same as today. No expansions are proposed. The Site Plan is included as Exhibit C. There is no clearing of existing natural vegetation in the rear 10 acres. Trees that are growing in or within a few feet of the buildings will be removed, but trees and other natural vegetation around the buildings and in the parking lot that can be reused in landscaping will remain where possible.

## Sanitary Flow

As-of-right sanitary flow for the project site is 300 gpd/acre x 20 acres or 6,000 gallons per day (gpd). Based on Table 1 – Project Density Loading Rates & Design Sewage Flow Rates by the Suffolk County Department of Health Services dated July 21, 2020, the flow rate for industrial office space is 0.04 gpd/sf. The buildings total 126,000 square feet. If the entire area of buildings

## DRAFT

is used as greenhouses, which generates 0.03 gpd/sf, according to the SCDHS table, the use will generate 3,780 gpd.

The current and proposed change in wastewater discharge is not provided. It cannot be determined if the proposed action exceeds the sanitary flow.

### **CENTRAL PINE BARRENS STATUS**

The Project constitutes “development” pursuant to NYS Environmental Conservation Law §57-0107(13), which states:

13. "Development" shall mean the performance of any building activity or mining operation, the making of any material change in the use or intensity of use of any structure or land and the creation or termination of rights of access or riparian rights. Without limitation, the following activities or uses shall be taken for the purposes of this title to involve development as defined in this subdivision:

(a) a change in type of use of a structure or land or, if the ordinance or rule divides uses into classes, a change from one class of use designated in an ordinance or rule to a use in another class so designated;

(b) a material increase in the intensity of use of land or environmental impacts as a result thereof;

(c) commencement of mining, excavation or material alteration of grade or vegetation on a parcel of land excluding environmental restoration activities;

(e) re-establishment of a use which has been abandoned for one year;

The proposed activity on a site that has idled vacant and abandoned causes it to constitute development pursuant to the definitions outlined in the Act.

### **SEQRA AND OTHER REQUIRED PERMITS AND APPROVALS**

- SEQRA: Project classified as Type I Action
- Suffolk County Department of Health Services (SCDHS)
- Town of Brookhaven site plan approval and any other approvals

On February 18, the Commission commenced SEQRA and coordinated lead agency. No other agency requested lead agency.

The Commission will complete SEQRA with the EAF Parts 2 and 3 and will make a determination of significance pursuant to the SEQRA regulations.

### **SITE DESCRIPTION**

This section contains a general description of the features on the Project Site including natural, scenic and cultural resources.

## DRAFT

*Existing Condition and Land Use on-site:* The site is cleared to a limit of 50%. The developed area contains three commercial structures and a parking lot. See Exhibit B for photographs.

*Vegetation:* The rear 10 acres of the site contains a naturally forested area with pine barrens habitat. Trees remain around the buildings and in the parking lot.

*Rare, Endangered, & Threatened Species and Species of Concern:* A request for information was submitted to the New York State Department of Environmental Conservation Natural Heritage Program (NHP). A response has not been received to date.

*Freshwater Wetlands:* The southern boundary of the site adjoins a freshwater wetland habitat.

*Hydrology:* The site is located in Groundwater Management Zone III. According to the USGS Long Island Depth to Water and Hydrologic Conditions Viewer, the depth to water on site is approximately 17 feet.

*Topography/Elevation:* The Project Site is generally flat.

*Soils:* According to the USDA Natural Resources Conservation Service, the predominant soil type on the Project Site is Riverhead sandy loam, 0 to 8 percent slopes.

*Cultural/Archeological Resources:* Waiting for a response from the New York State Office of Parks Recreation and Historic Preservation.

## **PROJECT SITE HISTORY**

The project site was developed in the 1980s. It was used by Grumman for office and manufacturing uses. It has been unoccupied since the 1990s. Its vacancy and abandonment has caused it to fall into disrepair and vandalism.

### **Prior Application**

On December 17, 1997, the Central Pine Barrens Commission received an application for a Core Hardship Waiver for a change of zone to Industrial A and a special permit for a site plan called Altaire Pharmaceuticals, Inc. The proposal was the development of an additional 38,800 square foot building on the project site. The application was withdrawn on July 13, 1998.

## **SURROUNDING LAND USE AND ZONING**

The Study Area is defined to be all land within a one-half mile radius around the Project Site. See Exhibit D for an aerial photograph depicting the Study Area.

The Study Area is bisected by Grumman Boulevard, an east-west arterial. Grumman Boulevard is the boundary between the Compatible Growth Area to the north and the Core Preservation Area on its south side.

The Enterprise Park at Calverton (EPCAL) is situated to the north of Grumman Boulevard. EPCAL contains developed industrial uses and undeveloped property. The Study Area is bound on the west and south sides by natural open space. To the east is Swan Lake Golf Club, a private, 18-hole golf course.

## DRAFT

In the Core, south of Grumman, aside from the project site and Swan Lake Golf Club including the large freshwater body Swan Lake, expansive natural public open space is present.

Land uses within the Study Area include natural open space, recreational use and industrial development. A mix of town-, state-, and county-owned open space is present to the south and west of the sides of the Study Area with larger contiguous space on the south side of Grumman Boulevard in the Core Preservation Area.

A mix of zoning districts are within the Study Area including the Planned industrial Park, Defense Institutional and Industrial.

### **PRIOR COMMISSION DECISIONS**

Core Preservation Area application decisions within the Study Area:

- 10/25/95 - Eagles Nest Estates (SCTM # 600-146-1-29.15). Development of single-family residence.
- 10/17/01 - Swan Lake Golf Club (SCTM # 600-141-3-1 and 142-1-1.3. Addition to an existing clubhouse, plus associated water supply and sewage disposal facilities.
- 7/24/02 – Trocchio (SCTM # 600-146-1-8). Two-lot residential subdivision.

Core Preservation Area determination that is outside the Study Area but is similar include:

3/17/21 – Kent Animal Shelter (600-138-1-6.2 and 7.1) Renovate and reconstruct existing buildings and replace sanitary system. Facility was not abandoned. Non-development.

Compatible Growth Area application decision within the Study Area include:

- 12/11/11 – Island Water Park (SCTM # 600-135-1-7.39). Development of an 11-acre lake for water skiing and construction of a 52,000-square-foot building for a spa, restaurant and other commercial uses.

### **CORE PRESERVATION AREA EXTRAORDINARY HARDSHIP CRITERIA**

The Applicant is required to demonstrate Hardship in accordance with ECL §57-0121(10). The Applicant submitted a petition addressing this section of the Act for the proposed extraordinary hardship waiver. See Exhibit E for the Applicant's petition on the hardship.

The applicable Core Hardship criteria, as enumerated in Article 57, Section 57-0121(10) are listed below.

*“10. Any person, the state or a public corporation upon a showing of hardship caused by the provisions of subdivision eight of this section on development in the core preservation area, may apply to the commission for a permit exempting such applicant from such subdivision eight in connection with any proposed development in the core preservation area. Such application for an exemption pursuant to the demonstration of hardship within the core*

## DRAFT

*preservation area shall be approved only if the person satisfies the following conditions and extraordinary hardship or compelling public need is determined to have been established under the following standards or for development by the state or a public corporation or proposed for land owned by the state or a public corporation compelling public need is determined to have been established under the following standards:*”

*“(a) The particular physical surroundings, shape or topographical conditions of the specific property involved would result in an extraordinary hardship, as distinguished from a mere inconvenience, if the provisions of this act are literally enforced. A person shall be deemed to have established the existence of extraordinary hardship only if he or she demonstrates, based on specific facts, that the subject property does not have any beneficial use if used for its present use or developed as authorized by the provisions of this article, and that this inability to have a beneficial use results from unique circumstances peculiar to the subject property which:*

- (i) Do not apply to or affect other property in the immediate vicinity;*
- (ii) Relate to or arise out of the characteristics of the subject property rather than the personal situation of the applicant; or*
- (iii) Are not the result of any action or inaction by the applicant or the owner or his or her predecessors in title including any transfer of contiguous lands which were in common ownership on or after June 1, 1993.”*

*“(c) An application for a permit in the core preservation area shall be approved only if it is determined that the following additional standards also are met:*

- (i) The granting of the permit will not be materially detrimental or injurious to other property or improvements in the area in which the subject property is located, increase the danger of fire, endanger public safety or result in substantial impairment of the resources of the core preservation area;*
- (ii) The waiver will not be inconsistent with the purposes, objectives or the general spirit and intent of this article; or*
- (iii) The waiver is the minimum relief necessary to relieve the extraordinary hardship, which may include the granting of a residential development right to other lands in the compatible growth area that may be transferred or clustered to those lands to satisfy the compelling public need.”*

*“Any waiver or exemption granted under the provisions of this part shall only be considered an exemption or waiver of the particular standard of this article, which the commission waived. It shall not constitute an approval of the entire development proposal. Nor shall it constitute a waiver from any requirements contained within any local, county or state law or ordinance.”*

### **SUMMARY OF APPLICANT’S HARDSHIP DEMONSTRATION**

The Applicant explained a hardship is imposed by the abandonment of the buildings and the lack of commercial use permitted in the zoning district.

## DRAFT

The Applicant seeks to reuse existing buildings for the permitted use of agriculture in the zoning district. The Applicant expressed the limited permitted uses in the zoning district restricts current business activity and future economic growth, thus restricting beneficial uses of the property. The Applicant seeks to adaptively reuse the existing site improvements for a use consistent with the NRP district.

The Applicant states the owner purchased the property to reuse the existing facilities. No use other than agriculture is permitted in the NRP zoning district. The lack of beneficial use is not the result of any action or inaction by the Applicant. It is also stated that the Project does not affect neighboring properties and there is no increased risk of fire danger or substantial impairment of the Core Preservation Area resources.

The project is expected to increase employment at the property. As an agricultural operation, compared to the former office/manufacturing facility, the Applicant anticipates traffic generated by the use to be significantly less than the prior use on the property and below the parking requirements of the zoning district.

### **DISCUSSION ITEMS/ADDITIONAL INFORMATION**

1. Please clarify and estimate the number of trees, if any, that will be removed in the parking lot to add parking spaces and the removal of any other existing natural vegetation for the project.
2. Overlay the existing conditions survey with the site plan and an aerial to see where and which trees will be removed in the parking lot and where any and all changes are proposed.
3. Pending response from the NY State Historic Preservation Office.
4. The Commission will consider any additional documentation submitted in support of this Application and reserves the right to keep the hearing record open to receive and review any additional information for the public record.
5. The current deadline to issue a decision is June 2, 2026, which is before the June 17 Commission meeting. Extend the decision deadline to the June 17, 2026 meeting.

### **EXHIBITS**




- A. 2025 Aerial of the Project Site
- B. Photographs of the Project Site
- C. Site Plan prepared by Sendlewski Architects, P.C. last dated December 16, 2025
- D. Study Area Map
- E. Applicant's petition of the hardship

# 645 Grumman Boulevard, Calverton

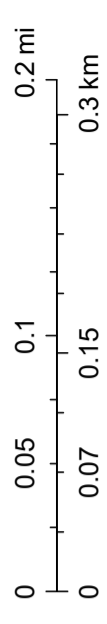


1/13/2026, 10:43:29 AM

Street Labels

-  Freshwater Wetlands
-  Pine Barren Core
-  Pine Barren CGA
-  Tax Parcels

1:6,240



Nearmap





Scott Ave

Scott Ave

Scott Ave

Burman Blvd

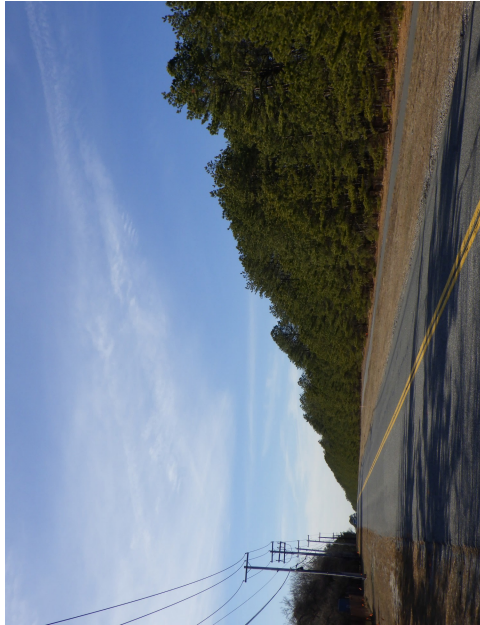
McKay Lake

Grumman Blvd

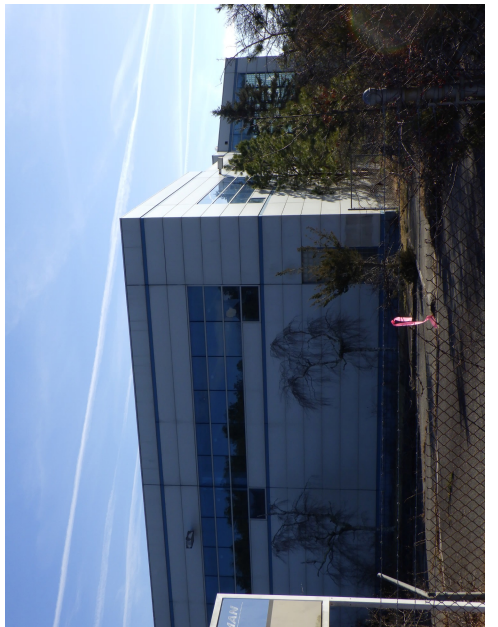
an Blvd

Swan Pond

Swan Lake Clubhouse







## **Item 1: A written description of the project.**

The project site is 20 acres. It is located on the south side of Grumman Boulevard. The northern half of the parcel, approximately 10 acres, is developed with three vacant industrial buildings that contain 126,500 square feet of interior space and 337 potential parking spaces. The southern 10 acres is densely vegetated with pine barrens, trees, and shrubs.

*Please see the property survey provided in Exhibit A.*

The Property has been vacant and the buildings in disrepair since 1996. The building areas and original construction dates are:

- Structure 1, Building 78, is 66,000 square feet; two above-grade stories and basement, built in 1988-1992
- Structure 2, Building 08, is 51,000 square feet, three stories, built in 1960
- Structure 3, Modular Building is 9,500 square feet, built in 1984

Each building is both fully sprinklered and handicap accessible with separate sanitary systems that were designed for a much heavier use than proposed by the Applicant.

In addition to the three principal structures, there are several small “out” buildings, and a guard house at the main entrance to Building 78. The parking spaces are provided on three paved parking lots and several other parking areas which are all located on the northern portion of the parcel.

The Applicant seeks to use the site and renovate / refurbish the existing structures for the use of an indoor agricultural operation consistent with the uses permitted in a Natural Resources Protection (“NRP”) Zoning Use District as defined in Section 301-178.A.(1) of the Town of Riverhead Code which outlines the following Permitted use:

“Agriculture, provided that no storage of manure shall be permitted within 100 feet of any side of rear lot lines or within 150 feet of any street lines.”

The two-phase redevelopment of the Property will be non-invasive, preserving and refurbishing the structures that currently exist without expanding their footprints or envelopes.

Interior building renovations, façade restoration, parking lot resurfacing, landscaping and utility infrastructure will occur. No trees or other natural vegetation will be removed. The roughly 10 acres of intact woodlands in the rear of the Property will remain untouched and in its present condition.

There are approximately 135 existing parking spaces in Lot A & B which are located in front of and behind Building 78. There are additional parking spaces in front of Structure 3, and the Applicant will install a group of ADA spaces in front of Building 08. Upon completion of both phases of the redevelopment there will be 337 parking spaces.

*Preliminary site plans showing Phase 1 and Phase 2 can be found in Exhibit B.*

**A more detailed description of each existing structure follows:**

Structure 1 / aka Building 78

The restoration of Building 78 will be the first phase of the project.

This building consists of two (2) above-grade floors plus a basement level with two (2) sets of egress stairs and an elevator accessible by all floors. There is approximately 66,000 SF of leasable space including the basement. The building was built between 1988 - 1992 (est).

A new roof was installed in 2005 and is in serviceable condition. No contamination requiring any further action was found on multiple inspections.

*As-built floorplans and elevations can be found in Exhibit C.*

Structure 2 / aka Building 08

The restoration of Building 08 will be part of the second phase of the project.

This building consists of three (3) above grade floors with no basement and has multiple sets of egress stairs and an elevator accessible by all floors. There is approximately 51,000 SF of leasable space in the building. The building was built in 1960 with additions in 1967, 1977 and 1985 (est).

*As-built floorplans can be found in Exhibit D.*

Structure 3 / Modular office building

The restoration of Structure 3 will be part of the second phase of the project.

This building is a one (1) story structure with no basement and consists of approximately 9,500 SF of leasable space. There are three (3) means of egress. This building was built before 1984.

*An as-built floorplan can be found in Exhibit E.*

**The following are the planned modifications for each existing structure:**

Structure 1 / aka Building 78 – Phase 1

- Replace existing broken windows and glass bricks with matching materials.
- Power wash façade and repaint painted surfaces.
- Restore existing bathrooms on the first and second floors to good working order with new fixtures and partitions.
- Install two (2) unisex handicapped accessible bathrooms and janitor's closet in the basement.
- Restore existing septic system to good working order.
- Restore existing fire control and sprinkler systems to good working order.

- Reconnect existing electrical service and deliver in good working order.
- Repaint the entire building's interior.
- Restore the existing elevator to good working order.
- Demolish existing drop ceilings throughout and other select demolition.
- Restore existing roll down doors to good working order and condition.
- Power wash existing concrete sidewalks surrounding the building.
- Replace all existing outdoor lights with LED lighting.
- Resurface and restripe both front and rear parking lots.
- Trim and shape all existing trees and shrubs adding flowering annuals and other plants.
- Restore or replace existing entry gates and existing guard house.

### Structure 2 / aka Building 08 – Phase 2

This building is in poor condition due to continuous water intrusion over the three decades it has been vacant. The building's interior requires a complete renovation.

The Applicant believes that there is existence of mold, lead paint, and asbestos containing materials ("ACM") in addition to significant debris. Following any required abatement of hazardous materials, the Applicant will strip the entire interior down to the bare concrete floors and steel joists and do its best to retain and refurbish the existing galvanized steel skin.

The interiors will be rebuilt to suit incoming tenants.

### Structure 3 / Single story office building – Phase 2

This building is also in poor condition. The Applicant plans to raise and replace the entire roof and existing floors, replace the windows, and clad the façade in a similar manner as Building 08.

### Outbuildings

The Applicant plans to salvage all existing outbuildings and re-task them for the following uses:

#### 1. Garbage Room Building

This building has a good roof and façade, and it is already vented. It is intended to be re-used as a secure room in which to store garbage.

#### 2. Gardening Equipment Building

This building, previously used for the testing of small jet engines, will be re-tasked as a storage room for landscaping equipment and supplies.

#### 3. Electric Building for Building 3

This building currently houses the electric service for Structure 3 and will continue to do so.

*The location of each outbuilding can be found in Exhibit F.*

### **Proposed Uses**

CORE PRESERVATION AREA HARDSHIP APPLICATION

645 Grumman Boulevard, Calverton, Town of Riverhead  
SCTM Number 600-141-2-2.1

The Property will be used for agricultural / horticultural uses consistent with NRP zoning.

Although the Applicant will consider any agricultural use permitted within the NRP zone, the initial focus is to lease to cannabis cultivators who have been granted a license or licenses by the New York State Office of Cannabis Management (OCM). This isolated and secure campus is an excellent location for cannabis cultivation which will be a targeted industry. The Applicant is not in the cannabis business and are just providing a suitable facility to grow plants indoors under controlled and secure conditions. Furthermore, no retail sales will be permitted.

The buildings can also be used for a wide range of other agricultural / horticultural uses which the Applicant will also pursue.

**Item 2: A description of how the project satisfies the requirements of the Pine Barrens statute.**

The Applicant seeks to renovate the existing buildings and infrastructure of the Property without increasing building footprints and envelopes while preserving the existing undeveloped portions of the Property.

The Property was rezoned to NRP zoning but was never used for one of the uses permitted in such zoning district. As such, the Commission has determined that the project constitutes a “development” under the language of the statute. Outside of the language of the statute, however, the project is an adaptive reuse rather than a development with new construction or associated environmental impact.

The following table includes the requirements of the statute that must be addressed by the Applicant for the Commission to consider the granting of a hardship exemption.

Core Area Hardship ECL Article 57-0121 (10)	Applicant Response
<p>57-0121-10(a) The particular physical surroundings, shape or topographical conditions of the specific property involved would result in an extraordinary hardship, as distinguished from a mere inconvenience, if the provisions of this act are literally enforced, An applicant shall be deemed to have established only if he demonstrates, based on specific facts, that the subject property does not have any beneficial use if used for its present use or developed as authorized of this article, and that this inability to have a beneficial use results from unique circumstances peculiar to the subject property which:</p>	<p>The subject property was originally constructed for manufacturing use. Such use is not permitted in the current zoning district, nor would the existing structures meet modern standards for such use.</p> <p>The subject property is now zoned as part of a Natural Resources Protection Zoning Use District as defined in Section 301-178.A.(1) of the Town of Riverhead. Agricultural use is permitted in such Use District. The Application is required as the subject property has not been used for such use.</p> <p>If not used for agriculture, the Applicant is not aware of any other viable commercial use for the Property that would be permitted in the NRP Use District.</p>
<p>57-0121-10(a)(i) Does not apply to or affect other property in the immediate vicinity.</p>	<p>The circumstances of having multiple vacant buildings that were built and occupied for a use that is no longer permitted is specific to the subject property and does not apply to other properties in the immediate vicinity. The Applicant is not aware of any negative effect that the granting of an exemption for this Property would have on other properties in the immediate vicinity.</p>
<p>57-0121-10(a)(ii) Relate to or arise out of the characteristics of the subject property rather than the personal situation of the applicant; or</p>	<p>The request for an exemption is solely tied to the characteristics of the subject property and not to the personal situation of the Applicant.</p>

CORE PRESERVATION AREA HARDSHIP APPLICATION

645 Grumman Boulevard, Calverton, Town of Riverhead  
SCTM Number 600-141-2-2.1

<p>57-0121-10(a)(iii) Are not the result of any action or inaction by the applicant or the owner or his predecessors in title including any transfer of contiguous lands which were in common ownership on or after June 1, 1993.</p>	<p>The Applicant acquired the fee interest to the subject property in November 2025, and the request for exemption does not arise from any action or inaction by the Applicant. The Applicant is not aware of any action or inaction by predecessors in title resulting in the need for the exemption.</p>
<p>57-0121-10(c)(i) The granting of the permit will not be materially detrimental or injurious to other property or improvements in the area in which the subject property is located, increase the danger of fire, endanger public safety or result in substantial impairment of the resources of the core preservation area;</p>	<p>The proposed project will have no negative impact on other properties in the area. In fact, transforming the Property into a commercially viable enterprise will <u>reduce</u> the danger of fire and <u>improve</u> public safety as the result of the renovated structures, presence of employees, new monitoring systems, and a general reduction in the abandonment of the site. It is important to highlight that no retail cannabis sales will be permitted at the Property, and the Applicant does not seek relief for such purpose.</p> <p>The Applicant is not aware of any impairment of the resources of the core preservation district and, as noted, the proposed project will maintain the existing natural and wooded areas of the Property.</p> <p>It is fair to note that the project will result in increased employment at the Property. The anticipated employee traffic is anticipated to be significantly lower than under the Property’s previous use and below the parking requirements of the Use District.</p>
<p>57-0121-10(c)(ii) The waiver will not be inconsistent with the purposes, objectives or the general spirit of this article; or</p>	<p>Allowing unfettered development in the Core Preservation Area would be counter to the goals of this article, but the proposed project is simply an adaptive reuse and refurbishment of already existing conditions. It is not development in the classic definition of the word. The result of the project will be vastly improved conditions of existing structures, increased local employment, improved safety along with continued preservation of the natural areas of the site.</p>
<p>57-0121-10(c)(iii) The waiver is the minimum relief necessary to relieve the extraordinary hardship, which may include the granting of a residential development</p>	<p>The Applicant believes that the granting of a hardship waiver to permit the Applicant to adaptively reuse the existing site improvements for a use that is consistent with the NRP Use District is</p>

right to other lands in the compatible growth area that may be transferred or clustered to those lands to satisfy compelling public need.

the minimum relief necessary to relieve the extraordinary hardship. The Applicant notes that there the hardship waiver will simply allow it to commence the Site Plan, permitting and other related processes as required by the Town of Riverhead.

**In addition to the response above, please note:**

The proposed adaptive reuse of the existing structures will not negatively impact the central Pine Barrens Core Area ecosystem, its vegetation or any other properties in the vicinity. This project will help to protect and preserve the “core area” and to continue the 350-year tradition that promotes public health and welfare.

This project ensures the Pine Barron’s long-term integrity while it preserves the Pine Barrons in its natural state.

In that the project will utilize compatible agricultural / horticultural uses, it will preserve the hydrologic and ecologic foundation of the area.

The revamping of the existing structures will be done in an environmentally responsible and socially equitable manner. As an ongoing practice, we will conserve natural resources efficiently using water and energy as sparingly as possible.

The façade of Building 78 is concrete / masonry covered with thick metal plating. In fact, the whole building is RF shielded and has a very high R factor. The Applicant plans to remove the existing oil tanks and oil-fired boilers and replace them with electric fired units which will radically reduce the building’s carbon footprint. The heating / cooling systems for the other two (2) structures will also be electric.

The Applicant is researching the viability of utilizing geothermal heat and air as well as cogeneration in addition to generating power via photovoltaic cells which will utilize various storage technologies.

The end-product will be a sustainable and environmentally compatible three building campus, in a park-like setting, in harmony with its natural surroundings.

**Item 3: A Full Environmental Assessment Form (EAF) with Part 1 completed.**

*See Exhibit G.*

**Item 4: Determination of significance and designation of lead agency if adopted by any other permit-issuing agency.**

The Applicant has not made application to any other permit-issuing agency as the Central Pine Barrens Joint Planning & Policy Commission has established jurisdiction.

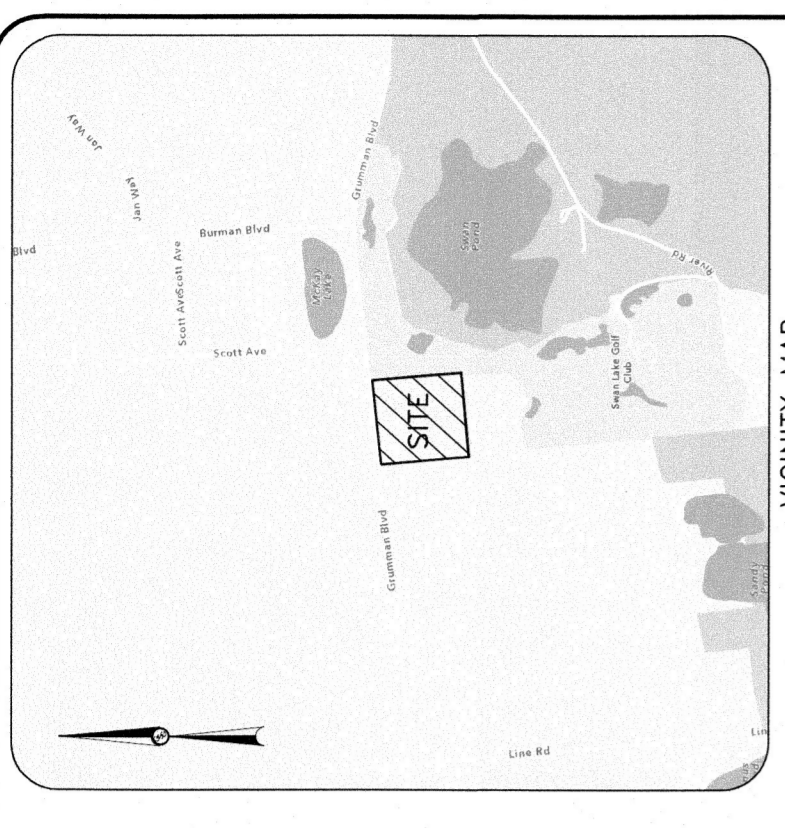
**Item 5: Copies of any approvals granted by other agencies in connection with the project.**

None

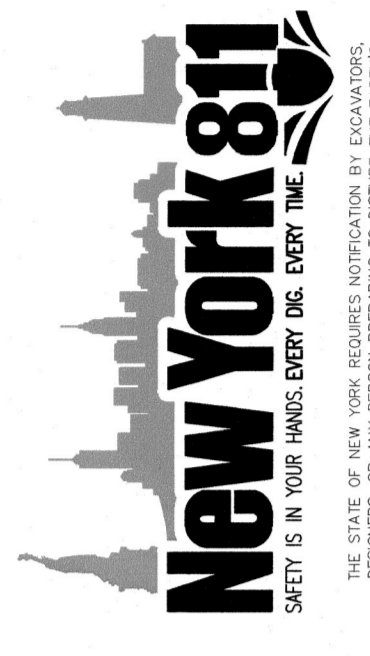
**Item 6: Completed and Notarized Owner's Affidavit**

Not required





VICINITY MAP



THE STATE OF NEW YORK  
PUBLIC SERVICE COMMISSION  
NEW YORK STATE CODE RULE 753

**UTILITIES:**  
THE FOLLOWING COMPANIES WERE NOTIFIED BY NEW YORK STATE ONE-CALL  
PROGRAM AND REQUESTED TO LOCATE AND MARK THEIR UTILITIES AND  
FACILITIES AFFECTING AND SERVING THIS SITE. THE UNDERGROUND UTILITY  
INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES  
RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 253021479

**UTILITY COMPANY:**  
CABLEVISION OF RIVERHEAD 385-977-0510  
LONG ISLAND POWER AUTHORITY 866-507-3310  
TOWN OF RIVERHEAD 631-727-3200  
VERIZON COMMUNICATIONS 855-661-6323

**NOT ALL UTILITY COMPANIES RESPONDED TO THE MARKOUT REQUEST**

**GRUMMAN BOULEVARD**  
(25' WIDE - PUBLIC)  
(VARIABLE WIDTH - PUBLIC)

319.85'  
387°57'10"E  
2975.23'  
387°04'30"E

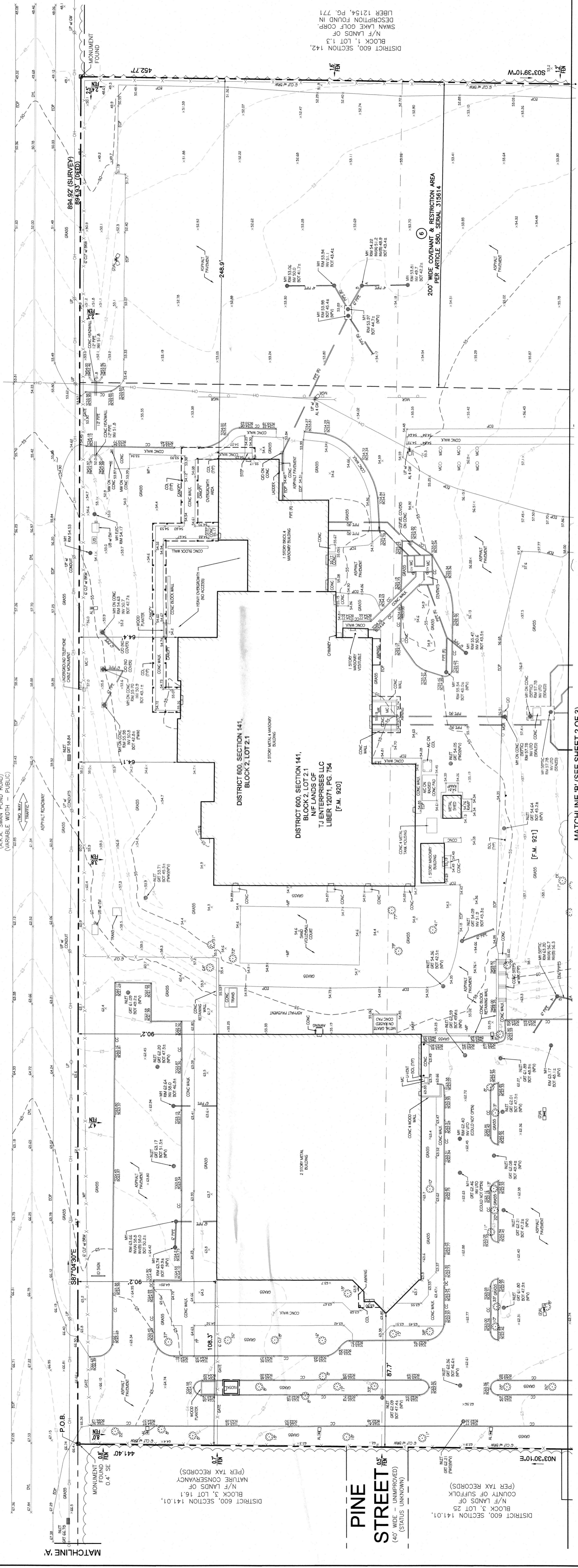
**LINE ROAD**  
(25' WIDE - PUBLIC)

382°38'30"E  
319.85'



LIBER 12071, PG. 754

**GRUMMAN BOULEVARD**  
(25' WIDE - PUBLIC)  
(VARIABLE WIDTH - PUBLIC)



MATCHLINE B' (SEE SHEET 2 OF 3)

GRAPHIC SCALE  
( IN FEET )  
1 inch = 30 ft.

RECEIVED  
FEB 18 2026

SEE SHEET 3 OF 3 FOR NOTES, REFERENCES,  
LEGAL DESCRIPTION, MAP LEGEND & ABBREVIATIONS

REV	DESCRIPTION	DATE	DRAWN	DATE	SCALE:	DATE:	FIELD DATE:	FIELD BOOK:	DRAWN:	CHECKED:	FIELD CREW:
		11-05-2025	R.M.C.	11-05-2025	1"=30'	11-05-2025	10-15-2025	233, 234		C.J.O.	
							10-18-2025	233	79, 76, 22-23		M.C./K.S./C.C.
							10-22-2025	234	24-20		C.C.
							10-24-2025	234	25-30		C.C.
							10-29-2025	234	35-36		C.C.
								39-40			

TO: TRISTY NATIONAL TITLE  
- FURION MOSCOW FALTSCHER, P.C.  
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE  
SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE  
WITH THE REQUIREMENTS FOR LAND TITLE SURVEYS  
JOINTLY ESTABLISHED AND ADOPTED BY THE  
STATE OF NEW YORK AND THE STATE OF NEW JERSEY  
IN ACCORDANCE WITH ARTICLE 14 OF THE CONSTITUTION  
COMPLETED ON 10-29-2025.

2888 U.S. ROUTE 1  
NORTH BRUNSWICK, NJ 08902  
TEL: 732-422-8700  
FAX: 732-422-8708  
www.gallaskgroup.com

**GALLAS SURVEYING GROUP**

UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING  
A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209,  
SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.

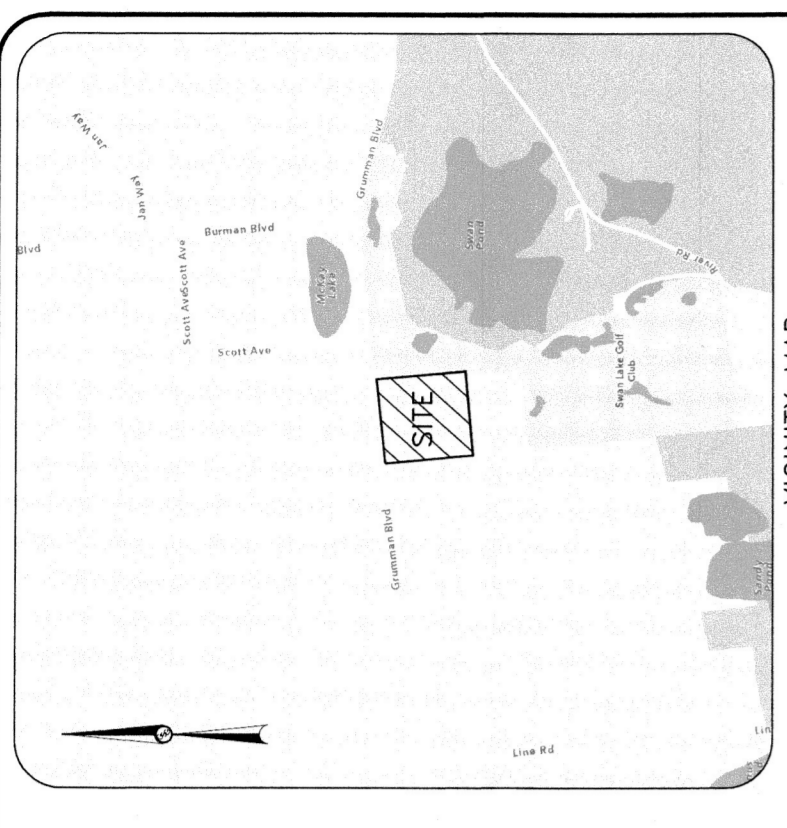
FILE NO.: G25199  
DRAWING NAME: G25199.DWG  
SHEET NO.: 1 OF 3

ALTANSPS LAND TITLE SURVEY  
DISTRICT 600, SECTION 141,  
BLOCK 2, LOT 2.1  
645 GRUMMAN BOULEVARD  
COUNTY OF SUFFOLK  
STATE OF NEW YORK

NOT VALID WITHOUT AN EMBOSSED OR BLUE INK SEAL  
**GREGORY S. GALLAS**  
NEW YORK PROFESSIONAL LAND SURVEYOR #6234

DATE: \_\_\_\_\_  
DRAWN: \_\_\_\_\_





**ABBREVIATIONS**

AC	AIR CONDITIONER	FW	FILLED WITH WATER
AL	AREA LIGHT	GT	GRATE
BL	BOLLARD	GW	GUY WIRE
BS	BOTTOM OF STRUCTURE	IN	INVERT
BW	BARBED WIRE	MC	METAL COVER
CC	CONCRETE CURB	MR	METAL GUIDE RAIL
CF	CHAIN LINK FENCE	MP	MANHOLE
CD	CLEANOUT	MR	METAL POST
CS	COLUMN	MR	METAL RAILING
CC	CONCRETE	MR	MONITORING WELL
CS	CONCRETE WHEEL STOP	MR	NO PIPES VISIBLE
CS	DEPRESSED CURB	MR	INFORMATION OBTAINED FROM REFERENCE MAPPING
CS	DOUBLE YELLOW LINE	TR	TRANSFORMER
CS	ELECTRIC METER	TR	TYPICAL
CS	EDGE OF PAVEMENT	TR	UTILITY BOX
CS	ELECTRIC RECEPTACLE	TR	UTILITY POLE
CS	FENCE	TR	UNABLE TO OBTAIN
CS	FILED MAP LOT NUMBER	TR	WOOD FENCE
CS	FLAG POST	TR	WOOD POST
CS	FILLED WITH DIRT/DEBRIS	TR	WOOD RAILING

**MAP LEGEND**

---	PROPERTY LINE
---	FILED MAP LOT LINES
---	LIMITS OF TOPOGRAPHY OBTAINED FROM LIDAR (SEE NOTE 5)
---	EXIST BUILDING FOOTPRINT & COORINAT AT GROUND LEVEL
---	FENCE
---	RAILING
---	GUIDE RAIL
---	EXISTING CONTOUR
---	EXIST. TOP OF CURB ELEVATION
---	EXIST. GUTTER ELEVATION
---	EXIST. TOP OF WALL ELEVATION
---	EXIST. BOTTOM OF WALL ELEVATION
---	VALVE (UNKNOWN USE)
---	ELECTRIC METER
---	AREA LIGHT
---	MANHOLE
---	INLET
---	MONITORING WELL
---	OVERHEAD WIRES
---	UTILITY POLE
---	GUY WIRE
---	BOLLARD
---	SIGN
---	MARKETS OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
---	WOODS LINE
---	TREE & TRUNK SIZE
---	REPORT OF TITLE EXCEPTION NUMBER

**MAP LEGEND**

---	PROPERTY LINE
---	FILED MAP LOT LINES
---	LIMITS OF TOPOGRAPHY OBTAINED FROM LIDAR (SEE NOTE 5)
---	EXIST BUILDING FOOTPRINT & COORINAT AT GROUND LEVEL
---	FENCE
---	RAILING
---	GUIDE RAIL
---	EXISTING CONTOUR
---	EXIST. TOP OF CURB ELEVATION
---	EXIST. GUTTER ELEVATION
---	EXIST. TOP OF WALL ELEVATION
---	EXIST. BOTTOM OF WALL ELEVATION
---	VALVE (UNKNOWN USE)
---	ELECTRIC METER
---	AREA LIGHT
---	MANHOLE
---	INLET
---	MONITORING WELL
---	OVERHEAD WIRES
---	UTILITY POLE
---	GUY WIRE
---	BOLLARD
---	SIGN
---	MARKETS OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
---	WOODS LINE
---	TREE & TRUNK SIZE
---	REPORT OF TITLE EXCEPTION NUMBER

**SCHEDULE A DESCRIPTION:**  
ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, SITUATE, LYING AND BEING AT CALVERTON, TOWN OF TOWN OF RIVERHEAD, SUFFOLK COUNTY, NEW YORK

**AREA 185.337 S.F. OR 19.1787 AC.**

**LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON PRIOR UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGAIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.**

**THIS SURVEY IS PREPARED WITH REFERENCE TO A PRELIMINARY CERTIFICATE AND REPORT OF TITLE ISSUED BY FIDELITY NATIONAL TITLE COMPANY, SUFFOLK COUNTY, NEW YORK, DATED JULY 17, 2025, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B:**

- DECLARATION OF COVENANTS & RESTRICTIONS MADE BY GRUAMAN AEROSPACE CORP., DATED AUGUST 13, 1985, RECORDED IN THE SUFFOLK COUNTY CLERK'S OFFICE ON JUNE 24, 1987 IN ARTICLE 616, SERIAL 340324 (THE CALLED FOR FILED MAP HAS NOT BEEN SUPPLIED, AFFECTS THE EASTERN 200' OF FILED MAP LOTS 803 & 921, (THE LOTS & THE 200' LINE DEPICTED HEREON, THE COVENANTS & RESTRICTIONS ARE BLANKET, NOTHING TO PLOT)
- DECLARATION OF COVENANTS & RESTRICTIONS MADE BY GRUAMAN AEROSPACE CORP., DATED AUGUST 13, 1985, RECORDED IN THE SUFFOLK COUNTY CLERK'S OFFICE ON AUGUST 26, 1985 IN ARTICLE 560, SERIAL 315614 (THE CALLED FOR FILED MAP HAS NOT BEEN SUPPLIED, AFFECTS THE EASTERN 200' OF FILED MAP LOTS 803 & 921, (THE LOTS & THE 200' LINE DEPICTED HEREON, THE COVENANTS & RESTRICTIONS ARE BLANKET, NOTHING TO PLOT)
- TERMS, COVENANTS AND CONDITIONS OF A PRELIMINARY AGREEMENT MADE BETWEEN TALENT & ASSOCIATES, INC. AND GRUAMAN AEROSPACE CORP. ON JULY 26, 1985 IN LIBER 12071, PG. 243 (BLANKET, NOTHING TO PLOT)
- AGREEMENT WAS AMENDED BY FIRST AMENDMENT TO SUPPLEMENTAL FACILITIES AGREEMENT MADE BY AND BETWEEN UNITED STATES OF AMERICA AND GRUAMAN AIRCRAFT ENGINEERING CORPORATION, DATED JANUARY 26, 1985, RECORDED IN THE SUFFOLK COUNTY CLERK'S OFFICE ON FEBRUARY 18, 1985 IN LIBER 4689 PAGE 105 (BLANKET, NOTHING TO PLOT)
- AMENDMENT TO AGREEMENT OF LEASE MADE BY AND BETWEEN UNITED STATES OF AMERICA AND GRUAMAN AIRCRAFT ENGINEERING CORPORATION ON JUNE 11, 1976 WHICH AMENDMENT IS DATED MARCH 31, 1974, AND RECORDED IN THE SUFFOLK COUNTY CLERK'S OFFICE ON JUNE 11, 1976 (WHICH AMENDMENT IS DATED MARCH 31, 1974, AND RECORDED IN THE SUFFOLK COUNTY CLERK'S OFFICE ON JUNE 11, 1976) (THE CALLED FOR FILED MAP HAS NOT BEEN SUPPLIED, AFFECTS THE EASTERN 200' OF FILED MAP LOTS 803 & 921, (THE LOTS & THE 200' LINE DEPICTED HEREON, THE COVENANTS & RESTRICTIONS ARE BLANKET, NOTHING TO PLOT)

**ELEVATIONS ARE BASED UPON NAVD 88 (BENCHMARK: NGS MONUMENT G 334, PD KU0290, ELEV. 88.85 (NAVD 88)). TOPOGRAPHY IN THE SOUTHERLY PORTION OF THE PROPERTY IS SHOWN PER USGS 10 ARC SECOND LIDAR MAP PUBLISHED ON 12-14-2015. BY GRAPHIC PLOTTING, PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND FLOODPLAIN FROM FEMA, WITH INSURANCE RATE MAP NO. 38103G043H, REFERRED DATE 10-25-2018, OF UNDERGROUND TANKS AND VAULTS, IF ANY EXIST, HAVE NOT BEEN DETERMINED BY THE SURVEYOR.**

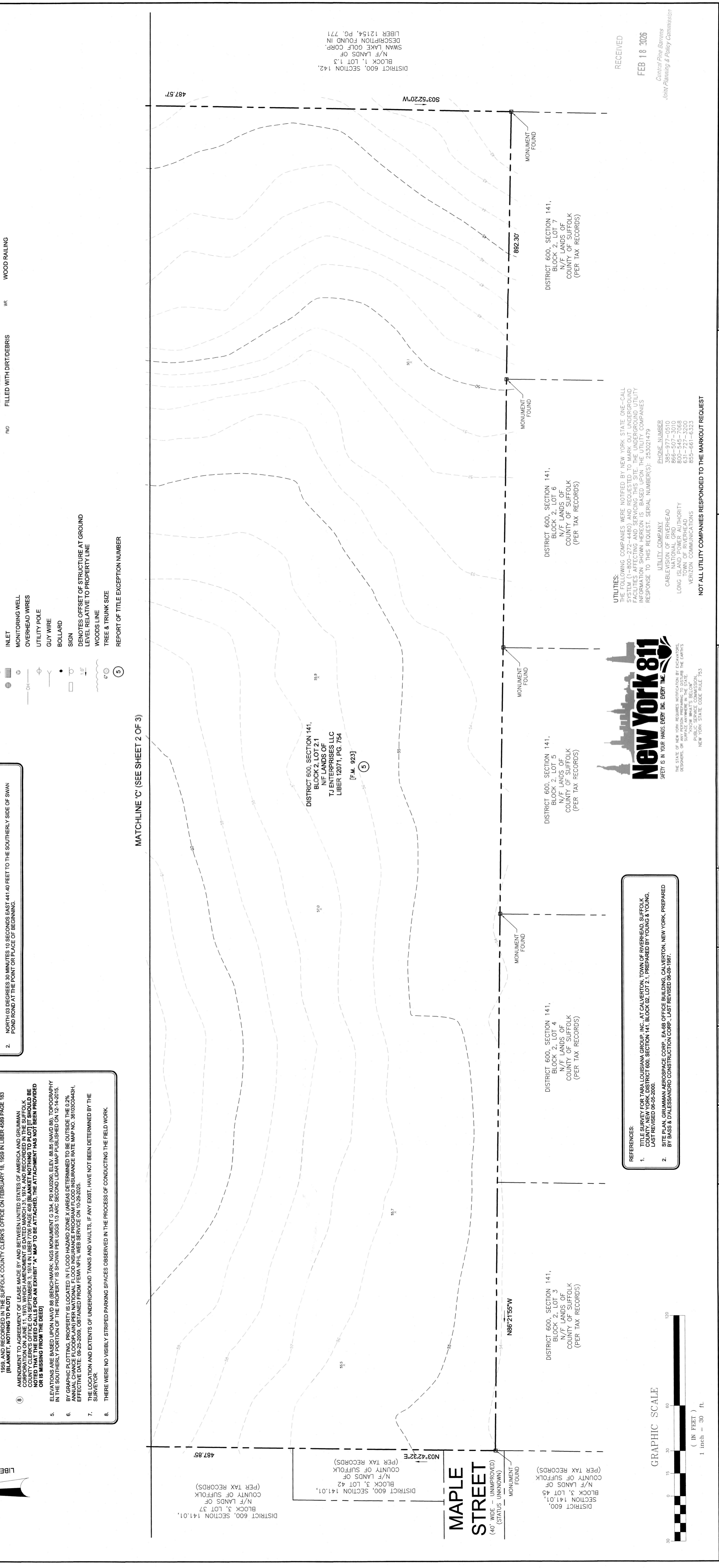
**THERE WERE NO VISIBLE STRIPED PARKING SPACES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.**

**NOTES:**

- PROPERTY KNOWN AND DESIGNATED AS DISTRICT 600, SECTION 141, BLOCK 2, LOT 2.1 ON THE OFFICIAL TAX MAP FOR THE TOWN OF RIVERHEAD, SUFFOLK COUNTY, NEW YORK
- AREA 185.337 S.F. OR 19.1787 AC.
- LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON PRIOR UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGAIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES.
- THIS SURVEY IS PREPARED WITH REFERENCE TO A PRELIMINARY CERTIFICATE AND REPORT OF TITLE ISSUED BY FIDELITY NATIONAL TITLE COMPANY, SUFFOLK COUNTY, NEW YORK, DATED JULY 17, 2025, WHERE THE FOLLOWING SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B:
- DECLARATION OF COVENANTS & RESTRICTIONS MADE BY GRUAMAN AEROSPACE CORP., DATED AUGUST 13, 1985, RECORDED IN THE SUFFOLK COUNTY CLERK'S OFFICE ON JUNE 24, 1987 IN ARTICLE 616, SERIAL 340324 (THE CALLED FOR FILED MAP HAS NOT BEEN SUPPLIED, AFFECTS THE EASTERN 200' OF FILED MAP LOTS 803 & 921, (THE LOTS & THE 200' LINE DEPICTED HEREON, THE COVENANTS & RESTRICTIONS ARE BLANKET, NOTHING TO PLOT)
- DECLARATION OF COVENANTS & RESTRICTIONS MADE BY GRUAMAN AEROSPACE CORP., DATED AUGUST 13, 1985, RECORDED IN THE SUFFOLK COUNTY CLERK'S OFFICE ON AUGUST 26, 1985 IN ARTICLE 560, SERIAL 315614 (THE CALLED FOR FILED MAP HAS NOT BEEN SUPPLIED, AFFECTS THE EASTERN 200' OF FILED MAP LOTS 803 & 921, (THE LOTS & THE 200' LINE DEPICTED HEREON, THE COVENANTS & RESTRICTIONS ARE BLANKET, NOTHING TO PLOT)
- TERMS, COVENANTS AND CONDITIONS OF A PRELIMINARY AGREEMENT MADE BETWEEN TALENT & ASSOCIATES, INC. AND GRUAMAN AEROSPACE CORP. ON JULY 26, 1985 IN LIBER 12071, PG. 243 (BLANKET, NOTHING TO PLOT)
- AGREEMENT WAS AMENDED BY FIRST AMENDMENT TO SUPPLEMENTAL FACILITIES AGREEMENT MADE BY AND BETWEEN UNITED STATES OF AMERICA AND GRUAMAN AIRCRAFT ENGINEERING CORPORATION, DATED JANUARY 26, 1985, RECORDED IN THE SUFFOLK COUNTY CLERK'S OFFICE ON FEBRUARY 18, 1985 IN LIBER 4689 PAGE 105 (BLANKET, NOTHING TO PLOT)
- AMENDMENT TO AGREEMENT OF LEASE MADE BY AND BETWEEN UNITED STATES OF AMERICA AND GRUAMAN AIRCRAFT ENGINEERING CORPORATION ON JUNE 11, 1976 WHICH AMENDMENT IS DATED MARCH 31, 1974, AND RECORDED IN THE SUFFOLK COUNTY CLERK'S OFFICE ON JUNE 11, 1976 (WHICH AMENDMENT IS DATED MARCH 31, 1974, AND RECORDED IN THE SUFFOLK COUNTY CLERK'S OFFICE ON JUNE 11, 1976) (THE CALLED FOR FILED MAP HAS NOT BEEN SUPPLIED, AFFECTS THE EASTERN 200' OF FILED MAP LOTS 803 & 921, (THE LOTS & THE 200' LINE DEPICTED HEREON, THE COVENANTS & RESTRICTIONS ARE BLANKET, NOTHING TO PLOT)

**REFERENCES:**

- TITLE SURVEY FOR TALENT AEROSPACE GROUP, INC. AT CALVERTON, TOWN OF RIVERHEAD, SUFFOLK COUNTY, NEW YORK, DISTRICT 600, SECTION 141, BLOCK 2, LOT 2.1, PREPARED BY YOUNG & YOUNG, LAST REVISED 06-05-2000.
- SITE PLAN, GRUAMAN AEROSPACE CORP., EA-88 OFFICE BUILDING, CALVERTON, NEW YORK, PREPARED BY BASS & D'ALESSANDRO CONSTRUCTION CORP., LAST REVISED 06-09-1987.



DRAFT

**Central Pine Barrens Joint Planning and Policy Commission**

Draft Staff Report for the Public Hearing

Wednesday, March 18, 2026

**PROJECT NAME:** Hampton Hills Golf and Country Club Restroom  
Core Preservation Area Hardship Application

**APPLICATION TIMELINE:**

- February 4, 2026 Application Received
- February 18, 2026 Public Hearing Scheduled
- March 18, 2026 Public Hearing
- June 2, 2026 Deadline for Decision

**OWNERS:** Stanley Pine and Barry Beil, Co-owners

**OWNER'S REPRESENTATIVE:** Arum V. Terchunian, M.Sc., First Coastal Corporation

**PROJECT SITE LOCATION:** 1000 Riverhead Moriches Road, Northampton

**SUFFOLK COUNTY TAX MAP NUMBER:** 900-194-1-3

**PROJECT SITE AREA:** 400 square feet of 213 acres

**ZONING DISTRICT:** CR 200

**CURRENT USE:** Recreation

**PROJECT:** Construction of restroom building and innovative alternative sanitary system

**EXISTING CONDITIONS**

The property contains an 18-hole private golf course (Hampton Hills Golf and Country Club (HHGCC)), a parking lot, clubhouse, pickleball courts, a children's playground, a storage building for golf carts and a maintenance area. The area of the project is mowed grass adjacent to the parking lot. (See Exhibit A for an aerial of the Project Site and Exhibit B for photographs of the Project Site.)

The Project Site is located east of County Road 51 (CR 51) and west of County Road 31 (CR 31) in the hamlet of Northampton in the Town of Southampton. A public road connects the two county roads. A locked gate blocks access to this road off season to deter unauthorized activities including illegal dumping. Expansive natural open space surrounds the golf course.

**APPLICANT REQUEST**

The Applicant requests a Core Preservation Area Hardship Waiver to construct a 208 square foot restroom building with two stalls for use by members and their guests. Construction of an innovative alternative sanitary system is proposed under the parking lot. The restroom is proposed

## DRAFT

in a mowed grass area between the pickleball courts and children's playground. There is no clearing of existing natural vegetation proposed with the Project. The Site Plan is included as Exhibit C.

The playground and pickleball courts are distant from the clubhouse where the nearest restroom is located, more than 400 feet apart. The purpose of the project is to provide access to a restroom. Presently, navigating a busy parking lot creates safety concerns for members, parents and children.

### **Sanitary Flow**

Due to the large project site area, the as of right sanitary flow for the project site is 300 gpd/acre x 213 acres or 63,900 gallons per day (gpd). Based on Table 1 – Project Density Loading Rates & Design Sewage Flow Rates by the Suffolk County Department of Health Services dated July 21, 2020, the flow rate for a recreational comfort station is 5 gpd/occupant. The restroom will generate less than 150 gpd.

### **CENTRAL PINE BARRENS STATUS**

The Project constitutes "development" pursuant to NYS Environmental Conservation Law §57-0107(13), which states:

*13. "Development" shall mean the performance of any building activity or mining operation, the making of any material change in the use or intensity of use of any structure or land and the creation or termination of rights of access or riparian rights. Without limitation, the following activities or uses shall be taken for the purposes of this title to involve development as defined in this subdivision:*

*(a) a change in type of use of a structure or land or, if the ordinance or rule divides uses into classes, a change from one class of use designated in an ordinance or rule to a use in another class so designated;*

*(b) a material increase in the intensity of use of land or environmental impacts as a result thereof;*

*(c) commencement of mining, excavation or material alteration of grade or vegetation on a parcel of land excluding environmental restoration activities;*

### **SEQRA AND OTHER REQUIRED PERMITS AND APPROVALS**

- SEQRA: Project classified as Type II Action per 617.5(c)(9)
- Suffolk County Department of Health Services (SCDHS)
- Town of Southampton site plan approval and any other approvals

### **SITE DESCRIPTION**

This section contains a general description of the features on the Project Site including natural, scenic, and cultural resources.

## DRAFT

*Existing Condition and Land Use on-site:* Recreation, golf course, clubhouse, other amenities and facilities and natural open space. See Exhibit B for photographs.

*Vegetation:* The area of the project is presently a mowed grass lawn.

*Rare, Endangered, & Threatened Species and Species of Concern:* A request for information was submitted to the New York State Department of Environmental Conservation Natural Heritage Program (NHP). A response has not been received to date.

*Wetlands:* No wetlands are identified in the survey.

*Hydrology:* The site is located in Groundwater Management Zone III. According to the USGS Long Island Depth to Water and Hydrologic Conditions Viewer, the depth to water on site is approximately 150 feet.

*Topography/Elevation:* The golf course contains hilly terrain. The area of the project is generally flat.

*Soils:* According to the USDA Natural Resources Conservation Service, the predominant soil type on the area of the project is cut and fill land with gentle slopes.

*Cultural/Archeological Resources:* Waiting for a response from the New York State Office of Parks Recreation and Historic Preservation.

## PROJECT SITE HISTORY

On May 24, 1990, a conservation easement was recorded by Barry Beil (Grantor) to the Nature Conservancy (Grantee) on the property to preserve the natural open space surrounding the golf course development.

### Prior Applications

Two prior hardships have been granted on the property including:

- 8/6/97 - 5,000-square-foot addition to the clubhouse, two new accessory buildings totaling 1,500 square feet and additional parking for 206 cars
- 6/9/99 - 4,507 fabric structure over the tennis courts, a cart path and a 1,200-square-foot concrete pad

In 2015, the HHGCC was issued a violation by the Commission for undertaking development and construction without a permit. The matter was settled with a consent order including payment of a \$75,000 fine and habitat restoration of other areas on the golf course property.

## SURROUNDING LAND USE AND ZONING

The Study Area is defined to be all land within a one-half mile radius around the Project Site. See Exhibit D for the Study Area Map.

## DRAFT

The Study Area is dominated by natural open space. To the north is the residential community surrounding Wildwood Lake. To the west is Suffolk Community College Eastern Campus. Public land surrounds the golf course. CR 51 to the west is 4,156 feet to the west; Sunrise Highway is 8,165 feet south, and CR 31 is 10,235 feet to the east.

Land uses within the Study Area include public open space, residential, recreational and institutional. A mix of town-, state-, and county-owned open space is distributed throughout the Study Area with larger contiguous space in the Core Preservation Area.

The low-density CR 200 zoning district surrounds the immediate boundaries of the golf course. Residential communities that surround the east and west sides of Wildwood Lake are zoned R15 and R10, respectively. Seven parcels on the west side of Wildwood Lake are zoned Highway Business (HB). Land uses in the HB district include a former bowling alley, recently acquired by a religious institution to be reconstructed as a church, a Town Park and four residences.

### **PRIOR COMMISSION DECISIONS**

A similar Core Preservation Area application decision in the Study Area is Wildwood Lake Park restroom facility (SCTM # 900-164-4-1), dated September 4, 2002.

### **CORE PRESERVATION AREA EXTRAORDINARY HARDSHIP CRITERIA**

The Applicant is required to demonstrate hardship in accordance with ECL §57-0121(10) The Applicant submitted a petition addressing this section of the Act for the proposed extraordinary hardship waiver. See Exhibit E for the applicant's petition on the hardship.

The applicable Core Hardship criteria, as enumerated in Article 57, Section 57-0121(10) are listed below.

*“10. Any person, the state or a public corporation upon a showing of hardship caused by the provisions of subdivision eight of this section on development in the core preservation area, may apply to the commission for a permit exempting such applicant from such subdivision eight in connection with any proposed development in the core preservation area. Such application for an exemption pursuant to the demonstration of hardship within the core preservation area shall be approved only if the person satisfies the following conditions and extraordinary hardship or compelling public need is determined to have been established under the following standards or for development by the state or a public corporation or proposed for land owned by the state or a public corporation compelling public need is determined to have been established under the following standards:”*

*“(a) The particular physical surroundings, shape or topographical conditions of the specific property involved would result in an extraordinary hardship, as distinguished from a mere inconvenience, if the provisions of this act are literally enforced. A person shall be deemed to have established the existence of extraordinary hardship only if he or she demonstrates, based on specific facts, that the subject property does not have any beneficial use if used for its present use or developed as authorized by the provisions of this article, and that this inability to have a beneficial use results from unique circumstances peculiar to the subject property which:*

*(i) Do not apply to or affect other property in the immediate vicinity;*

## DRAFT

- (ii) *Relate to or arise out of the characteristics of the subject property rather than the personal situation of the applicant; or*
- (iii) *Are not the result of any action or inaction by the applicant or the owner or his or her predecessors in title including any transfer of contiguous lands which were in common ownership on or after June 1, 1993.”*

*“(c) An application for a permit in the core preservation area shall be approved only if it is determined that the following additional standards also are met:*

- (i) *The granting of the permit will not be materially detrimental or injurious to other property or improvements in the area in which the subject property is located, increase the danger of fire, endanger public safety or result in substantial impairment of the resources of the core preservation area;*
- (ii) *The waiver will not be inconsistent with the purposes, objectives or the general spirit and intent of this article; or*
- (iii) *The waiver is the minimum relief necessary to relieve the extraordinary hardship, which may include the granting of a residential development right to other lands in the compatible growth area that may be transferred or clustered to those lands to satisfy the compelling public need.”*

*“Any waiver or exemption granted under the provisions of this part shall only be considered an exemption or waiver of the particular standard of this article, which the commission waived. It shall not constitute an approval of the entire development proposal. Nor shall it constitute a waiver from any requirements contained within any local, county or state law or ordinance.”*

### **SUMMARY OF APPLICANT’S HARDSHIP DEMONSTRATION**

The Applicant explained a hardship is imposed by the distance to the nearest restroom, which is more than a football field away from the sports courts and playground. Access to these facilities requires crossing a busy parking lot, creating safety concerns, particularly for young children. This lack of access to a restroom causes safety concerns where parents, children, players and spectators are separated from these facilities.

### **DISCUSSION ITEMS/ADDITIONAL INFORMATION**

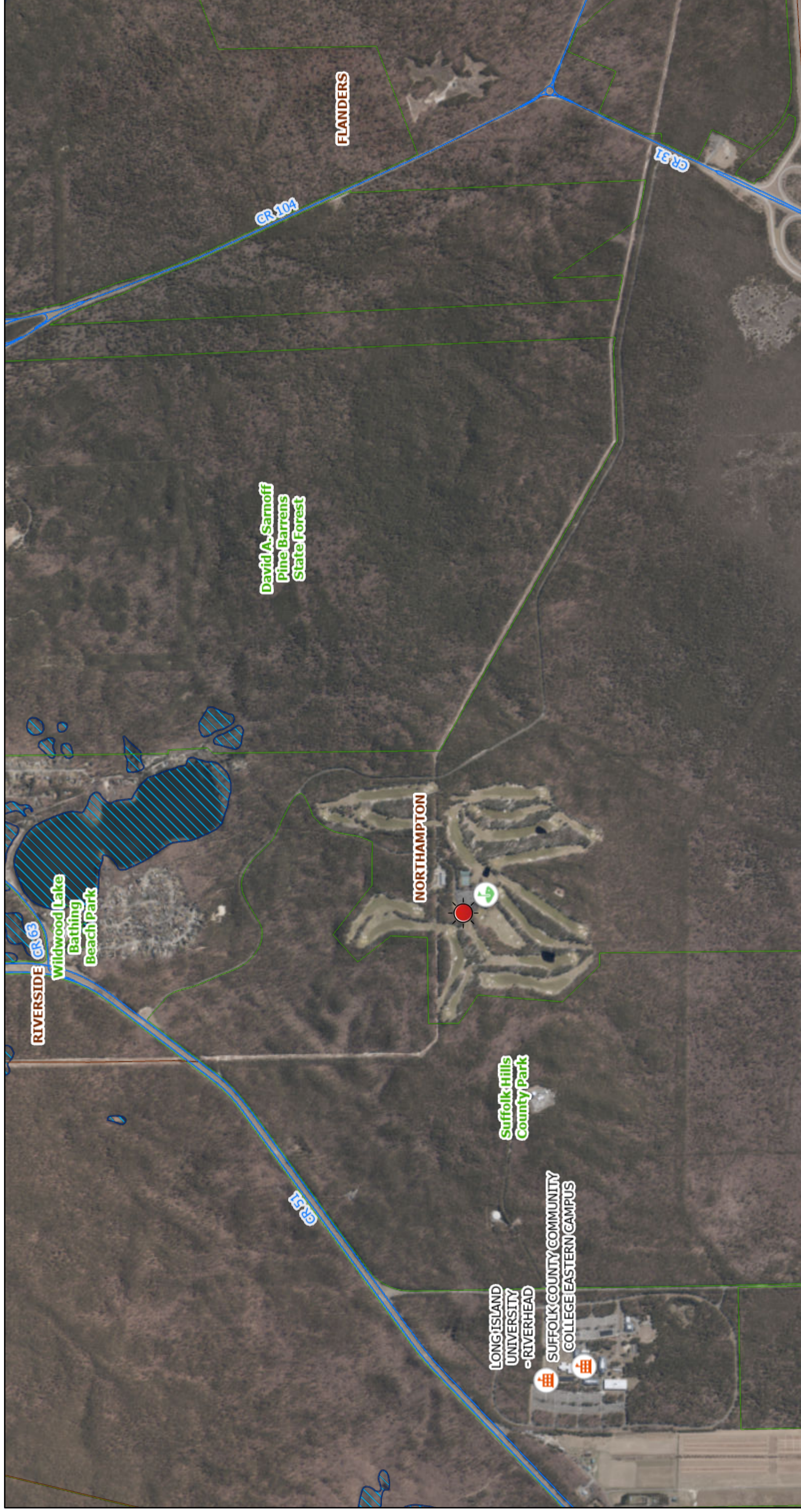
1. Pending response from the New York State Historic Preservation Office.
2. The Commission will consider any additional documentation submitted in support of this Application and reserves the right to keep the hearing record open to receive and review any additional information for the public record.
3. The current deadline to issue a decision is June 2, 2026, which is before the June Commission meeting. Extend the decision deadline to the June 17, 2026 meeting.

DRAFT

**EXHIBITS**

- A. 2025 Aerial of the Project Site
- B. Photographs of the Project Site
- C. Site Plan prepared by First Coastal Corporation dated January 14, 2026
- D. Study Area Map
- E. Applicant's petition of the hardship

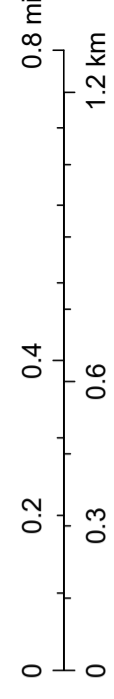
# Hampton Hills Golf Course



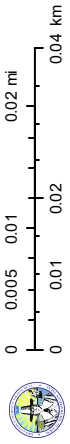
3/4/2026, 11:27:58 PM

1:20,731

- Street Labels
- County Roads
- Hamlets
- Parks
- Freshwater Wetlands
- Pine Barren Core
- Colleges
- Golf Courses
- 2023 Orthoimagery
- Freshwater Wetlands
- Green: Green
- Blue: Blue
- Roads: 16,000 - 32,000
- Highway
- Minor Arterial
- Red: Red
- Ramp
- Local
- Waterbody: 100 - 750,000
- College: 8,000 - 750,000
- SC Shoreline: 8,000 - 750,000



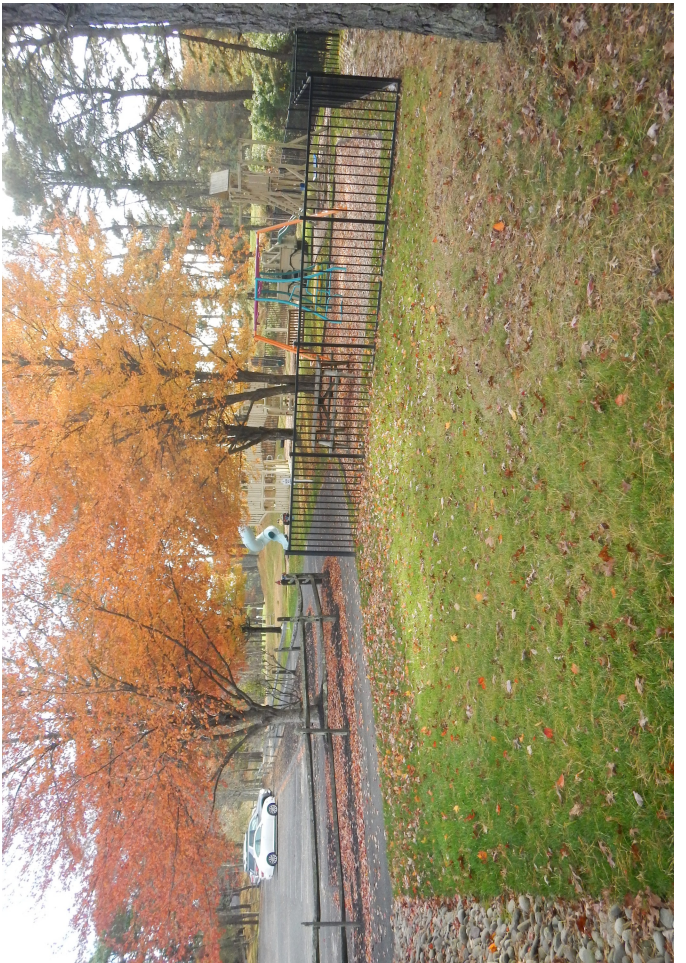
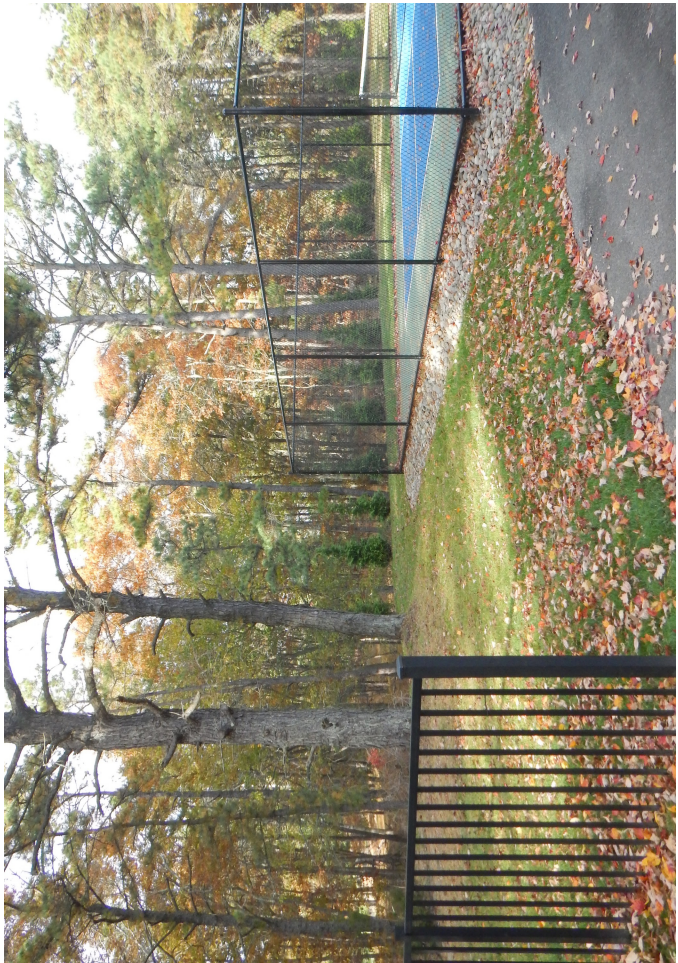
# Is Golf Course proposed restroom facility

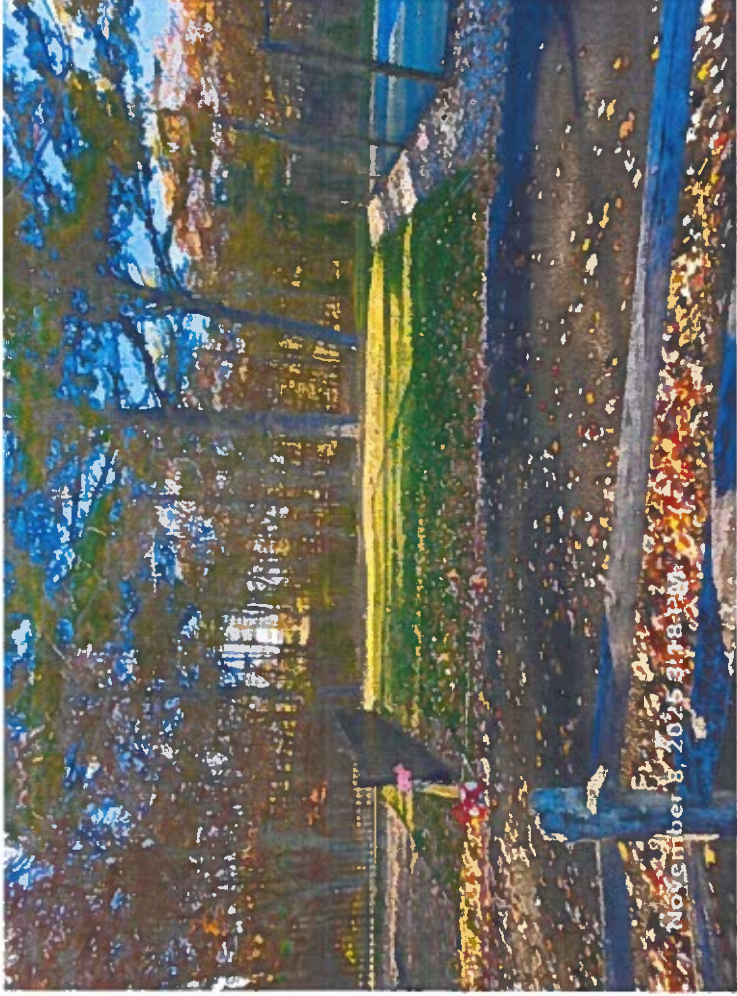


Prepared by The Town of Southampton  
GIS Department

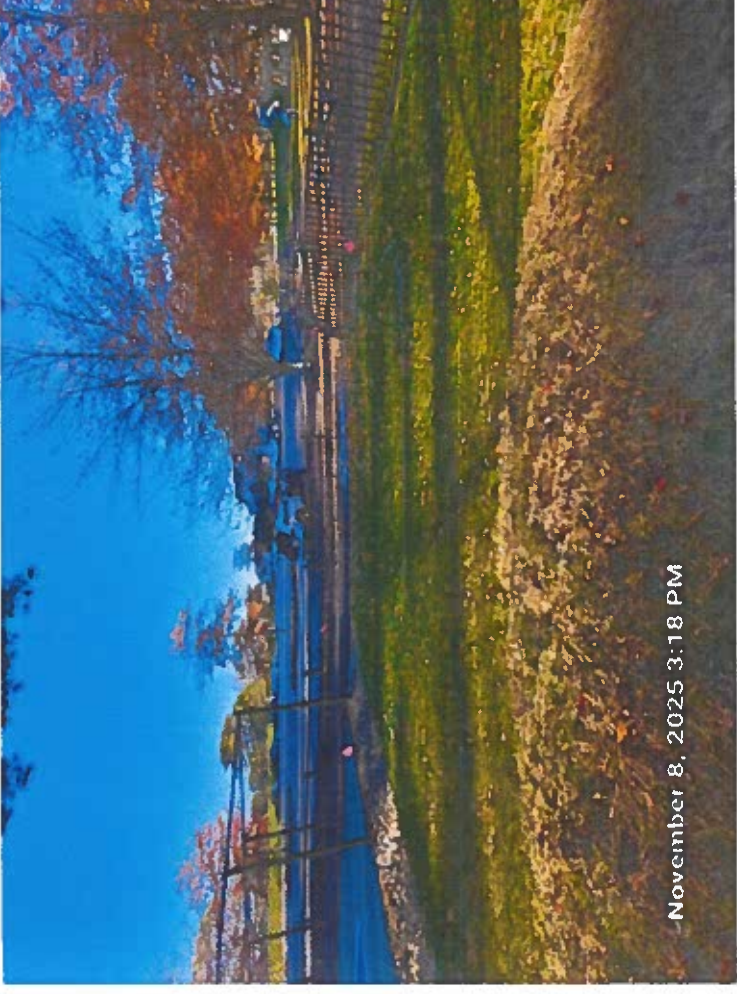
November 12, 2025

Author:





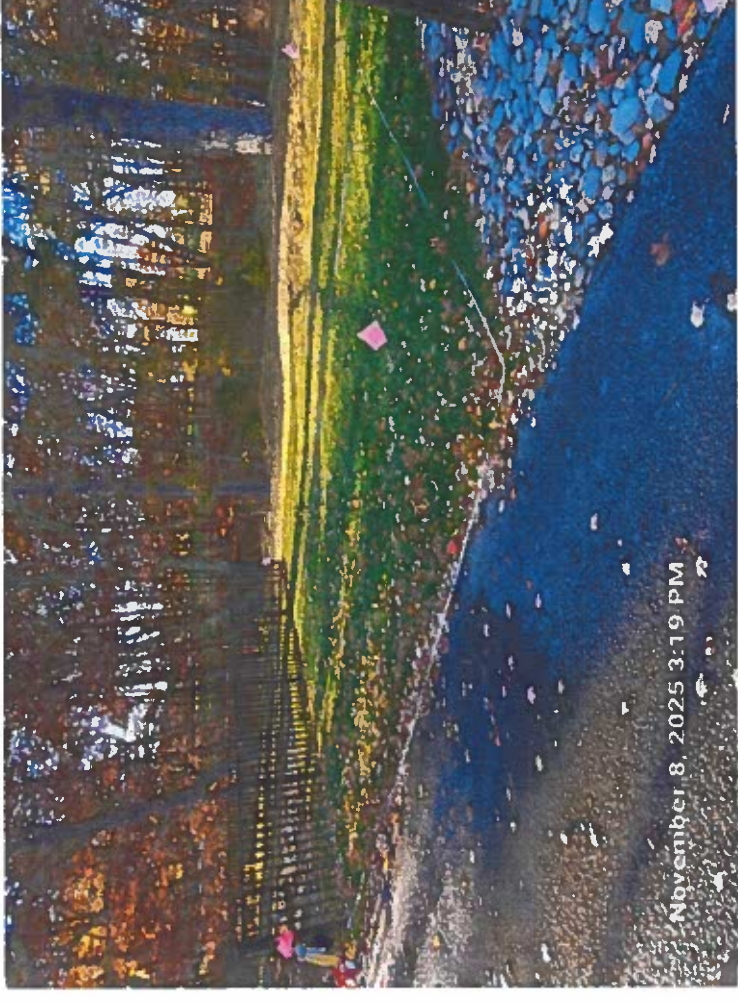
FACING NORTH FROM CART PATH



FACING SOUTH TOWARDS PARKING LOT



FACING NORTHEAST FROM CART PATH



FACING NORTHWEST FROM CART PATH

RE. 11/13/2025  
 FEB 04 2025  
 Central Pin  
 Joint Planning & Policy

REVISIONS	DATE

**FIRST Coastal**  
 Corporation  
 P.O. Box 1212, 4 Arthur Street  
 Westhampton Beach, N.Y. 11978  
 (631)288-2271; fax (631)288-8949

Drawing No. SANITATION SITE OPTION "A"  
 Date 11/13/2025  
 SCALE  
 Drawn By JMF  
 Sheet No 1 OF 3

HAMPTON HILLS COUNTRY CLUB  
 1000 RIVERHEAD MORICHES RD.,  
 NORTHAMPTON, NY  
 SCTM # 0900-194-1-3

ALL PHOTOGRAPHS TAKEN 11/08/25



RECEIVED

FEB 04 2026

January 27, 2026

*Central Pine Barrens  
Joint Planning & Policy Commission*

Julie Hargrave  
Policy and Planning Manager  
Central Pine Barrens Joint Planning and Policy Commission  
624 Old Riverhead Road  
Westhampton Beach, NY 11978

RE: Core Preservation Area Hardship Application – Pickleball Court Area Sanitation Facility, Hampton Hills Country Club

Dear Ms. Hargrave,

On behalf of Hampton Hills Country Club, we respectfully submit this application for the installation of new sanitary facilities to serve the pickleball courts and playground area.

### **Existing Conditions and Project Description**

The 18-hole private golf course is located north of Sunrise Highway and between County Road 31 and CR 51 in Westhampton, in the Town of Southampton. The golf course was developed in the late 1970s, prior to the Act. It contains a clubhouse, tennis courts, maintenance and associated facilities.

The proposal is to construct a 208 square foot restroom facility with two bathrooms. Commission staff confirmed the condition of the area and took photographs during a site inspection on November 5, 2025.

### **Hardship Explanation**

With the pickleball courts and adjacent playground in active use, the absence of nearby restrooms has become a practical and safety concern:

- The nearest sanitary facilities are located more than a football field away from the pickleball courts and playground at the clubhouse.
- Accessing these facilities requires crossing a busy parking lot, creating additional safety concerns, especially for young children.
- Parents and guardians must either leave children unattended or walk an extended distance to reach the facilities.
- Players and spectators face reduced comfort and convenience due to the lack of proximate facilities.

First Coastal Corporation, Post Office Box 1212, 4 Arthur Street, Westhampton Beach, NY 11978  
Phone: 631-288-2271, Fax: 631-288-8949 [www.firstcoastal.com](http://www.firstcoastal.com)

Environmental Consulting and Construction. Permits to Construction. Preserving the coast since 1975



A low-nitrogen Innovative/Alternative Onsite Wastewater Treatment System (I/A OWTS) is proposed for compliance with current environmental standards and that will provide greater protection of local groundwater quality.

### **Central Pine Barrens Status**

Based on preliminary review of the plans and a site inspection by the Commission, we have amended the size and orientation of the structure to avoid impacting two large pitch pine trees to the new location shown in attached documentation.

### **Attachments**

1. Full Environmental Assessment Form (EAF)
2. Location Map
3. Survey showing distance to nearest sanitary facilities
4. Site Plans
5. Photosheet
6. Environmental Resource Mapper
7. Owner's Affidavit

Please let us know if you would like to schedule a site walk to review the flagged alternatives or discuss next steps.

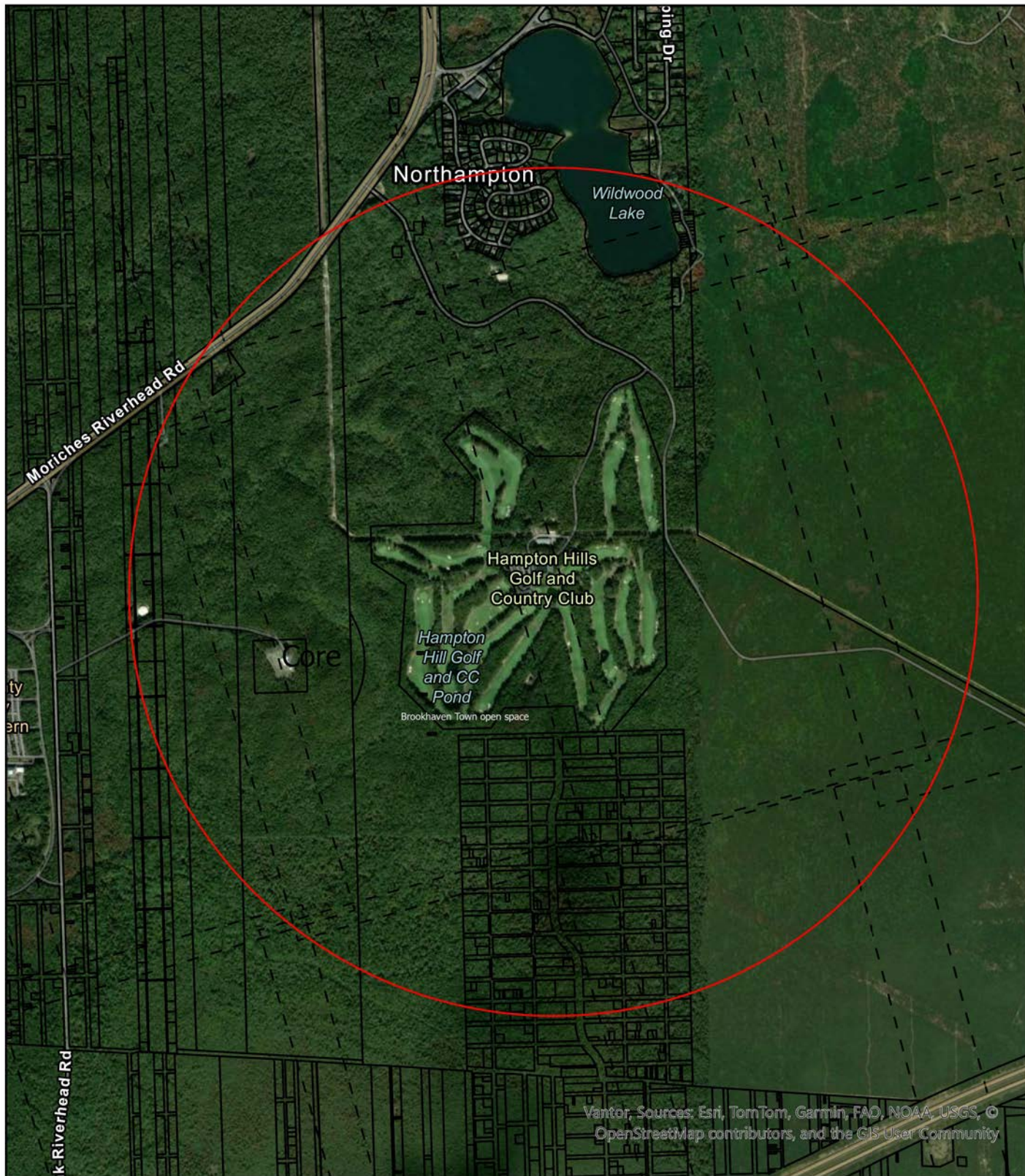
Sincerely,



Aram V. Terchunian, M.Sc.  
Coastal Geologist

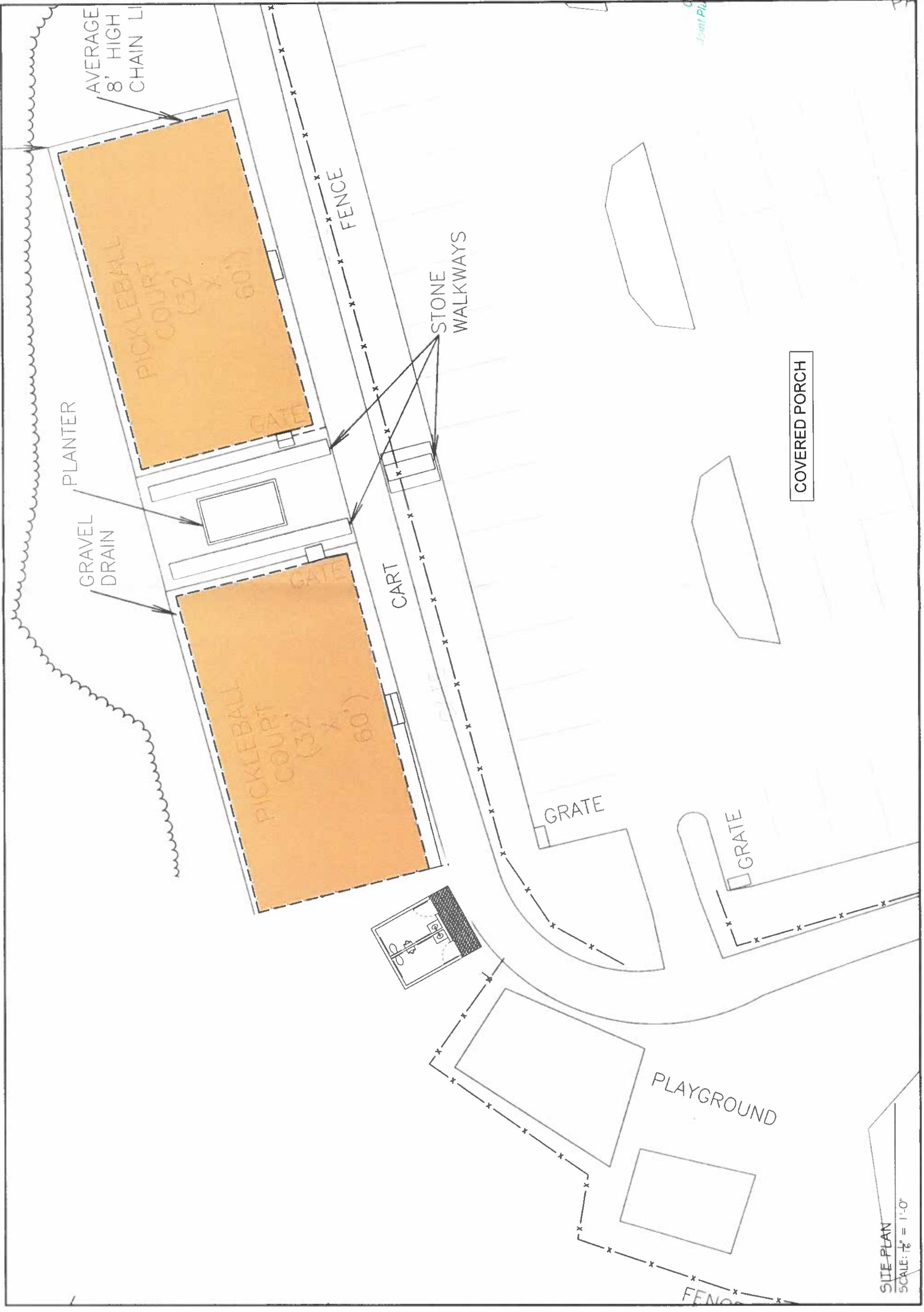
CC: Stanley Pine, Hampton Hills Country Club General Manager

Central Pine Barrens Commission  
Hampton Hills Golf and Country Club Restroom Core Hardship Waiver  
March 18, 2026  
Public Hearing



0 1,000 2,000 4,000 6,000 8,000 Feet





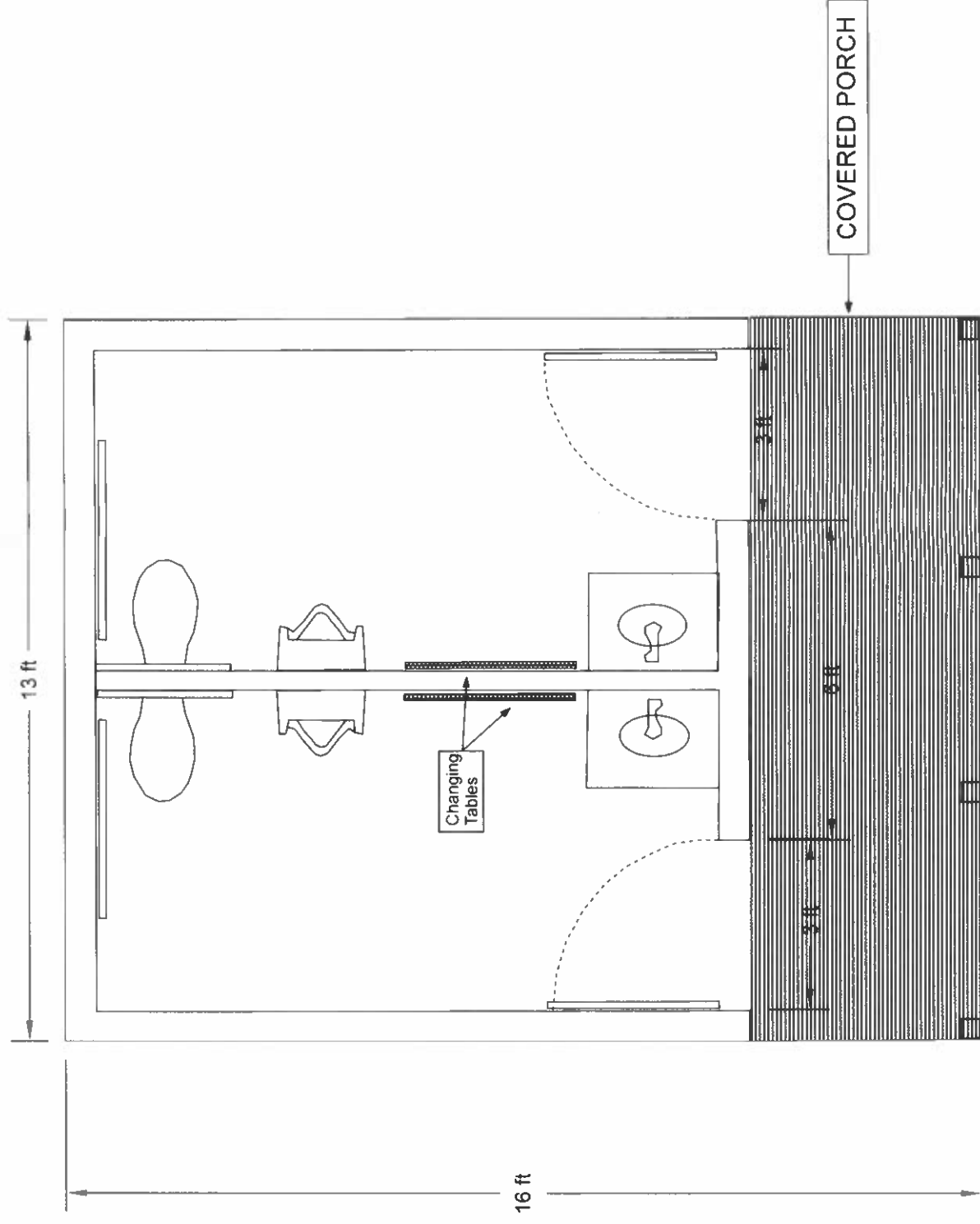
RECEIVED

FEB 04 2026

Central  
Joint Planning & Policy Institute

SITE PLAN  
SCALE: 1/8" = 1'-0"

**NOTES:**  
 1. THIS DRAWING IS FOR REGULATORY REVIEW ONLY



RECEIVED

FEB 04 2026

Central Pine Jarrens  
 Joint Planning & Policy Comm.

REVISIONS	DATE	DESCRIPTION

<b>FIRST</b> <small>2025/26</small> CORPORATION DRAWING NO. PHOTO SHEET DATE 1/14/2026 DRAWN BY KLH SCALE 3/8" = 1' SHEET NO. 1 OF 1	HAMPTON HILLS GOLF CLUB 1000 RIVERHEAD-MORICHES RD NORTHAMPTON, NY SCTM # 900-194-1-3
---	--

DRAFT

**Central Pine Barrens Joint Planning and Policy Commission**

Draft Staff Report for the Public Hearing

Wednesday, March 18, 2026

**PROJECT NAME:** Hampton West Park Core Preservation Area Hardship Application

**APPLICATION TIMELINE:**

- February 4, 2026 Application Received
- February 18, 2026 Public Hearing Scheduled
- March 18, 2026 Public Hearing
- June 2, 2026 Deadline for Decision

**OWNER/APPLICANT:** Southampton Town represented by  
Kristen M. Doulos, Town Parks Director  
C. Theresa Masin, Principal Planner

**PROJECT SITE LOCATION:** 700 Stewart Avenue, Westhampton

**SUFFOLK COUNTY TAX MAP NUMBER:** 900-308-4-1.3

**PROJECT SITE AREA:** Area of disturbance is 4,356 square feet on 17.7-acre park

**ZONING DISTRICT:** Country Residence 200

**CURRENT USE:** Recreational

**PROJECT:** Construction of restroom building and innovative sanitary system and expansion of parking lot and habitat restoration area

**EXISTING CONDITIONS**

The 17.7 acre park property is located at the west end of Stewart Avenue in Westhampton, Town of Southampton, in the Core Preservation Area of the Central Pine Barrens. See Exhibit A for an aerial of the Project Site and Exhibit B for photographs of the Project Site.

The park contains active recreational facilities including baseball fields, tennis and pickleball courts, a parking lot and driveway. Approximately seven acres of the park is developed with active uses and 10 acres is natural pine barrens forested land.

Residential development borders the south and east sides. Natural open space borders the northern and western park boundaries.

**APPLICANT REQUEST**

The Applicant requests a Core Preservation Area Hardship Waiver to expand the parking lot and to construct a public restroom. The parking lot expansion measures 4,356 square feet to create 70 parking spaces. The restroom building measures 336 square feet. An innovative alternative sanitary system will be constructed. A native plant restoration area containing 17,860 square feet

## DRAFT

is proposed in the rear of the sports courts. The Town indicated plans to reuse and salvage material that is removed in the clearing operation for reuse in the restoration area where possible.

The Site Plan, prepared by LiRo Engineers Inc. and last dated December 2025, is included as Exhibit C. An Environmental Assessment form Part 1 and a restoration plan prepared by the Town of Southampton dated February 4, 2026 were provided.

### **Sanitary Flow**

The site presently does not have a public restroom. The as of right sanitary flow for the project site is 300 gpd/acre x 17.7 acres or 5,310 gallons-per-day (gpd). Based on Table 1 – Project Density Loading Rates & Design Sewage Flow Rates by the Suffolk County Department of Health Services dated July 21, 2020, the flow rate is a 5 gpd/occupant. The restroom will generate less than 500 gpd.

### **CENTRAL PINE BARRENS STATUS**

The Project constitutes “development” pursuant to NYS Environmental Conservation Law §57-0107(13), which states:

*13. "Development" shall mean the performance of any building activity or mining operation, the making of any material change in the use or intensity of use of any structure or land and the creation or termination of rights of access or riparian rights. Without limitation, the following activities or uses shall be taken for the purposes of this title to involve development as defined in this subdivision:*

*(a) a change in type of use of a structure or land or, if the ordinance or rule divides uses into classes, a change from one class of use designated in an ordinance or rule to a use in another class so designated;*

*(b) a material increase in the intensity of use of land or environmental impacts as a result thereof;*

*(c) commencement of mining, excavation or material alteration of grade or vegetation on a parcel of land excluding environmental restoration activities;*

### **SEQRA AND OTHER REQUIRED PERMITS AND APPROVALS**

- SEQRA: Project classified as an Unlisted Action
- Suffolk County Department of Health Services (SCDHS)
- Town of Southampton site plan approval and any other approvals
- New York State Department of Environmental Conservation

### **SITE DESCRIPTION**

This section contains a general description of the features on the Project Site including natural, scenic and cultural resources.

## DRAFT

*Existing Condition and Land Use on-site:* Public parkland including active uses. The remaining area is naturally vegetated. See discussion of Study Area below and Exhibit B for photographs.

*Vegetation:* Pine barrens habitat in the natural area of the project site.

*Rare, Endangered, & Threatened Species and Species of Concern:* A request for information was submitted to the New York State Department of Environmental Conservation Natural Heritage Program (NHP). A response has not been received to date.

*Wetlands:* No wetlands are identified in the survey.

*Hydrology:* The site is located in Groundwater Management Zone III. According to the USGS Long Island Depth to Water and Hydrologic Conditions Viewer, the depth to water on site is approximately 51 feet.

*Topography/Elevation:* The Project Site is generally flat.

*Soils:* According to the USDA Natural Resources Conservation Service, the predominant soil types on the Project Site are Carver and Plymouth soils 0 to 15% slopes and cut and fill in the developed area.

*Cultural/Archeological Resources:* Waiting for response from the New York State Office of Parks Recreation and Historic Preservation.

### **PROJECT SITE HISTORY**

The park was developed in or around 1978 and deeded to the Town in 1984.

### **STUDY AREA**

The Study Area is defined to be all land within a one-half mile radius around the Project Site. See Exhibit D for an aerial depicting the Study Area.

The Study Area contains a significant amount of natural open space except for the developed residential community on the east and south sides of the park. The Study Area is bound on the west and north sides by natural open space. The east and south sides are bound by a residential community. Some of the residential development in the community was formerly used as housing for military families.

Nearby but outside of the Study Area is Gabreski Airport, which is roughly 4,500 feet to the east, at the opposite end of Stewart Avenue and the intersection of CR 31. Commercial and industrial uses are present on the CR 31 road frontage. Approximately 4,500 feet to the south is the LIRR corridor and 6,700 feet to the north is Sunrise Highway.

A mix of zoning districts are within the Study Area include R10, 20, 40 and 200.

## PRIOR COMMISSION DECISIONS

Core Preservation Area application decisions that are outside the Study Area but are similar project Wildwood Lake Park (900-164-4-1). Restroom facility at Southampton Town park (9/4/02).

## CORE PRESERVATION AREA EXTRAORDINARY HARDSHIP CRITERIA

The Applicant is required to demonstrate hardship in accordance with ECL §57-0121(10) The Applicant submitted a petition addressing this section of the Act for the proposed extraordinary hardship waiver. See Exhibit E for the applicant's petition on the hardship.

The applicable Core Hardship criteria, as enumerated in Article 57, Section 57-0121(10) are listed below.

*“10. Any person, the state or a public corporation upon a showing of hardship caused by the provisions of subdivision eight of this section on development in the core preservation area, may apply to the commission for a permit exempting such applicant from such subdivision eight in connection with any proposed development in the core preservation area. Such application for an exemption pursuant to the demonstration of hardship within the core preservation area shall be approved only if the person satisfies the following conditions and extraordinary hardship or compelling public need is determined to have been established under the following standards or for development by the state or a public corporation or proposed for land owned by the state or a public corporation compelling public need is determined to have been established under the following standards:”*

*“(a) The particular physical surroundings, shape or topographical conditions of the specific property involved would result in an extraordinary hardship, as distinguished from a mere inconvenience, if the provisions of this act are literally enforced. A person shall be deemed to have established the existence of extraordinary hardship only if he or she demonstrates, based on specific facts, that the subject property does not have any beneficial use if used for its present use or developed as authorized by the provisions of this article, and that this inability to have a beneficial use results from unique circumstances peculiar to the subject property which:*

- (i) Do not apply to or affect other property in the immediate vicinity;*
- (ii) Relate to or arise out of the characteristics of the subject property rather than the personal situation of the applicant; or*
- (iii) Are not the result of any action or inaction by the applicant or the owner or his or her predecessors in title including any transfer of contiguous lands which were in common ownership on or after June 1, 1993.”*

*“(c) An application for a permit in the core preservation area shall be approved only if it is determined that the following additional standards also are met:*

- (i) The granting of the permit will not be materially detrimental or injurious to other property or improvements in the area in which the subject property is located, increase the danger of fire, endanger public safety or result in substantial impairment of the resources of the core preservation area;*

## DRAFT

- (ii) *The waiver will not be inconsistent with the purposes, objectives or the general spirit and intent of this article; or*
- (iii) *The waiver is the minimum relief necessary to relieve the extraordinary hardship, which may include the granting of a residential development right to other lands in the compatible growth area that may be transferred or clustered to those lands to satisfy the compelling public need.*

*“Any waiver or exemption granted under the provisions of this part shall only be considered an exemption or waiver of the particular standard of this article, which the commission waived. It shall not constitute an approval of the entire development proposal. Nor shall it constitute a waiver from any requirements contained within any local, county or state law or ordinance.”*

### **SUMMARY OF APPLICANT’S HARDSHIP DEMONSTRATION**

The application explains that if the Town is unable to improve this facility it would be a detriment to the community. It describes the park as a community resource that is in need of reconstruction and reconfiguration to meet community needs such as providing functionality and safety on the sports courts and formalized parking that is ADA compliant for safety purposes. Hampton West Park is the only town park to serve residents in the hamlets of Westhampton, Speonk and Remsenburg.

### **DISCUSSION ITEMS/ADDITIONAL INFORMATION**

1. Shift the restroom building slightly westward to the cleared area to avoid and to keep in place the single mature tree that is present in the large grassy area adjacent to the parking lot.
2. The Commission will consider any additional documentation submitted in support of this Application and reserves the right to keep the hearing record open to receive and review any additional information for the public record.
3. The current deadline to issue a decision is June 2, 2026 which is before the June Commission meeting. Confirm the decision deadline is extended to the June 17, 2026 meeting.

### **EXHIBITS**

- A. 2025 Aerial of the Project Site
- B. Photographs of the Project Site
- C. Site Plan prepared by LiRo Engineers dated December 2025
- D. Study Area Map
- E. Applicant’s petition of the hardship



EDWARDS ST

BOLLING ST

STEWART AVE

ENT AVE

HAMILTON AVE

PATRICK ST

ARNOLD ST



# TOWN OF SOUTHAMPTON PARKS & RECREATION DEPARTMENT

## HAMPTON WEST PARK SPORTS COURTS AND PARKING LOT IMPROVEMENT

LOCATED IN  
WESTHAMPTON BEACH, N.Y.  
CONTRACT NO. 2025-562



### TOWN BOARD

MARIA Z. MOORE, SUPERVISOR

MICHAEL A. IASILLI, COUNCILPERSON

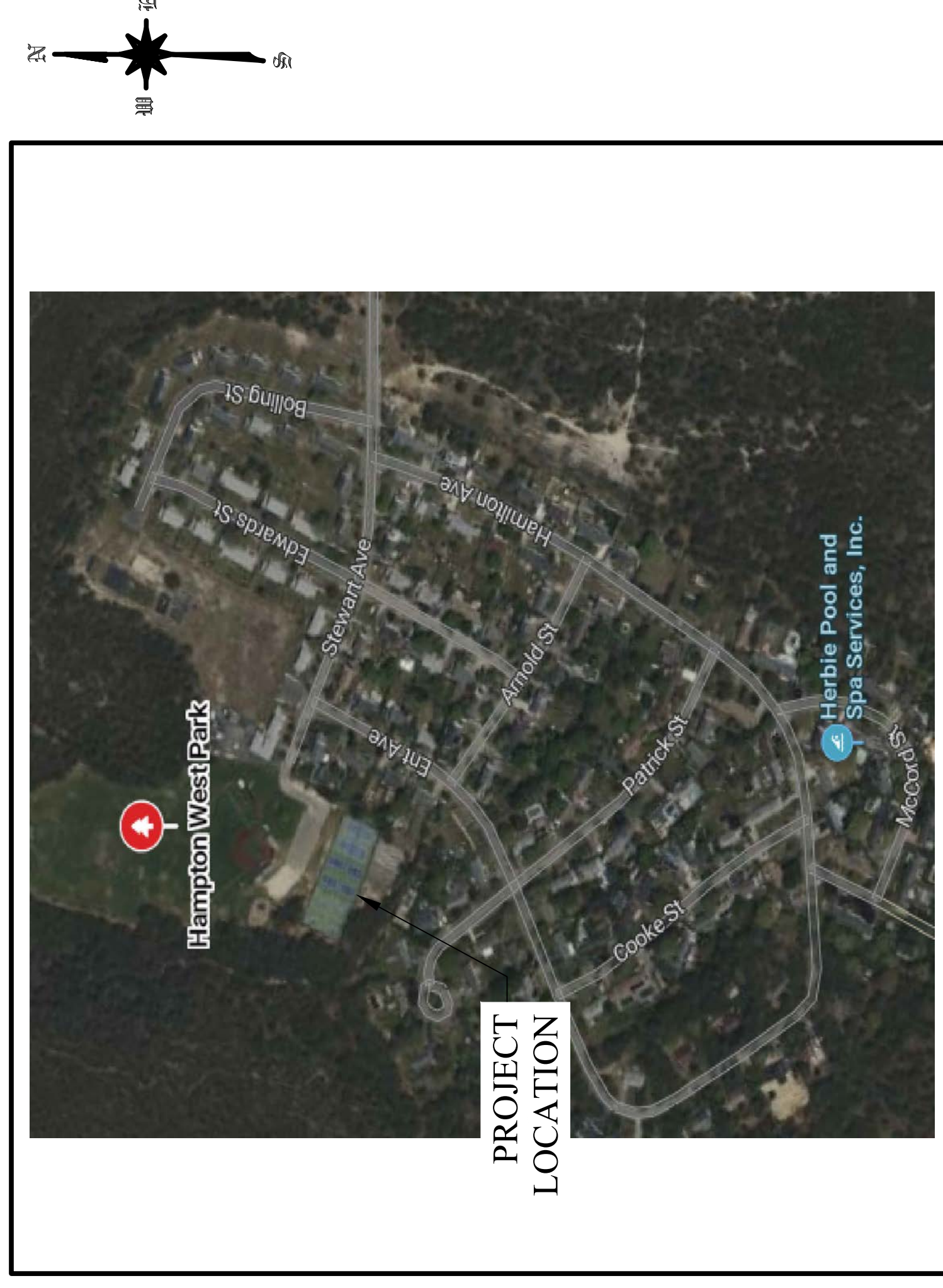
RICK MARTEL, COUNCILPERSON

CYNDI MCNAMARA, COUNCILPERSON

WILLIAM PELL IV, COUNCILPERSON

PARKS & RECREATION DEPARTMENT

KRISTEN M. DOULOS, DIRECTOR



PROJECT LOCATION MAP  
SCALE: 1" = NTS


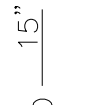







Sheet List Table	
Sheet Number	Dwg Number
1	COVER SHEET
2	INDEX, ABBREVIATION, LEGEND, & NOTES C-01
3	SITE DEMO PLAN D-100
4	SITE LAYOUT PLAN C-100
5	SITE GRADING PLAN C-101
6	SITE DRAINAGE PLAN C-102
7	SITE DETAILS C-201
8	EROSION CONTROL PLAN ESC-100
9	EROSION CONTROL DETAILS ECC-101

IN GENERAL, THE WORK REQUIRED UNDER THIS CONTRACT SHALL BE CONDUCTED IN ACCORDANCE WITH THE ITEMS AND SPECIFICATIONS IDENTIFIED IN LANDTEK'S "SPORTS COURTS RESURFACING AND CONSTRUCTION REQUIREMENTS CONTRACT," DATED FEBRUARY 2023.


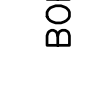






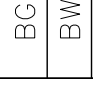

WORK SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING CONSTRUCTION ACTIVITIES:

- NEW PARKING LOT CONSTRUCTION
- NEW TENNIS COURT CONSTRUCTION
- NEW PICKLEBALL COURT CONSTRUCTION
- NEW BASKETBALL COURT CONSTRUCTION
- INSTALLATION OF TENNIS POSTS & NETS
- INSTALLATION OF PICKLEBALL POSTS & NETS
- INSTALLATION OF CHAIN LINK FENCE AND GATES

**LEGEND (EXISTING FEATURES)**

	CATCH BASIN
	DROP INLET & PIPE
	ELECTRIC PULLBOX AND SUPPLY (BURIED)
	SITE LIGHTS
	CHAIN LINK FENCE
	SHRUB LINE
	EXISTING TREE
	PROPOSED ELEVATION EXISTING ELEVATION
	SURVEY CONTROL POINT

**LEGEND (PROPOSED FEATURES)**

	BORING LOCATION (WITH BORING NUMBER)
	ASPHALT PAVEMENT
	RUNOFF STORAGE AREA
	STRIPING LINES – ITEM NO. 740
	DETAIL NUMBER DRAWING NUMBER
	INLET PROTECTION (SILT FENCING, HAYBALES, ETC.)
	STABILIZED CONSTRUCTION ENTRANCE
	STOCKPILING AREA
	SILT FENCING OR HAYBALES
	TEMPORARY CHAIN LINK FENCE

**A B B R E V I A T I O N S**

ASPH.	ASPHALT	MAX.	MAXIMUM
BC	BOTTOM GRADE	MIN.	MINIMUM
BW	BOTTOM WALL	MONO.	MONOLITHIC
CB	CATCH BASIN	MORT.	MORTARED
CCA	CHROMATED COPPER ARSENATE	N	NORTHING
CONC.	CONCRETE	NO.	NUMBER
C.F.	CUBIC FEET	O.C.	ON CENTER
C.P.	CONTROL POINT	PAV'T.	PAVEMENT
C.Y.	CUBIC YARDS	P.I.	POINT OF INTERSECTION
∅	DIAMETER	PROP.	H.P. HIGH POINT
D.I.P.	DUCTILE IRON PIPE	R.	RADIUS
DMH	DRAINAGE MANHOLE	R.C.P.	REINFORCED CONCRETE PIPE
DWG.	DRAWING	S.F.	SQUARE FEET
DWY.	DRIVEWAY	SMH	SEWER MANHOLE
E	EASTING	S.Y.	SQUARE YARDS
EL.	ELEVATION	STA.	STATION
E.W.	ENTRANCE WALK	STRUCT.	STRUCTURE
EXP.-JT.	EXPANSION JOINT	SW	SIDEWALK
EXT.	EXTENSION	TCB	TOP OF CATCH BASIN
FLAGST.	FLAGSTONE	TC	TOP OF CURB
FL	FLOW LINE	TW	TOP OF WALL
GR.	GRADE	Z	ELEVATION
INT.	INTERSECTION		
L.F.	LINEAR FEET		

**GENERAL NOTES.**

- THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND ACTUAL CONDITIONS AT THIS SITE SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
- THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND REGULATIONS GOVERNING THE WORK.
- ALL LAYOUT AND ESTABLISHMENT OF ELEVATIONS SHALL BE DONE BY A NEW YORK STATE LICENSED LAND SURVEYOR. LAYOUT OF ALL WORK SHALL BE ADJUSTED IN THE FIELD TO MEET SITE CONDITIONS AS APPROVED BY ENGINEER.
- LAYOUT ALL NEW WORK FOR ENGINEER'S REVIEW PRIOR TO THE START OF CONSTRUCTION. ANY INSTALLATION WORK PERFORMED PRIOR TO ENGINEER'S REVIEW THAT DOES NOT CONFORM TO THESE CONTRACT DOCUMENTS AS INTERPRETED BY THE ENGINEER SHALL BE REMOVED AND REPLACED AS PER THE ENGINEER'S INSTRUCTIONS AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL BE AWARE THAT THE EXISTING PARK WILL REMAIN OPEN TO PARK USERS FOR THE DURATION OF THE CONTRACT AND SHALL MAINTAIN ACCESSIBILITY TO ALL AREAS UNDER CONSTRUCTION IN A SAFE MANNER. MAINTENANCE & ACTIVE WORK AREAS SHALL BE PROTECTED BY THE CONTRACTOR WITH FENCING, SIGNAGE, HIGH CHAIN LINK CONSTRUCTION FENCE AS INDICATED ON THE DRAWINGS. THIS FENCE SHALL BE MAINTAINED IN GOOD CONDITION FOR THE DURATION OF THE CONTRACT. THIS ACCESS SHALL BE LAYED OUT SO AS TO KEEP ALL PARK USERS SAFE FROM HARM AND ALL CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL LIMIT HIS HOURS OF OPERATION WITHIN THE PROJECT AREA TO REGULAR WORKING HOURS BETWEEN 8:00AM AND 4:30P.M. UNLESS OTHERWISE APPROVED BY THE TOWN.
- EQUIPMENT AND MATERIALS LEFT OVER NIGHT SHALL BE SAFEGUARDED & SECURED BEHIND DESIGNATED CONTROLLED AREA AS APPROVED BY THE ENGINEER.
- THERE SHALL BE NO STORAGE OF EQUIPMENT OR MATERIALS BENEATH EXISTING TREES.
- THE CONTRACTOR SHALL MODIFY THE EXISTING FENCING AS REQUIRED FOR CONSTRUCTION ACTIVITIES. FENCING TAKEN DOWN FOR CONSTRUCTION ACTIVITIES SHALL BE PROTECTED FOR DAMAGE FOR THE DURATION OF THE CONTRACT AND REINSTALLED BY THE CONTRACTOR UPON COMPLETION OF WORK AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL TONE AND MARKOUT ALL EXISTING UTILITY LINES AND SUBSURFACE CONDITIONS PRIOR TO COMMENCEMENT OF ANY EXCAVATION WORK.
- THE CONTRACTOR SHALL PROTECT ALL TREES WITHIN PROJECT AREA FROM DAMAGE CAUSED BY CONSTRUCTION OPERATIONS. ANY TREE DAMAGE CAUSED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL INSTITUTE SEDIMENT CONTROL METHODS TO PREVENT SEDIMENT, CEMENT OR ANY OTHER MATERIALS OR CONSTRUCTION DEBRIS FROM ENTERING THE DRAINAGE SYSTEMS DURING ALL PHASES OF CONSTRUCTION. THE SEDIMENT CONTROL DEVICES AND PROCEDURES TO BE EMPLOYED BY THE CONTRACTOR SHALL MEET ESTABLISHED STANDARDS. ALL COSTS ASSOCIATED WITH THE WORK SHALL BE INCLUDED UNDER THE RESPECTIVE BID ITEMS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING UNDERGROUND UTILITIES DURING CONSTRUCTION ACTIVITIES. ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- RESTORATION OF DAMAGED PROPERTY
  - THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGE CAUSED BY ITS OPERATIONS AND SHALL SATISFACTORILY CORRECT ALL SUCH DAMAGE AT THEIR OWN EXPENSE.
  - UPON COMPLETION OF THE CONTRACT, THE CONTRACTOR SHALL RESTORE THE STAGING AREA SITE AND ANY OTHER DAMAGED AREAS TO ITS PRE-CONSTRUCTION CONDITION AS APPROVED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE A WEEKLY CONSTRUCTION SCHEDULE AT LEAST 72 HOURS PRIOR TO THE BEGINNING OF THE UPCOMING WORK WEEK.
- THE COSTS ASSOCIATED WITH THE REMOVAL OF NATURAL SURFACES AND ITS PROPER DISPOSAL OFF SITE SHALL BE INCLUDED UNDER ITEM 213.

**SITE REMOVAL NOTES**

- UNLESS OTHERWISE INDICATED TO REMAIN, THE WORK TO BE PERFORMED AS PART OF THIS CONTRACT INCLUDES THE COMPLETE DEMOLITION, REMOVAL AND DISPOSAL TO AN OFFSITE LOCATION OF ALL STRUCTURES, WALLS, STEPS, WALKS, ASPHALT AND CONCRETE PAVEMENTS, CURBS, LIGHTS, POLES, FOOTINGS, FENCES, SIGNS, DRAINAGE STRUCTURES, UNDERGROUND UTILITIES, LANDSCAPING, ETC., SHOWN WITHIN THE LIMITS OF REMOVAL INDICATED ON THE PLAN. TREE STUMPS TO BE GRIND DOWN TO A MINIMUM OF 12" BELOW PROPOSED GRADE. ALL EXCAVATIONS SHALL BE BACKFILLED WITH SELECT GRANULAR MATERIAL AS DEFINED IN SECTION 203 OF N.Y.S.D.O.T. STANDARD SPECIFICATIONS. COMPACTION OF BACKFILL SHALL CONFORM TO N.Y.S.D.O.T. SECTION 203. EXCAVATED AREAS SHALL BE BACKFILLED UP TO EXISTING GRADE ELEVATIONS OF SURROUNDING AREAS. ITEMS SHOWN TO REMAIN SHALL BE PROTECTED AND MAINTAINED.
- UNLESS OTHERWISE REQUIRED OR INDICATED, ALL FACILITIES OUTSIDE THE LIMIT OF REMOVAL SHALL BE PROTECTED AND MAINTAINED. THE SITE IS TO BE VISITED BY THE CONTRACTOR TO DETERMINE EXISTING CONDITIONS OF THE SITE AND STRUCTURES TO BE REMOVED, PRIOR TO DEMOLITION.
- CONDUCT DEMOLITION OPERATIONS AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND ADJACENT OCCUPIED OR USED FACILITIES.
- ENSURE THE SAFE PASSAGE OF PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT OPERATIONS TO PREVENT INJURY TO ADJACENT BUILDINGS, STRUCTURES, FACILITIES AND PERSONS.
- PROPERLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION OPERATIONS AT NO COST TO THE OWNER.
- LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF ANY EXCAVATION OR DEMOLITION WORK.
- CLEAN ADJACENT STRUCTURES AND DRIVEWAYS OF DUST, DIRT AND DEBRIS. RETURN ADJACENT AREAS TO CONDITION EXISTING PRIOR TO THE START OF THE WORK.
- USE WATER SPRINKLING AND TEMPORARY ENCLOSURES TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR TO THE LOWEST PRACTICAL LEVEL.
- ALL EXISTING UTILITIES TO BE RE-USED MUST BE COORDINATED WITH THE APPROPRIATE AGENCIES FOR APPROVAL PRIOR TO START OF CONSTRUCTION.
- SEE DWG'S ESC-101 FOR EROSION CONTROL.
- CONTRACTOR TO PROVIDE TEMPORARY CONSTRUCTION FENCE TO SECURE SITE DURING CONSTRUCTION.

**UTILITY NOTES**

- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO THE START OF ANY WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE CAUSED BY THIS WORK.
- CALL BEFORE YOU DIG - 1 (800) 272-4480 NEW YORK STATE'S INDUSTRIAL CODE 53 REQUIRES THAT THE UNDERGROUND PROTECTIVE ORGANIZATION BE CALLED AT LEAST TWO WORKING DAYS BEFORE YOU START TO DIG, DRILL, EXCAVATE, BLAST, DRIVE PIPE OR POSTS. WHEN YOU CALL YOU MUST GIVE YOUR NAME, COMPLETE ADDRESS AND INFORMATION ABOUT WHAT YOU ARE PLANNING TO DO. SOMEONE WILL BE CALLED BY THE UNDERGROUND PROTECTIVE ORGANIZATION AND YOU WILL BE NOTIFIED BY PHONE BEFORE THE CALL IS MADE TO THE UNDERGROUND PROTECTIVE ORGANIZATION. ANY REPAIR COSTS WILL BE CHARGED TO THE PERSON RESPONSIBLE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENGAGE WITH AN APPROVED, PRIVATE UNDERGROUND UTILITY LOCATION AND MARK OUT COMPANY TO HAVE ALL ON-SITE UNDERGROUND UTILITIES, WITHIN THE WORK AREA, COMPLETELY LOCATED AND MARKED OUT, AT CONTRACTOR'S OWN EXPENSE.
- SUBSURFACE INFORMATION SHOWN HEREON HAS BEEN TAKEN FROM VARIOUS DEPARTMENTS OF THE TOWN, COUNTY AND PUBLIC UTILITY COMPANIES. THIS INFORMATION IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL BEFORE COMMENCING ANY EXCAVATION, NOTIFY THE DEPARTMENTS, AND UTILITY COMPANIES OF THEIR PROPOSED WORK AND REQUEST THAT THEY LOCATE ANY UTILITIES BELONGING TO THEM. ANY DAMAGE TO UTILITIES BEING LOCATED SHALL BE DONE BY PROVIDING THE AFFECTED UTILITY WITH THE NOTICE REFERRED TO IN THE STATE OF NEW YORK INDUSTRIAL CODE 53.

**INDEX LEGEND ABBREVIATIONS AND NOTES**

NOTE: The Professional Engineer of the New York State Education Law for any person, unless otherwise indicated, is the author of this drawing and/or related specification. All alterations must be made in compliance with the provisions of the Professional Engineer whose seal is on this drawing. The Professional Engineer whose seal is on this drawing is not responsible for any such alteration or reuse without his written consent.

SCALE: AS SHOWN  
 PLAN: TOWN OF SOUTHAMPTON  
 PROFILE: HAMPTON WEST PARK  
 VERT: G-01

DATE: DEC 2025  
 DRAWING NUMBER: G-01

DESIGNED BY: CS  
 DRAFTED BY: CS  
 CHECKED BY: DL  
 PROJECT NO.: 25-148-0427  
 SHEET NUMBER: 02 OF 09

**LiRo Engineers, Inc.**  
 GIS/ Consulting Group Company  
 Minessa, N.Y. 516-746-2350 (T)

TOWN OF SOUTHAMPTON  
 HAMPTON WEST PARK

**LEGEND**

- CATCH BASIN
- ⊕ DRAINAGE MANHOLE
- △ WATER VALVE
- ▽ HYDRANT
- ⊙ SEWER MANHOLE
- ⊕ UTILITY POLE
- ⊕ GUY WIRE
- ⊕ PAVEMENT MARKINGS
- ⊕ WATER METER
- ⊕ FOUND CONCRETE MONUMENT
- ⊕ DECIDUOUS TREE
- ⊕ SPOT GRADE
- ⊕ PROPOSED CONCRETE CURB
- ⊕ EXISTING CONCRETE CURB
- ⊕ PROPERTY LINE
- ⊕ SAW CUT
- ⊕ CONTOUR
- ⊕ CHAIN LINK FENCE
- ⊕ SEWER MAIN
- ⊕ WATER MAIN
- ⊕ WATER SERVICE
- ⊕ GAS MAIN
- ⊕ OVERHEAD WIRES
- ⊕ ELECTRIC SERVICE
- ⊕ TREE PROTECTION


**REFERENCES**

1. TOPOGRAPHY SURVEY: RLT ENGINEERING, GEOLOGY, AND LAND SURVEYING, P.C. 1000 W. MARKET STREET, SUITE 200, MINEOLA, NY 11501 DATED: JUNE 27, 2025


NO.	DATE	REVISION	BY

**SITE DEMO PLAN**

**TOWN OF SOUTHAMPTON  
HAMPTON WEST PARK**



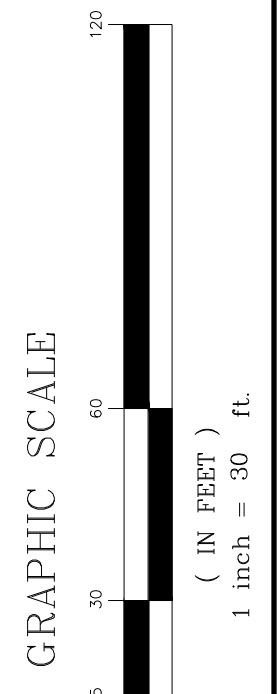
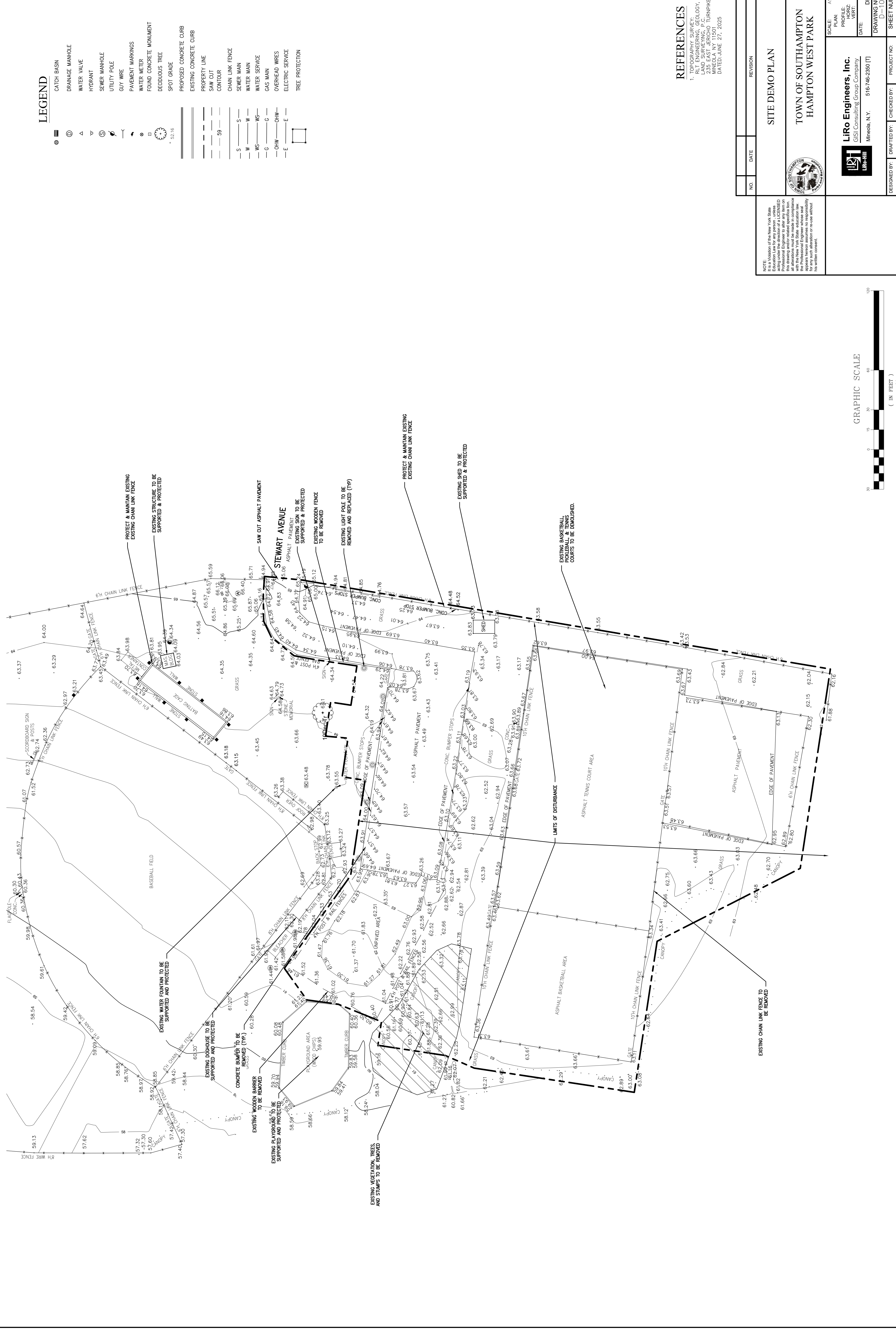
**Town of Southampton**  
Hampton West Park



**LiRo Engineers, Inc.**  
GIS/Consulting Group Company  
Mineola, N.Y. 516-746-2350 (T)

SCALE: AS SHOWN  
PLAN: AS SHOWN  
PROFILE: AS SHOWN  
VERT: AS SHOWN  
DATE: DEC 2025  
DRAWING NUMBER: D-100  
DESIGNED BY: CS  
DRAFTED BY: CS  
CHECKED BY: DL  
PROJECT NO.: 25-148-0427  
SHEET NUMBER: 03 OF 09

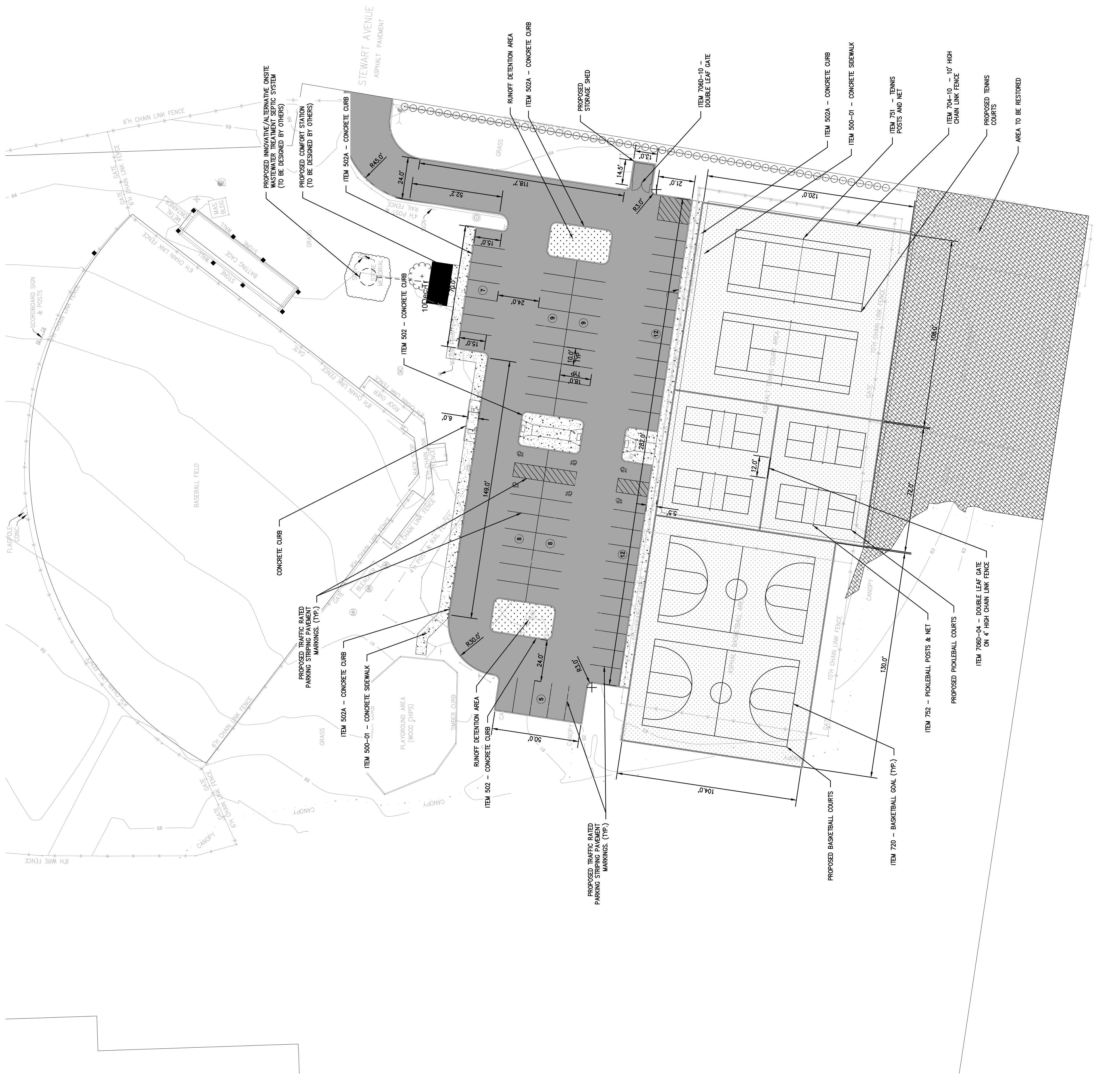
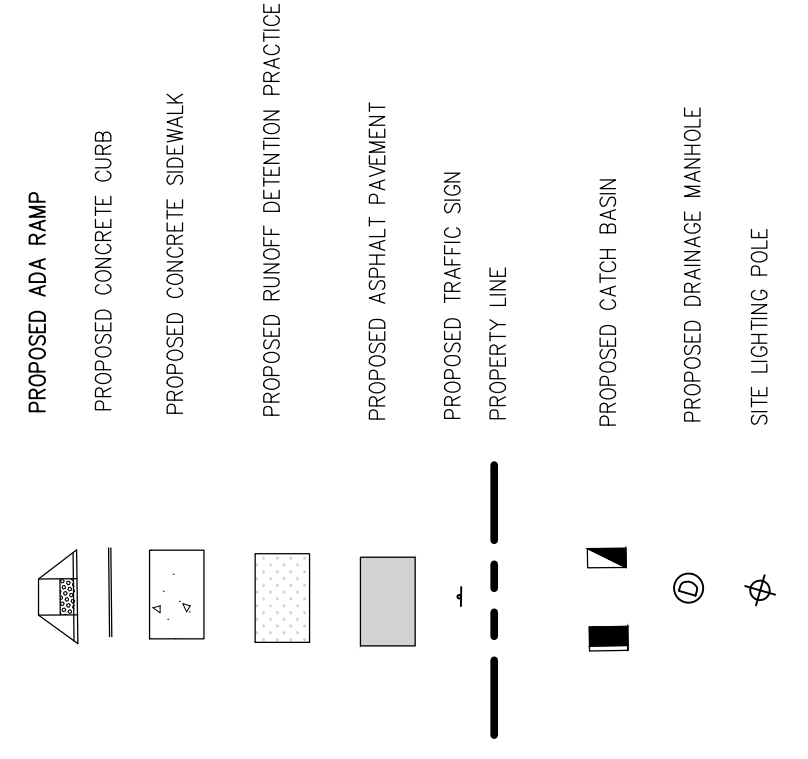
NOTE: This drawing is the property of the Professional Engineer whose seal and signature are required for any such alteration or reuse without his written consent.



**GENERAL SITE NOTES:**

1. THE ENGINEERS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF PUBLIC OR CONTRACTOR'S EMPLOYEES; OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST REQUIREMENTS OF THE TOWN, OR AS SPECIFIED HEREIN, WHERE APPLICABLE.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY FOR INSTALLATION OF ALL UTILITIES. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE UTILITY OR MUNICIPAL AGENCY HAVING JURISDICTION. CONTRACTOR SHALL COORDINATE THE REQUIRED UTILITY AND MUNICIPAL INSPECTIONS.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS NECESSARY AND FOR THE INSTALLATION OF SIGNS.
5. ALL ON-SITE WORK SHALL CONFORM TO THE TOWN STANDARD DETAILS AND SPECIFICATIONS, WHERE APPLICABLE.

**LEGEND**



**REFERENCES**

1. TOPOGRAPHY SURVEY: PLANNING, GEOLOGY, AND LAND SURVEYING, P.C. 235 EAST JERICHO TURNPIKE MINEOLA, NY 11501 DATED: JUNE 27, 2025

NO.	DATE	REVISION	BY

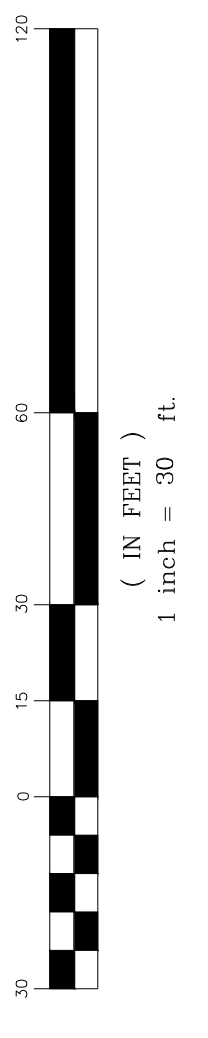
**SITE LAYOUT PLAN**

TOWN OF SOUTHAMPTON  
HAMPTON WEST PARK

SCALE: AS SHOWN  
PLAN: AS SHOWN  
PROFILE: HORIZ.  
VERT: VERT.  
DATE: DEC 2025  
DRAWING NUMBER: C-100  
DESIGNED BY: CS  
DRAFTED BY: CS  
CHECKED BY: DL  
PROJECT NO.: 25-148-0427  
SHEET NUMBER: 04 OF 09

NOTE: The Engineer of the New York State Education Law for any person, unless the drawing and/or related specification, all alterations must be made in compliance with the New York State Education Law. The Professional Engineer whose seal is used on this drawing is not responsible for any such alteration or re-use without his written consent.

**GRAPHIC SCALE**



**GRADING NOTES:**

1. THE VERTICAL DATUM IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

**LEGEND**

- EXISTING GRADE
- PROPOSED GRADE
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT
- PROPOSED ASPHALT DRIVE
- PROPOSED ASPHALT DRIVE
- PROPOSED ASPHALT DRIVE
- PROPOSED ASPHALT DRIVE




- REFERENCES**
1. TOPOGRAPHY SURVEY: PLANNING, GEOLOGY, AND LAND SURVEYING, P.C. 235 EAST JERICHO TURNPIKE MINEOLA NY 11501 DATED: JUNE 27, 2025

NO.	DATE	REVISION	BY

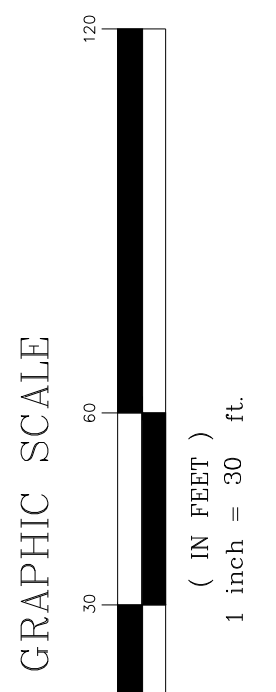
**SITE GRADING PLAN**

**TOWN OF SOUTHAMPTON  
HAMPTON WEST PARK**


**LiRo Engineers, Inc.**  
 GIS/Consulting Group Company  
 Mineola, N.Y. 516-746-2350 (T)

SCALE: AS SHOWN  
 PLAN: AS SHOWN  
 PROFILE: AS SHOWN  
 VERT: AS SHOWN  
 DATE: DEC 2025  
 DRAWING NUMBER: C-101  
 SHEET NUMBER: 05 OF 09

NOTE: This drawing is the property of the Town of Southampton, New York. It is to be used only for the project and site shown hereon. No part of this drawing may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of the Professional Engineer whose seal is on this drawing. Any use of this drawing for any other project or for any other purpose without the prior written consent of the Professional Engineer is strictly prohibited.



**GENERAL NOTES:**

1. PRIOR TO THE START OF ANY NEW WORK, THE CONTRACTOR SHALL PROVIDE A MARKOUT OF ALL EXISTING UTILITIES AND BENCH MARKS TO THE ENGINEER. ALL UTILITIES SHALL BE IDENTIFIED AND MARKED WITH RED AND WHITE FLAGGING. ALL UTILITIES SHALL BE DEPTH AND STRUCTURE IDENTIFIED AND MARKED WITH RED AND WHITE FLAGGING. ALL UTILITIES SHALL BE DEPTH AND STRUCTURE IDENTIFIED AND MARKED WITH RED AND WHITE FLAGGING.
2. THE CONTRACTOR SHALL ADVISE THE OWNER AND THE ENGINEER OF ANY POTENTIAL CONFLICTS PRIOR TO THE START OF ANY NEW WORK.
3. ELEVATIONS AND CONTOURS SHOWN ON THIS MAP REFER TO NAVD 1988

**DRAINAGE NOTES:**

1. THE CONTRACTOR SHALL FOLLOW MANUFACTURE RECOMMENDATIONS FOR ALL WORK RELATED TO LEACHING GALLEYS.
2. DRAINAGE PIPES SHALL BE MINIMUM 12" AND SHALL BE ADS-140 CORRUGATED POLYETHYLENE PIPE (C/P) MEETING THE STANDARDS AND INSTALLATION RECOMMENDATIONS OF ASTM F876 & 1400 AND THE MANUFACTURER UNLESS OTHERWISE SHOWN ON THE PLANS.
3. ALL DRAINAGE PIPES SHALL BE 10' MINIMUM COVER UNLESS OTHERWISE INDICATED.
4. IF 2" OF COVER CANNOT BE MAINTAINED THEN THE DRAINAGE PIPE SHALL BE DUCTILE IRON PIPE (DIP), CLASS 52 CEMENT LINED.
5. ALL DRAINAGE STRUCTURES SHALL BE 60" MINIMUM UNLESS OTHERWISE INDICATED.
6. ALL DRAINAGE STRUCTURES SHALL MEET THE TOWN STANDARDS.
7. REFERENCE BORING LOGS FOR SUBSURFACE CONDITIONS.
8. INTERCONNECTING PIPES TO EXISTING UTILITIES SHALL BE MINIMUM 18" TYPICAL.
9. ALL DRAINAGE STRUCTURES SHALL BE CLEANED AT THE END OF CONSTRUCTION.

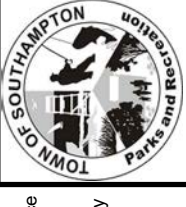
**REFERENCES**

1. TOPOGRAPHY SURVEY: PLANNING, ENGINEERING, GEOLOGY, AND LAND SURVEYING, P.C. 235 EAST JERICHO TURNPIKE MINEOLA, NY 11501 DATED: JUNE 27, 2025

NO.	DATE	REVISION	BY

**SITE DRAINAGE PLAN**

TOWN OF SOUTHAMPTON  
HAMPTON WEST PARK

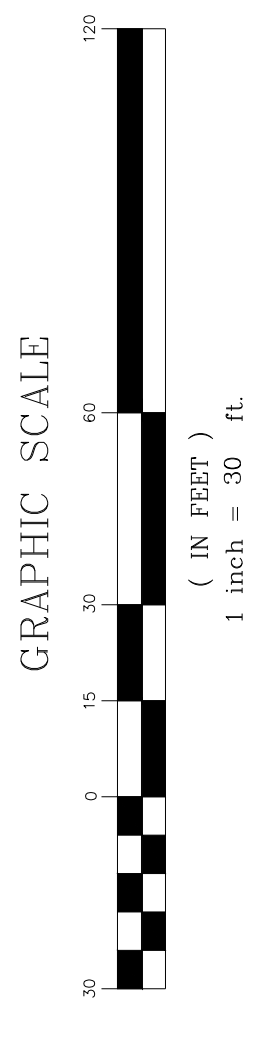


**LiRo Engineers, Inc.**  
GISI Consulting Group Company  
Mineola, N.Y. 516-746-2350 (T)



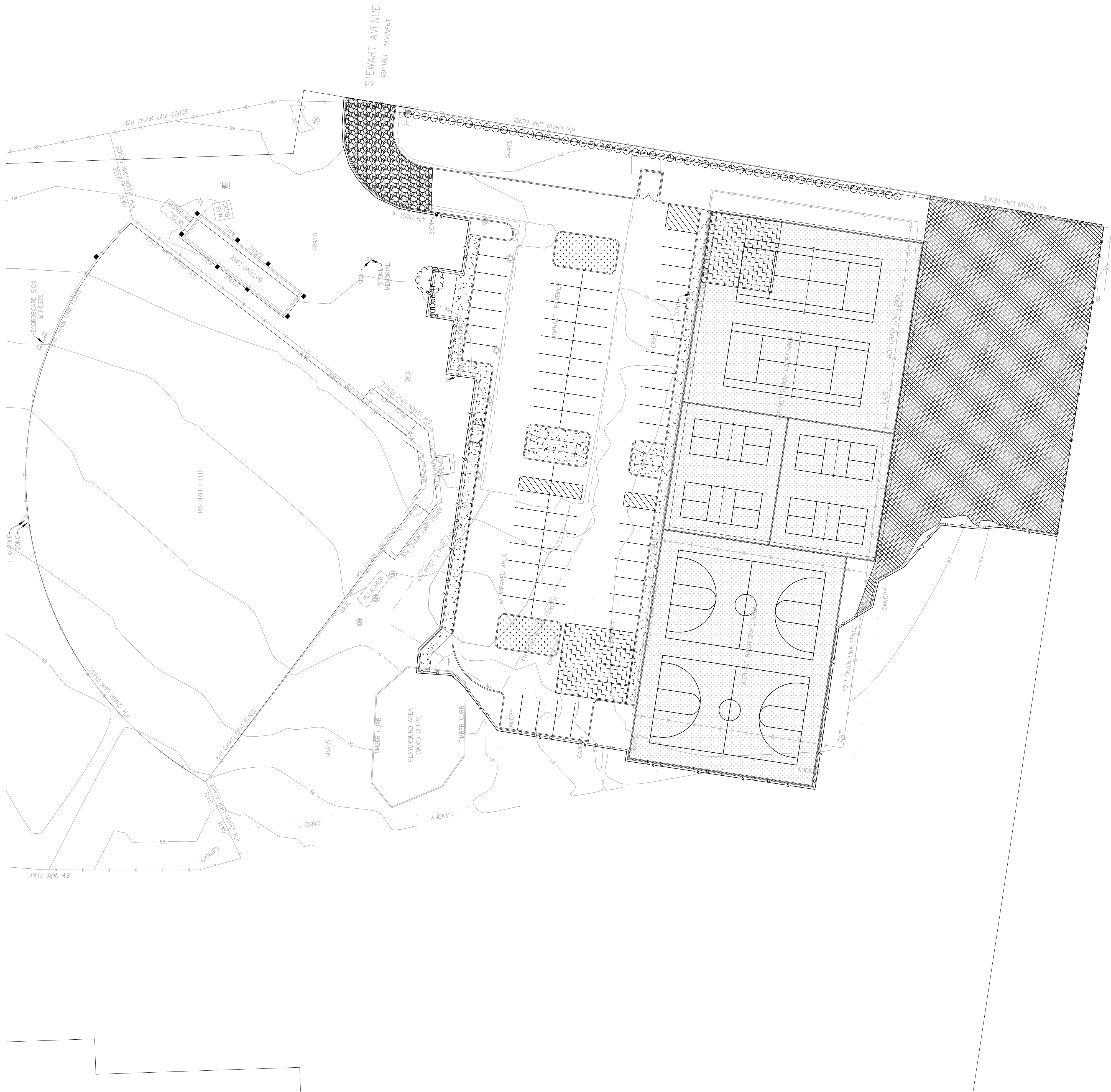
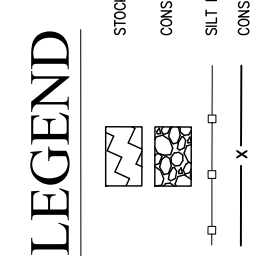
DESIGNED BY:	CS	DRAFTED BY:	CS	CHECKED BY:	DL	PROJECT NO.:	25-148-0427
DRAWING NUMBER:	C-102	SHEET NUMBER:	06	OF	09	DATE:	DEC 2025

NOTE: I, the undersigned, of the New York State Education Law for any person, unless acting under the direction of a LICENSED PROFESSIONAL ENGINEER, shall not be held responsible for any errors or omissions in this drawing and/or related specifications, all alterations made to this drawing shall be made in compliance with the provisions of the Professional Engineer whose seal and signature are required for any such alteration or reuse without his written consent.



**EROSION CONTROL MEASURES:**

1. DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING EROSION CONTROL MEASURES NECESSARY TO PREVENT THE TRANSPORT OF SEDIMENT TO OFF-SITE AREAS, DRAINAGE INLETS, ETC. ACTUAL EROSION CONTROL MEASURES WILL BE DICTATED BY FIELD CONDITIONS AS CONSTRUCTION PROGRESSES AND AS DIRECTED BY THE ENGINEER. THE FOLLOWING CONDITIONS SHALL BE OBSERVED.
  - A. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AND REMAIN UNDISTURBED. PROVIDE CONSTRUCTION FENCE ALONG THE PERIMETER OF ALL EXPOSED AREAS.
  - B. CLEARING AND GRADING SHALL BE SCHEDULED SO AS TO MINIMIZE THE SIZE OF EXPOSED AREAS AND THE LENGTH OF TIME THAT AREAS ARE EXPOSED.
  - C. THE LENGTH AND STEEPNESS OF CLEARED SLOPES SHALL BE MINIMIZED TO REDUCE RUNOFF VELOCITIES.
  - D. SEDIMENT SHALL BE TRAPPED ON THE SITE.
  - E. SPECIFIC METHODS AND MATERIALS EMPLOYED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES SHALL CONFORM TO THE "NEW YORK GUIDELINES FOR EROSION AND SEDIMENT CONTROL."
2. ALL SILT FENCES AND STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO ANY GRADING WORK ALONG THE LIMITS OF DISTURBANCES AND SHOULD BE MAINTAINED FOR THE DURATION OF THE WORK. NO SEDIMENT SHALL BE PERMITTED TO ENTER ANY DRAINAGE INLET OR WATER COURSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ALL PAVED SURFACES (ROADWAYS, PARKING FIELDS, ETC.) CLEAN FOR THE DURATION OF THE CONTRACT. ALL MATERIALS SPILLED, DROPPED, WASHED OR TRACKED ONTO THE PAVED SURFACES BY THE CONTRACTOR SHALL BE REMOVED IMMEDIATELY.
3. GRADED AND STRIPPED AREAS AND STOOPLES SHALL BE KEPT STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AS REQUIRED. SEED MIXTURES SHALL BE IN ACCORDANCE WITH SOIL CONSERVATION SERVICE RECOMMENDATIONS. WHEN SEEDING IS REQUIRED, THE CONTRACTOR SHALL MAINTAIN THE SEEDING AREA FOR A MINIMUM OF 14 DAYS. IN THIS CASE, THE CONTRACTOR SHALL STABILIZE THE AREA IF THE SEASON IS NOT APPROPRIATE FOR TURF ESTABLISHMENT. IN THIS CASE, THE CONTRACTOR SHALL STABILIZE WITHIN 14 DAYS OF COMPLETING THE FINAL GRADING, WITH HAY OR STRAW MULCH, OR OTHER APPROVED OR SPECIFIED MEANS UNTIL TURF ESTABLISHMENT CAN BE COMPLETED.
4. DRAINAGE INLETS INSTALLED AS PART OF THE PROJECT SHALL BE PROTECTED FROM SEDIMENT BUILDUP THROUGH THE USE OF SEDIMENT BARRIERS, SEDIMENT TRAPS, ETC. AS REQUIRED. CONTROLS SHALL REMAIN IN PLACE UNTIL THE DISTURBED AREAS DRAINING TO THE INLET HAVE BEEN STABILIZED BY EITHER PAVING, SEEDING, OR SLOPE PROTECTION.
5. PROPER MAINTENANCE OF EROSION CONTROL MEASURES IS TO BE PERFORMED BY THE CONTRACTOR AS INDICATED BY PERIODIC INSPECTION AND AFTER HEAVY OR PROLONGED STORMS. MAINTENANCE MEASURES INCLUDE, BUT ARE NOT LIMITED TO: REPAIR OF BARRIERS, SEDIMENT TRAPS, SEDIMENT BARRIERS, SEDIMENT BARRIERS, CLEANING AND REPAIR OF BARRIERS AND DIVERSIONS AND CLEANING AND REPAIR OF INLET PROTECTION.
6. APPROPRIATE MEANS SHALL BE USED TO CONTROL DUST DURING CONSTRUCTION.
7. A. STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO PREVENT SOIL AND LOOSE DEBRIS FROM BEING TRACKED ONTO LOCAL ROADS. THE CONSTRUCTION ENTRANCE SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED.
  - B. SEDIMENT BARRIERS AND OTHER EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL UPLAND DISTURBED AREAS HAVE BEEN STABILIZED AND NEARBY PAVED AREAS SHALL BE CLEANED AND DRAINAGE SYSTEMS CLEANED AND FLUSHED AS NECESSARY.
9. IN ALL CASES, REMEDIATION MEASURES, NECESSARY FOR PROTECTION OF THE PROPERTIES, WILL BE REQUIRED, UNLESS THE PUMP DISCHARGE IS CLEAR AND FREE OF SEDIMENT. THE LOCATION AND DESIGN OF THIS EROSION CONTROL METHOD SHALL BE PREPARED BY THE CONTRACTOR, AT NO ADDITIONAL EXPENSE TO THE OWNER, AND THEN REVIEWED AND APPROVED BY THE ENGINEER, PRIOR TO ITS IMPLEMENTATION.
10. TEMPORARY SOIL EROSION AND WATER POLLUTION CONTROL MEASURES INDICATED ON THIS PLAN SHALL BE CONSIDERED AS THE MINIMUM REQUIRED.
11. INLET PROTECTION TO BE PROVIDED FOR ALL OFF-SITE DRAINAGE INLETS WITHIN 500 FEET OF SUBJECT PROPERTY. ONLY FILTER BAG DROP INLET PROTECTION MAY BE USED ON ALL EXISTING OFF-SITE DROP INLETS.
12. INLET PROTECTION IS TO BE PROVIDED AT ALL ON-SITE STORMWATER INLETS AS THE DRAINAGE STRUCTURES ARE INSTALLED. CONTRACTOR MAY USE EITHER OF THE TWO (2) DETAILED TYPES OF DROP INLET PROTECTION ON THE PROPOSED, ON-SITE DROP INLETS.
13. LOCATIONS OF STOOPLES, CONSTRUCTION ENTRANCES, SILT FENCE, CONSTRUCTION TRAILERS, CONCRETE WASHOUTS, ETC. ARE SHOWN SCHEMATICALLY. THE CONTRACTOR IS TO FINALIZE THE LOCATIONS OF ALL EROSION CONTROL MEASURES IN THE FIELD. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ADEQUATE LEVELS OF EROSION AND SEDIMENT CONTROL ARE MET.
14. SILT FENCE IS TO BE INSTALLED AT THE PERIMETER OF ALL STOCK PILES AT THE TOE OF SLOPE. THIS SILT FENCE IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE STOCK PILE.



- REFERENCES**
1. TOPOGRAPHY SURVEY: PLANNING, GEOLOGY, AND LAND SURVEYING, P. 235 EAST JERICHO TURNPIKE, MINEOLA, NY 11501, DATED: JUNE 27, 2025

NO.	DATE	REVISION	BY

**EROSION CONTROL PLAN**

**TOWN OF SOUTHAMPTON  
HAMPTON WEST PARK**

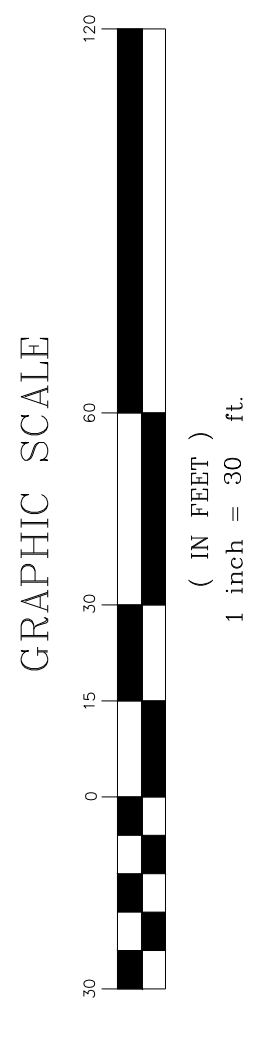
**LiRo Engineers, Inc.**  
GISI Consulting Group Company  
Mineola, N.Y. 516-746-2350 (T)

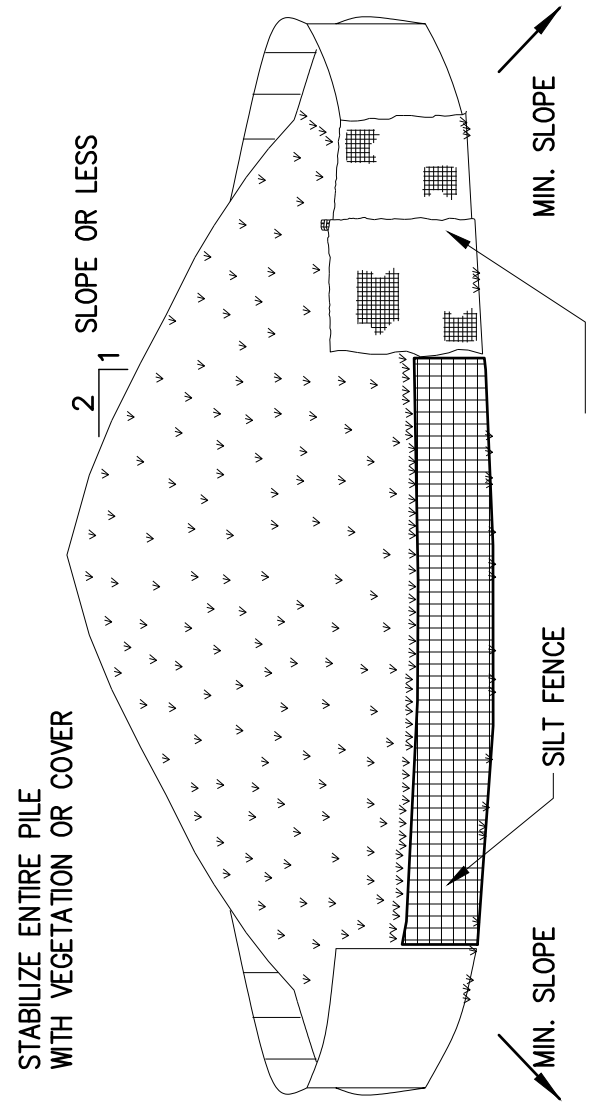
SCALE: AS SHOWN  
PLAN: PROFILE  
HORIZ: VERT.

DATE: DEC 2025  
DRAWING NUMBER: ESC-100  
SHEET NUMBER: 08 OF 09

DESIGNED BY: CS    DRAFTED BY: CS    CHECKED BY: DL    PROJECT NO.: 26-148-0427

NOTE: The Engineer of the New York State Education Law for any profession, unless the drawing and/or related specifications, all alterations must be made in compliance with the Professional Engineer whose seal, signature and stamp are required for any such alteration or re-use without his written consent.

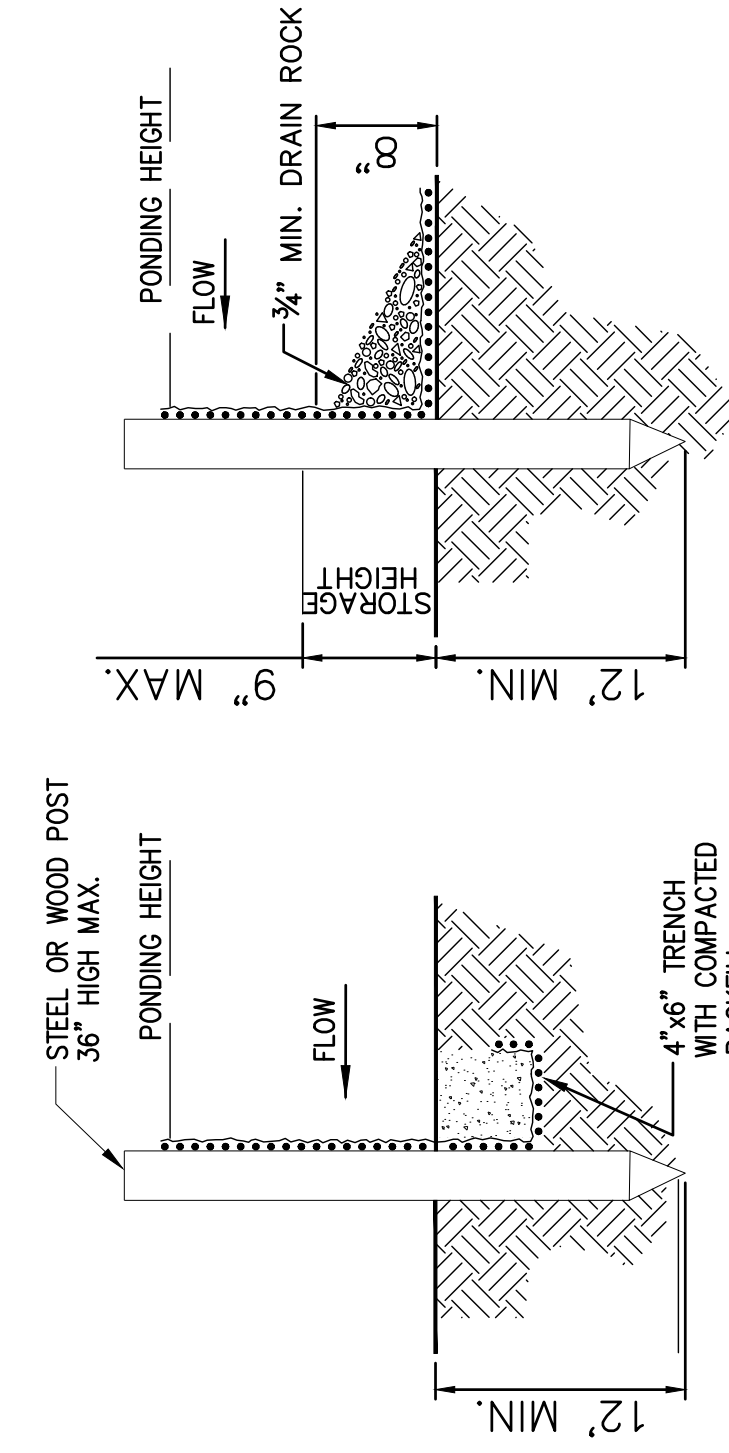
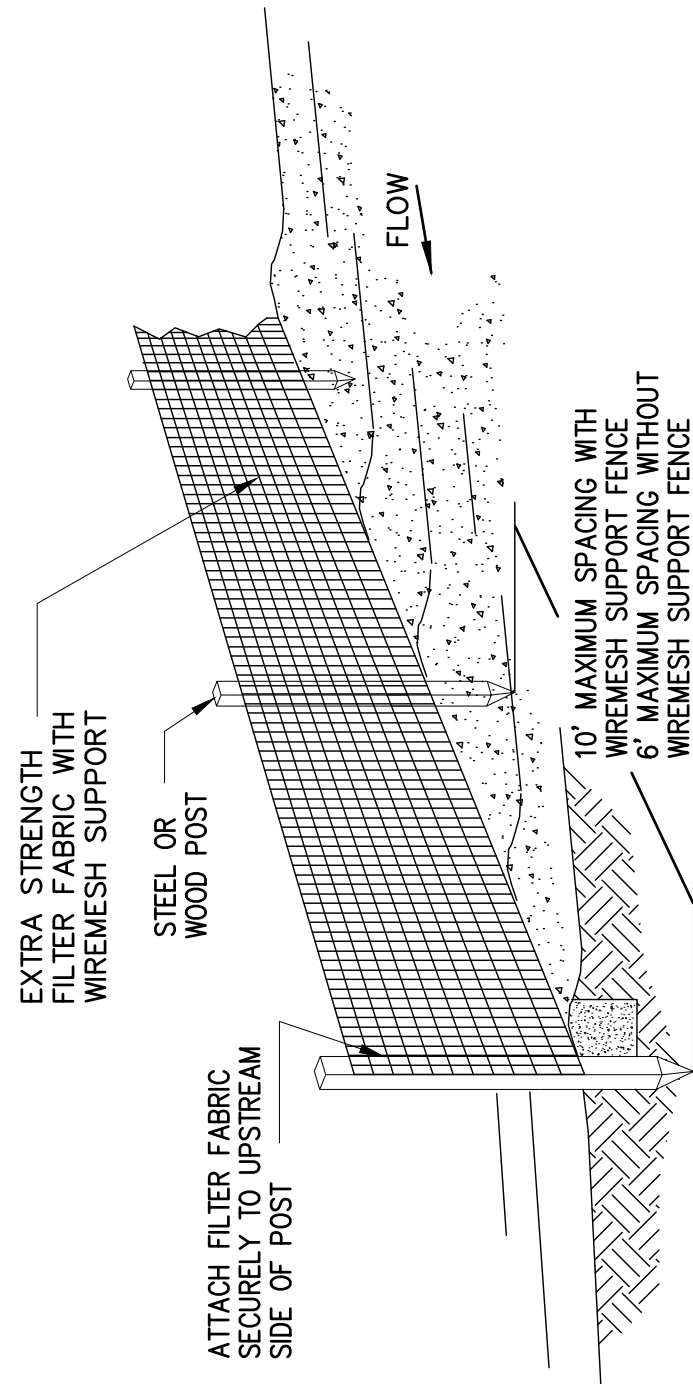
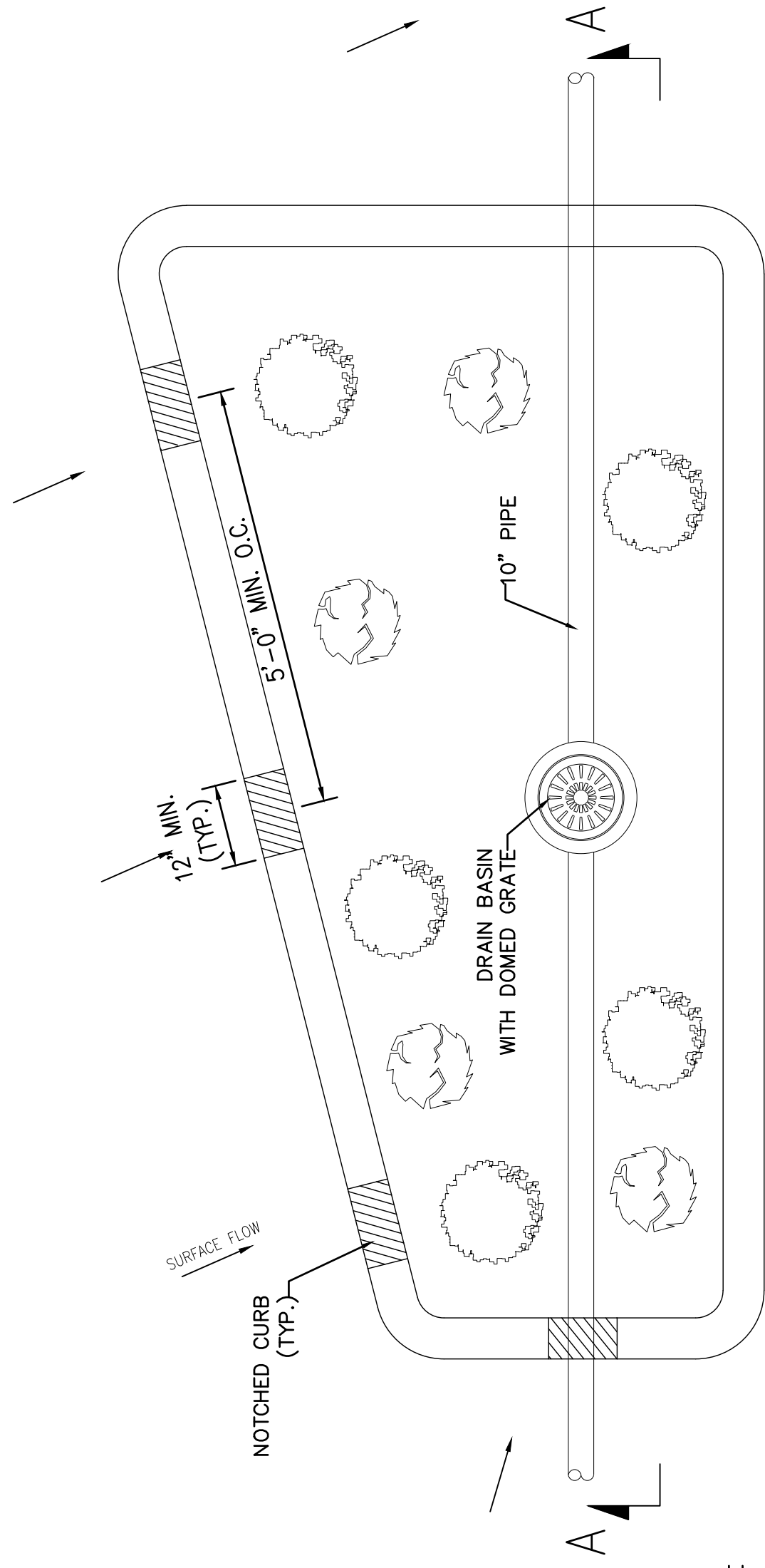




## 2 SOIL STOCKPILE PROTECTION

### INSTALLATION NOTES

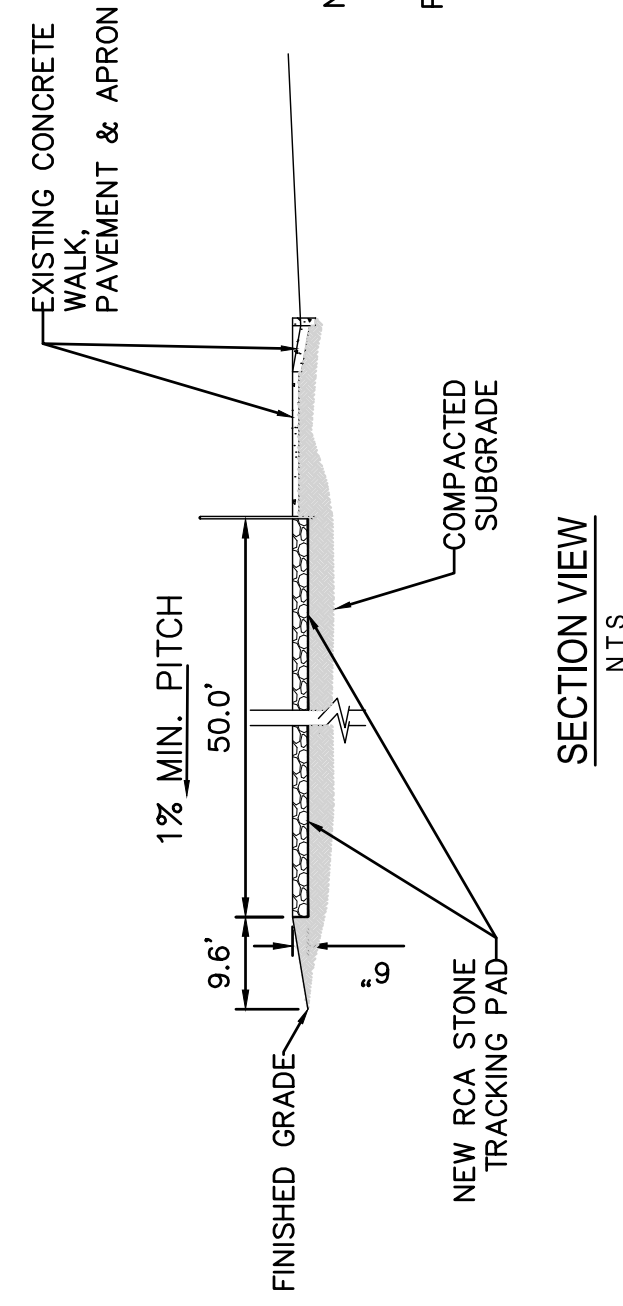
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 1:2.
3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED. COST OF STABILIZATION TO BE INCLUDED IN VARIOUS CONTRACT ITEMS.
4. SEE DETAILS THIS SHEET FOR INSTALLATION OF SILTFENCE & HAYBALES.
5. THE CONTRACTOR SHALL COORDINATE THE LOCATION OF ALL SOIL STOCKPILES WITH THE ENGINEER.



### 1 SILT FENCE DETAIL

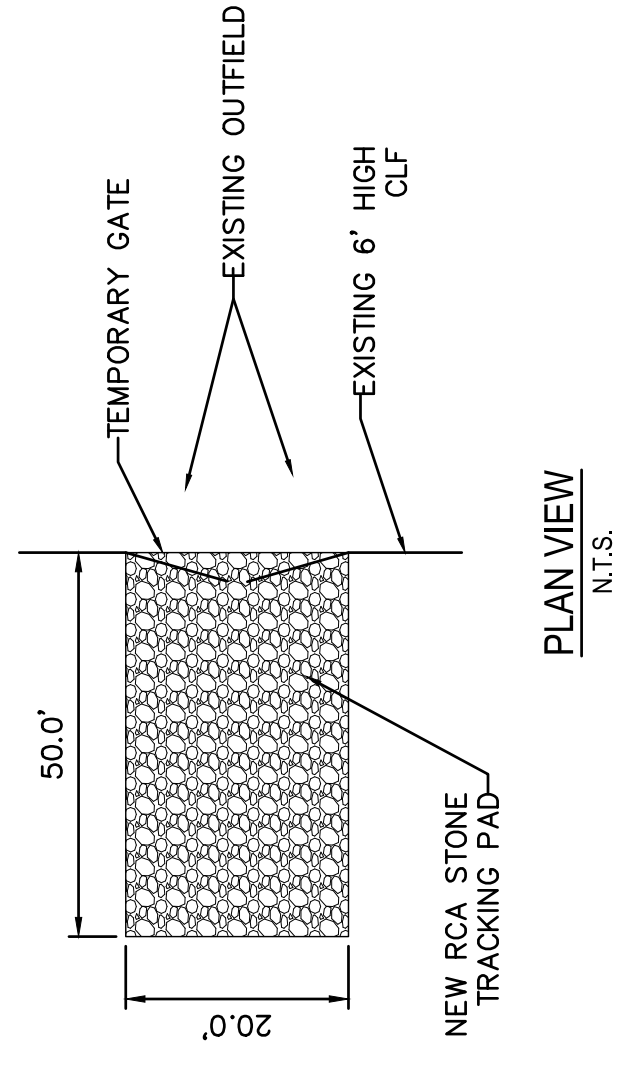
#### SILT FENCE NOTES:

1. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.
2. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY. 6\"/>



### SECTION VIEW

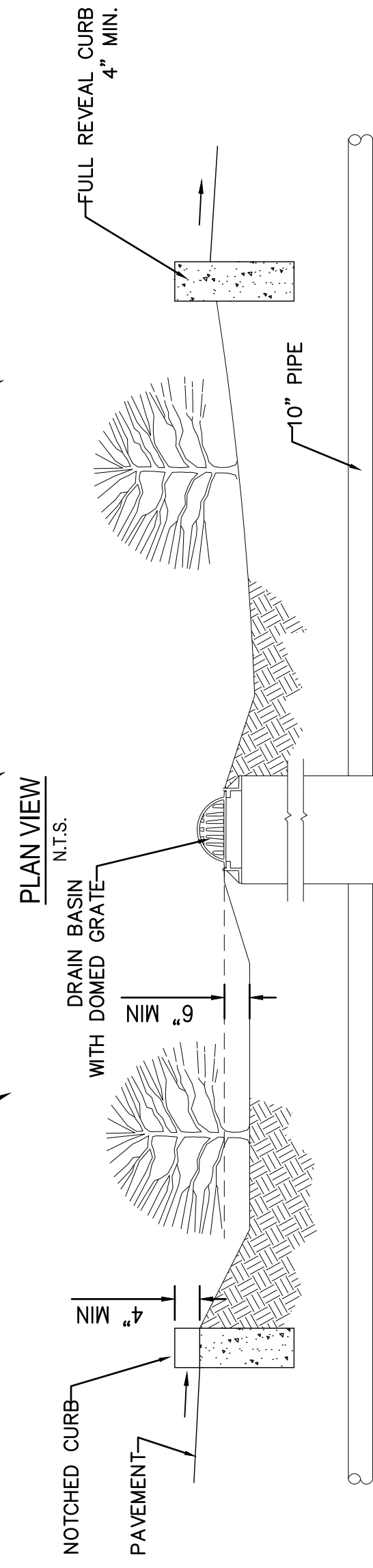
N.T.S.



### PLAN VIEW

N.T.S.

## 3 STABILIZED CONSTRUCTION ENTRANCE



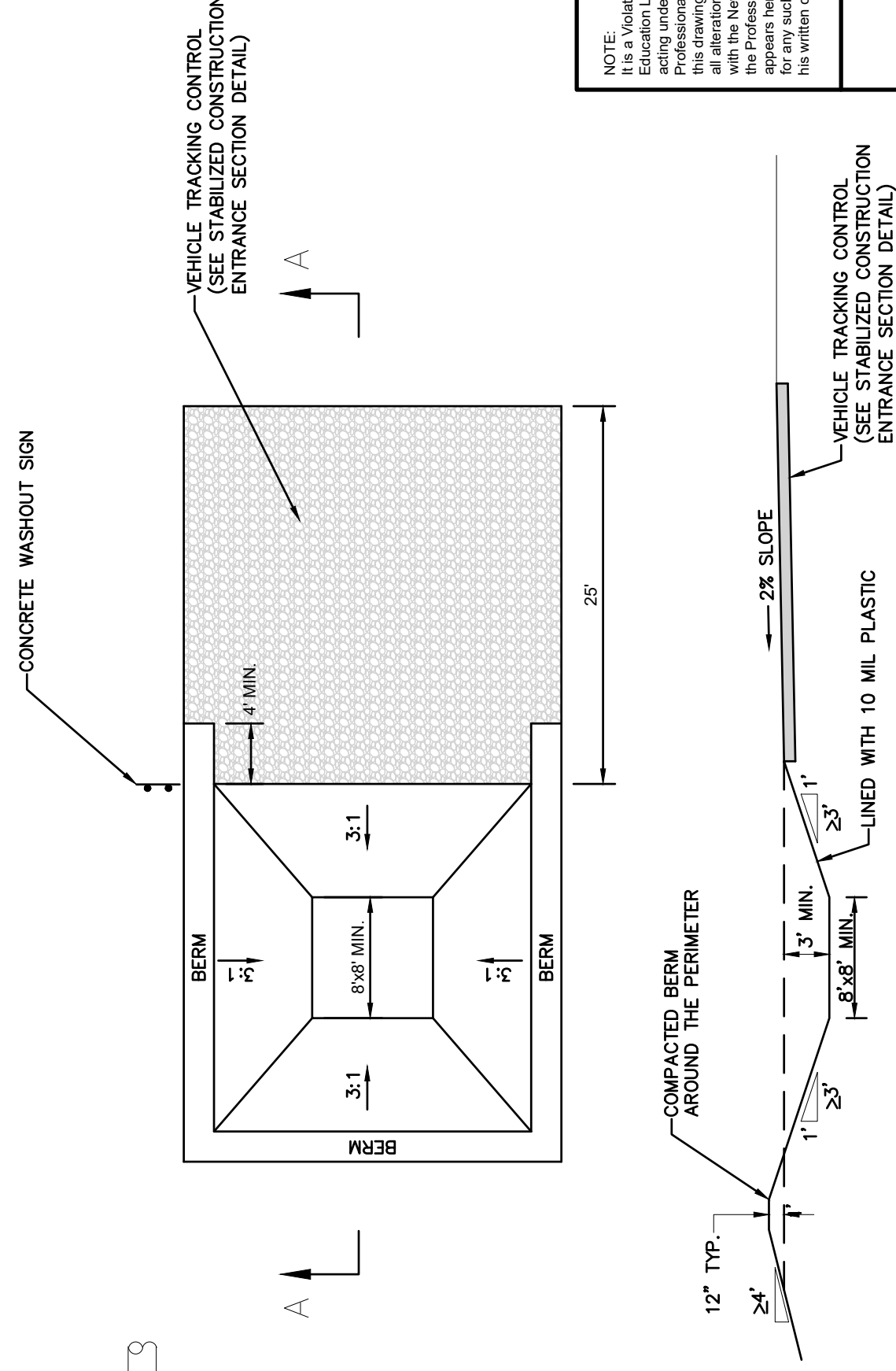
### PLAN VIEW

N.T.S.

### SECTION A-A

N.T.S.

## 4 RUNOFF DETENTION DETAIL



### SECTION A-A

N.T.S.

## 5 CONCRETE WASHOUT AREA (CWA) DETAIL

1. DURING THE COURSE OF CONSTRUCTION, EROSION AND SEDIMENT CONTROL MEASURES WILL BE REQUIRED TO PREVENT THE TRANSPORT OF SEDIMENT TO OFF-SITE AREAS, SWALE, DRAINAGE INLETS, RECHARGE BASINS, ETC. ACTUAL EROSION CONTROL MEASURES WILL BE DICTATED BY FIELD CONDITIONS AS CONSTRUCTION PROGRESSES, BUT THE FOLLOWING GENERAL CONDITIONS SHALL BE OBSERVED.
  - A. EXISTING VEGETATION TO REMAIN SHALL BE PROTECTED AND REMAIN UNDISTURBED
  - B. CLEARING AND GRADING SHALL BE SCHEDULED SO AS TO MINIMIZE THE SIZE OF EXPOSED AREAS AND THE LENGTH OF TIME THAT AREAS ARE EXPOSED.
  - C. THE LENGTH AND STEEPNESS OF CLEARED SLOPES SHALL BE MINIMIZED TO REDUCE RUNOFF VELOCITIES.
  - D. RUNOFF SHALL BE DIVERTED AWAY FROM CLEARED SLOPES.
  - E. SEDIMENT SHALL BE TRAPPED ON THE SITE.

SPECIFIC METHODS AND MATERIALS EMPLOYED IN THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL MEASURES SHALL CONFORM TO THE "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", DATED NOVEMBER 2016, LOCAL REQUIREMENTS AND AS SHOWN ON PLAN.

2. SEDIMENT BARRIERS (SILT FENCE OR APPROVED EQUAL) SHALL BE INSTALLED PRIOR TO ANY GRADING WORK ALONG THE LIMITS OF DISTURBANCES AND SHALL BE MAINTAINED FOR THE DURATION OF THE WORK. NO SEDIMENT FROM THE SITE SHALL BE PERMITTED TO WASH ONTO ADJACENT PROPERTIES, SWALES, RECHARGE BASINS OR ROADS.

3. GRADED AND STRIPPED AREAS AND STOCKPILES SHALL BE KEPT STABILIZED THROUGH THE USE OF TEMPORARY SEEDING AS REQUIRED. SEED MIXTURES SHALL BE IN ACCORDANCE WITH NYSDEC RECOMMENDATIONS AND "NEW YORK STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL", DATED NOVEMBER 2016, REQUIREMENTS.

4. RUNOFF STORAGE AREAS INSTALLED AS PART OF THE PROJECT SHALL BE PROTECTED FROM SEDIMENT BUILDUP THROUGH THE USE OF SEDIMENT BARRIERS, SEDIMENT TRAPS, ETC., AS REQUIRED.

5. PROPER MAINTENANCE OF EROSION CONTROL MEASURES IS TO BE PERFORMED AS INDICATED BY PERIODIC INSPECTION NOT LESS THAN EVERY 7 DAYS. MAINTENANCE MEASURES INCLUDE, BUT ARE NOT LIMITED TO, CLEANING OF SEDIMENT BASINS OR TRAPS, CLEANING OR REPAIR OF SEDIMENT BARRIERS, CLEANING AND REPAIR OF BERMS AND CLEANING AND REPAIR OF INLET PROTECTION.

6. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE MAINTAINED TO PREVENT SOIL AND LOOSE DEBRIS FROM BEING TRACKED ONTO LOCAL ROADS. CONSTRUCTION VEHICLES SHALL BE MAINTAINED ON THE SITE IS PERMANENTLY STABILIZED. ANY SEDIMENT TRACKED OFF-SITE SHALL BE IMMEDIATELY CLEARED FROM THE ROADWAY AS REQUIRED.

7. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE, OR IN THEIR PROPER SEQUENCE, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.

8. ANY DISTURBED AREAS THAT WILL NOT RECEIVE PERMANENT RESTORATION WITHIN TEN (10) DAYS AFTER FINAL GRADING, AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, SHALL IMMEDIATELY RECEIVE A TEMPORARY COVER. THE DISTURBED AREAS SHALL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS AND IN ACCORDANCE WITH THE SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY GP-0-20-001 OR AS AMENDED. TEMPORARY STABILIZATION MEASURES MUST BE INSTALLED BY THE CONTRACTOR ON ANY EXPOSED SOILS THAT WILL NOT BE DISTURBED AGAIN WITHIN 14 CALENDAR DAYS OF THE PREVIOUS SOIL DISTURBANCE.

9. PERMANENT VEGETATION SHALL BE SEEDED ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING. MULCH SHALL BE USED AS NECESSARY FOR PROTECTION UNTIL SEEDING IS ESTABLISHED.

10. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE COVER.

11. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO MAINTAIN DUST CONTROL. VEHICLES SHALL BE CLEANED, AS NECESSARY, PRIOR TO USING PUBLIC STREETS. PAVED ROADS SHALL BE SPRINKLED WITH WATER.

12. ALL UTILITIES AND CATCH BASIN INLETS MUST BE PROTECTED PRIOR TO START OF CONSTRUCTION.

13. THE CONTRACTOR SHALL PROVIDE A DETAILED SEQUENCE OF CONSTRUCTION OPERATIONS FOR REVIEW AND SUBMITTAL TO THE OWNER'S REPRESENTATIVE PRIOR TO THE START OF CONSTRUCTION ACTIVITIES.

14. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE WHERE POSSIBLE PRIOR TO, OR IMMEDIATELY FOLLOWING SITE AND ACCESS CLEARING.

15. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE AND MAINTAINED, INCLUDING SILT AND SEDIMENT REMOVAL, UNTIL CONSTRUCTION IS COMPLETED, AREA IS STABILIZED AND THE OWNER'S REPRESENTATIVE SO DIRECTS.

16. THE CONTRACTOR SHALL CONFINE SOIL DISTURBANCE ACTIVITY TO THE AREAS CONTAINED WITHIN THE LIMITS OF THE PROJECT SITE, EXCEPT AS DIRECTED BY THE OWNER'S REPRESENTATIVE.

17. THE PROJECT MUST BE COMPLETED WITHIN THE TIME ALLOTTED AS SPECIFICALLY DESCRIBED IN THE CONTRACT DOCUMENTS.

18. SOIL STABILIZATION METHODS SHALL BE UNDERTAKEN COINCIDENTALLY WITH ALL MAJOR SITE IMPROVEMENTS AND CONTINUE DURING THE ENTIRE CONSTRUCTION ACTIVITY PERIOD.

19. COIR LOGS OR EQUIVALENT SHALL BE INSTALLED AT THE CONSTRUCTION ENTRANCE/EXIT AT THE END OF THE WORKDAY PENDING A SIGNIFICANT RAIN EVENT.

20. CONTRACTOR IS RESPONSIBLE FOR PERFORMING DAILY SELF-INSPECTIONS AND ADHERING TO ALL SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITY GP-0-20.001.

21. A TEMPORARY FENCE SHALL BE MAINTAINED TO MINIMIZE DISTURBANCE AND RESTORATION OF SOIL AND LOOSE DEBRIS FROM BEING TRACKED FROM THE LOCAL ROADS. THE TEMPORARY FENCE SHALL BE MAINTAINED UNTIL THE SITE IS PERMANENTLY STABILIZED. ANY SEDIMENT TRACKED OFF-SITE SHALL BE IMMEDIATELY CLEARED FROM THE ROADWAY AS REQUIRED.

NOTE: The Professional Engineer of the New York State Education Law for any profession, unless otherwise indicated, shall be responsible for the design and construction of all alterations made to the original design. The Professional Engineer whose seal is used on this drawing certifies that the design and construction of all alterations made to the original design are in accordance with the applicable laws and regulations for any such alteration or use without his written consent.

NO.	DATE	REVISION	BY

**EROSION CONTROL DETAILS**

**TOWN OF SOUTHAMPTON  
HAMPTON WEST PARK**

**LiRo Engineers, Inc.**  
GISI Consulting Group Company  
Mineola, N.Y. 516-746-2350 (T)

SCALE: AS SHOWN  
PLAN: AS SHOWN  
PROFILE: AS SHOWN  
VERT: AS SHOWN  
DATE: DEC 2025  
DRAWING NUMBER: ECC-101  
SHEET NUMBER: 09 OF 09

DESIGNED BY: CS    DRAFTED BY: CS    CHECKED BY: DL    PROJECT NO.: 25-148-0427  
SHEET NUMBER: 09 OF 09



HAMPTON WEST PARK  
700 STEWART AVENUE  
WESTHAMPTON, NY 11977

DATE: FEB 4, 2026

DRAWN BY: DLB

SCALE: 1" = 10'-0"

REVISIONS:

SHEET NO.

1

PLANT LIST - TREES, SHRUBS, AND SEDGES

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES
82	PIR	PINUS RIGIDA	PITCH PINE	1-2 FT/1 GALLON	15' O.C.	PLANT IN GRID AS PER PLAN
57	MOP	MYRICA PENNSYLVANICA	NORTHERN BAYBERRY	5 GALLON	5' O.C.	PLANT IN HEDGE LINE
159	VAN	VACCINIUM ANGUSTIFOLIUM	LOWBUSH BLUEBERRY	2 GALLON	4' O.C.	CLUSTERED AS PER PLAN
4,250	CAP	CAREX PENNSYLVANICA	PENNSYLVANIA SEDGE	2 - 3" PLUG	12" O.C.	CLUSTERED

SPORTS COURTS

LIMIT OF PROPOSED REDEVELOPMENT

HEAVY VEGETATION

REVEGETATED AREA

PROPERTY LINE

57 MOP

82 PIR

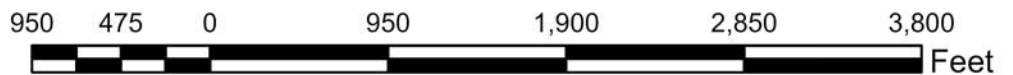
159 VAN

4,250 CAP

REVEGETATION PLAN



Central Pine Barrens Commission  
Hampton West Park Core Hardship Waiver  
March 18, 2026  
Public Hearing





## Town of Southampton

6 NEWTOWN ROAD  
HAMPTON BAYS, NEW YORK 11946

PARKS & RECREATION DEPARTMENT

Telephone (631) 728-8585

**KRISTEN M. DOULOS**  
Town Parks Director

**DERRYL L. BAUMER JR.**  
Assistant Town Parks Director

**GINA D'AMARO**  
Asst. Superintendent of Recreation

**JONATHAN O. ERWIN**  
Parks Maintenance Supervisor

---

**January 12, 2026**

MEMO:

**To: Central Pine Barrens Joint Planning & Policy Commission**  
Commission Members

**From: Kristen M. Doulos**  
Town Parks Director

**Subject: Town of Southampton, Hampton West Park**  
Hardship Waiver for Court Replacement and Parking Lot Expansion

The Town of Southampton is requesting a hardship waiver for redevelopment at Hampton West Park in Westhampton Beach.

The existing park was deeded to the town in 1983, with the original courts being constructed prior to that, sometime in 1978. Since then the location and size of the existing courts has remained the same with minor changes. Those changes included several resurfacings and a restriping of two original tennis courts to make basketball courts. In 2022 and 2023, at the request of community members, the town resurfaced and restriped two additional tennis courts for use as four pickleball courts.

For nearly five decades this park has served the needs of the local community with softball, soccer, tennis, basketball, and now pickleball courts. The proposed redevelopment presents a compelling need to maintain the existing infrastructure while making sure that the park meets the needs of accessibility and functionality. The existing courts are not designed to current standards for proper accessibility, and the existing parking lot is no longer able to meet the current park demands. For these reasons we are applying for a hardship waiver to allow for a minimal clearing of approximately 1/10 of an acre. In perpetuity the town will also revegetate approximately 4/10 of an acre to offset the proposed clearing.

If the Town is unable to improve this facility as prescribed, it would be a detriment to the community.

# TOWN OF SOUTHAMPTON

Department of Land Management  
116 HAMPTON ROAD  
SOUTHAMPTON, NY 11968



JANICE SCHERER  
TOWN PLANNING AND  
DEVELOPMENT ADMINISTRATOR

Phone: (631) 702-1800

MARIA Z. MOORE  
TOWN SUPERVISOR

---

February 3, 2026

Central Pine Barrens Joint Policy and Planning Commission  
624 Old Riverhead Road  
Westhampton Beach, NY 11978

Re: **Conformance to Hardship Waiver Criterial of ECL 57-0123(3)(b)**  
**Town of Southampton –Parks and Recreation Department**  
**Hampton West Park**  
**700 Stewart Avenue, Westhampton**  
**SCTM No.: 900-308-4-1.3**

Dear Commissioners:

The Town of Southampton is seeking a hardship exemption to allow additional clearing within the Core Preservation Area, pursuant to NYCRR ECL57-0121(10)(b) and (c), in order to rehabilitate the pre-existing Town park facility known as “Hampton West”. The park is a community resource and is in need of re-construction and re-configuration of existing sports courts; formalization of the parking area for ADA and safety purposes; and construction of a comfort station with associated innovative/alternative on-site wastewater treatment system (I/A OWTS). The requested hardship is to facilitate the aforementioned site improvements. Impacts from the additional vegetation removal will be mitigated by restoring a larger, denuded area with appropriate native plant species so that there is no net loss of vegetation. The park is located within the Core Preservation Area at 700 Stewart Avenue, in the hamlet of Westhampton. Set forth below, the Town will outline how the project complies with the exemption criteria:

*ECL57-0121(10)(b):*

- i. The proposed development will serve an essential health or safety need of the municipalities in the Central Pine Barrens such that the public health and safety require the requested waiver, that the public benefits from the proposed use are of a character that overrides the importance of the protection of the core preservation area as established in this title, that the proposed use is required to serve existing needs of the residents, and that no feasible alternatives exist outside the core preservation area to meet the established public need and that no better alternatives exist within the county.*

***Response:***

As shown on the 1994 aerial photograph (attached), the park facility and associated clearing pre-dates the adoption of the Long Island Central Pine Barrens Comprehensive Land Use Plan (CLUP). Presently, Hampton West is the only park

facility, excluding school facilities that provides for active recreation for the hamlets of Westhampton and Speonk-Remsenburg. A community recreational needs assessment was completed as part of the 2003 "*Southampton Recreation Plan*". The plan determined that existing ratio of 1.85 acres of active parkland/1,000 people (inclusive of adjusted summer population) was well below the recommended 10-acres/1,000 people recommended by the National Park Service. Based on the 2003 plan, the Westhampton and Speonk-Remsenburg communities required an additional 45 to 123 acres of additional parkland to meet Level of Service recommendations outline by the National Park Service. Specifically, the plan notes that the Speonk-Remsenburg and Westhampton communities require a minimum of 7 public tennis courts and 7 public basketball courts, as well as 18 acres of devoted field games (soccer/baseball) to meet demand. Moreover, the Town of Southampton experienced 21% increase in population between 2010 and 2020 (see [Suffolk Times article](#)). While the proposed park rehabilitation does not reduce the public need for additional active recreation facilities, it enhances the park's current usability by providing safe and formalized parking areas; reconstructed courts (also a safety issue); and proper sanitary facilities that are designed with a denitrification system so as not to impact groundwater quality. Town officials such as the Parks Director and Assistant Public Parks Director have certified and submit to the Commission that there is a compelling public need to refurbish the existing park (see attached memorandum dated January 12, 2026) and loss of parkland in this location would be a detriment to the local community that has utilized the park

The Commission should note that the Parks and Recreation Department has submitted a NYS office of Parks, Recreation and Historic Preservation Environmental Protection Fund Grant for the proposed work in spring 2025, whereby the bat clearing window ends by March 1st. As part of the grant process, their office obtained several letters of support from the Village of Westhampton, not-for-profits, and surrounding residential community, which have been attached for your consideration.

- ii. *The proposed development constitutes an adaptive reuse of an historic resource designated by the commission and said reuse is the minimum relief necessary to ensure the integrity and continued protection of the designated historic resource and further that the designated historic resource's integrity and continued protection cannot be maintained without the granting of a permit.*

***Response.***

N/A. While park pre-dates the adoption of the CLUP, it does not contain any existing historic resources.

*ECL57-0121(10)(c):*

- i. *The granting of the permit will not be material detrimental or injurious to other property or improvements in the area in which the subject property is located, increase the danger of fire, endanger public safety or result in substantial impairment of the resources of the core preservation area.*

**Response:**

The proposed improvements, supported by the additional revegetation efforts and the documented need for the site enhancements, will not be materially detrimental or injurious to neighboring properties or improvements. Furthermore, the project will not increase the risk of fire, endanger public safety, or result in substantial impairment of resources within the core preservation area. The implementation of a continuous row of native evergreen plantings will establish a robust physical barrier. These actions will effectively result in providing substantial visual buffering and significant noise attenuation (reducing ambient noise by an estimated 8-12 dB) to the residential properties situated to the east and south, consistent with industry best practices for landscape sound mitigation.

The proposal is the result of a collaborative, community-driven process, which, as a result, has garnered extensive support from various community organizations, community residents and stakeholders.

- ii. *The waiver will not be inconsistent with the purposes, objectives of the general spirit and intent of this title.*

**Response:**

NYCRR ECL57-0105 finds “*that within the Pine Barrens-Peconic Bay system, the federal, state, county and local governments own and manage significant properties in the form of parks [emphasis added], preserves, historic sites, and protected open space, where there is an interdependent and reciprocal relationship between human activities and natural processes, and where fishing, agriculture and tourism have been the dominant industries for more than three hundred years.*” The Town’s Parks and Recreation Department is tasked with managing the pre-existing park facility, a charge consistent with the Long Island Pine Barrens Maritime Reserve Act’s provisions for balanced resource management. As part of their management strategy, they have worked with the community to submit a grant to rehabilitate the park. This effort ensures needed recreational opportunities are addressed in a manner compatible with the CLUP’s environmental goals and capitalizes on existing infrastructure rather than expanding into pristine areas. Therefore, the relief requested, which supports improvements to a dedicated recreational site, is consistent with the intent of the

- iii. *The waiver is the minimum relief necessary to relieve the extraordinary hardship, which may include the grading of a residential development right to other lands in the compatible growth area that may be transferred or clustered to those lands to satisfy the compelling public need.*

**Response:**

The requested relief is the minimum necessary to accomplish the goals of revitalizing the pre-existing park. While the Town has requested a hardship exemption to clear an additional 4,356 square feet of the lot, this action will be significantly mitigated by the implementation of 17,860 square feet of native revegetation. The project also enhances site compliance by formalizing parking

areas and constructing bio-swales for the capture and recharge of stormwater runoff, ultimately bringing the property into greater alignment with relevant standards and guidelines. The clearing of additional vegetation for upgraded town park facilities with significant proposed revegetation is not in material conflict with preservation goals because it represents a balanced approach that prioritizes overall ecosystem function, public benefit, and long-term sustainability over a strict "no-touch" policy.

As outlined above, there is sufficient evidence to determine that the requested relief is the minimum necessary and that proposed project satisfies a compelling public need.

Based on the forgoing information, the Town of Southampton has demonstrated compliance with the Hardship Exemption criteria for compelling public need. However, in order to reduce potential impacts of the proposed revitalization, the Town is committed to undertaking the following mitigation measures:

- Presently, the park facility is maintained without the use of fertilizers. The Town commits to continuing this practice.
- The overall clearing at the site will be reduced upon completion of the proposed project, as the project calls for re-vegetating an area 3x the proposed clearing (17,860 square feet of proposed re-vegetation vs. 4,356 square feet of proposed clearing); thereby, reducing the degree of non-conformity.
- In order to protect the endangered northern long eared bat, the Town commits to undertaking clearing within the December 1 to February 28 window established by the New York State Department of Environmental Conservation.
- The I/A OWTS, associated with the proposed comfort station, will be located within an area of existing clearing.
- The proposed parking area is designed to direct stormwater run off into bio-swale parking islands.
- Formalization of the parking areas will prevent unintended vehicular encroachment into naturally vegetated areas.

Should you have any questions, please feel free to contact my office at 631-702-1804. Thank you.

Sincerely,



Janice Scherer,  
Town Planning and  
Development Administrator

JS:ctm