



Central Pine Barrens Commission Meeting Agenda - Revised
Wednesday, May 20, 2026 at 2:00 pm
Wertheim National Wildlife Refuge, 340 Smith Road, Shirley, NY

1. **Administrative and Public Comment**
 - a. Public Comment
 - b. Minutes for Commission Meeting of April 15, 2026 review (*approve*)
2. **Invoices for Payment**
 - a. Invoices for Judy Jakobsen, Consultant: Invoice numbers 2026-08 to 16 for the period of 3/2/26 through 5/1/26 in the amount of \$5,352.00
 - b. Invoice for Marvel Architects for the Central Pine Barrens Nature Center project for Invoice 2467-7 for the period of 12/1/25 to 12/31/25 in the amount of \$20,037.86
 - c. Invoices for SWCA Consultant for the Southampton Community Wildfire Protection Plan for the period of 2/7/26 to 4/18/26 in the amount of \$12,472.24
3. **Planning, Land Use and the Pine Barrens Credit Program**

Core Preservation Area

 - a. **645 Grumman Boulevard** Core Preservation Area Hardship Waiver Application / 600-141-2-2.1 / Calverton / two-phased development project to reuse site with three existing industrial buildings totaling 126,500 square feet (sf) and a parking lot for 337 vehicles for the use of indoor agriculture on a 20 acre site in the Natural Resources Protection zoning district / decision deadline 06/01/26 / *draft decision*
 - b. **Request for Determination of Jurisdiction:** Elite Towers at Peconic River Sportsman's Club / 200-298-1-1 / River Road, Manorville / request to construct a 150-foot tall cell tower and 1,525 sf equipment basin for four private carriers and the Manorville Fire District on a 60 acre property with a conservation easement in the Credit Program where 7.99 Pine Barrens Credits were issued / *draft response*
 - c. **Ralph Schenk Order on Consent** / 247 Old Riverhead Road, Westhampton / 900-311-1-9.3 / request for change to restoration area
 - d. **Suffolk County Corrections Officers Association, Inc.** Core Hardship Waiver Application / 1001 Middle Country Road, Ridge / 200-295-1-5.1, 5.2, 5.3 / construction of 2,200 square foot second story on a 2,100 sf existing building and 1,225 sf garage in on a 2.77 acre site in the J4 zoning district / *schedule public hearing*

Compatible Growth Area

 - e. **Brookhaven Referral:** Moutafis Warehouse / Moriches Middle Island Road, Shirley / 200-644-2-15,16,17,18,19 / construction of a 10,000 sf warehouse with five units on a 42,000 sf site in the L1 Industrial zoning district / *draft response*
 - f. **PSEG Long Island** / Currans Road, Middle Island / replace and relocate one utility pole / *draft response*
 - g. **Request for Determination of Jurisdiction:** George Foundas / 24 Michaels Lane, Wading River / 600-96-1-9.2 / request to construct a detached garage / *draft response*
 - h. **Suffolk County Gabreski Airport** / CR 31, Westhampton / request to cut and leave Southern Pine Beetle dead trees along southerly fenceline / *draft response*
 - i. **Verizon Wireless at Suffolk County STP** / w/s William Floyd Parkway, Ridge / 200-242-1-1.2 / request to construct a 120-foot tall cell tower and 1,650 sf equipment basin for five private carriers on a 10.9 acre site owned by Suffolk County and developed with a sewage treatment plant / *draft response*
4. **Public Comment**
5. **Closed Advisory Session** (if necessary)

Ryan P. McGarry
Chairman

Jerome Halpin
Member

Maria Z. Moore
Member

Daniel J. Panico
Member

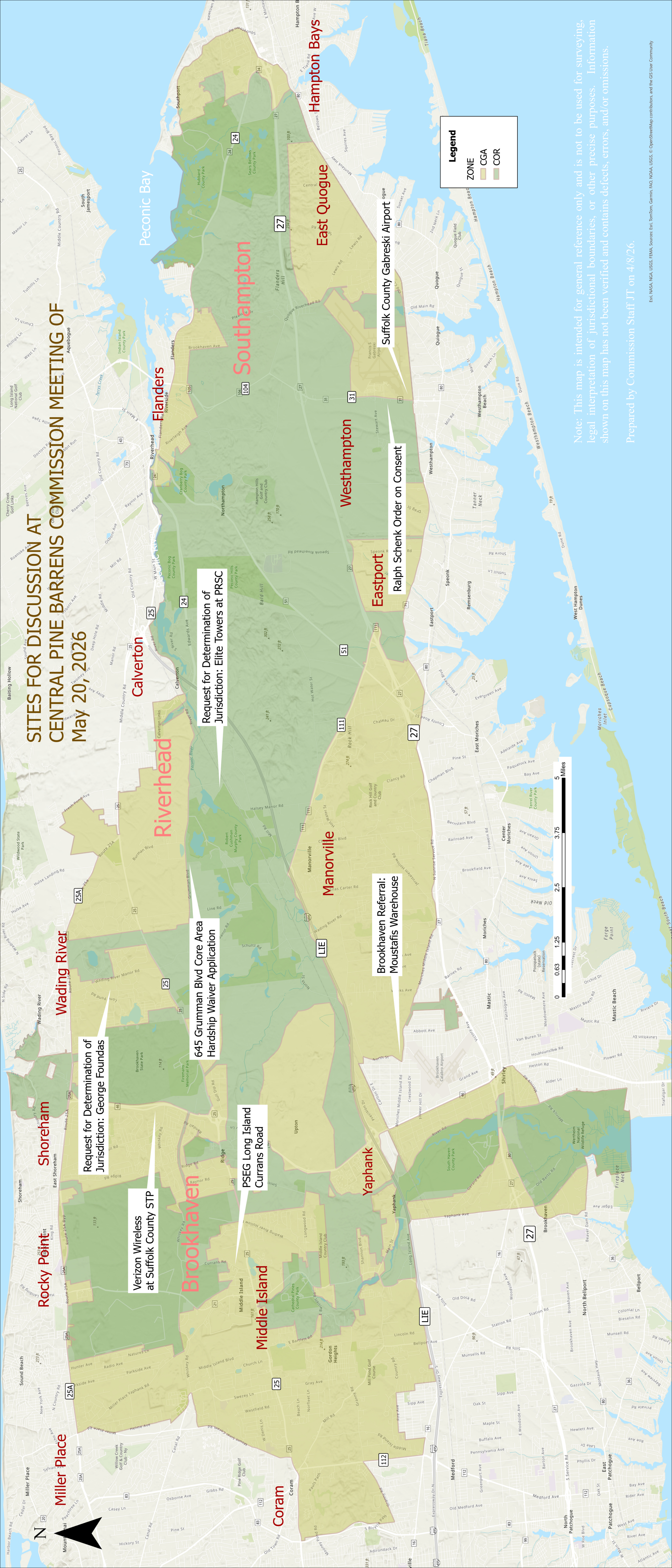
Edward P. Romaine
Member

624 Old Riverhead Road
Westhampton Beach, NY
11978

Phone (631) 288-1079
www.pb.state.ny.us

Next Commission Meeting, Wednesday, June 17, 2026 at 2:00 pm
Riverhead Town Hall, 4 West Second Street, Riverhead, NY
For meeting information visit <https://pb.state.ny.us>

SITES FOR DISCUSSION AT CENTRAL PINE BARRENS COMMISSION MEETING OF May 20, 2026



Request for Determination of Jurisdiction: George Foundas

Verizon Wireless at Suffolk County STP

645 Grumman Blvd Core Area Hardship Waiver Application

PSEG Long Island Currans Road

Request for Determination of Jurisdiction: Elite Towers at PRSC

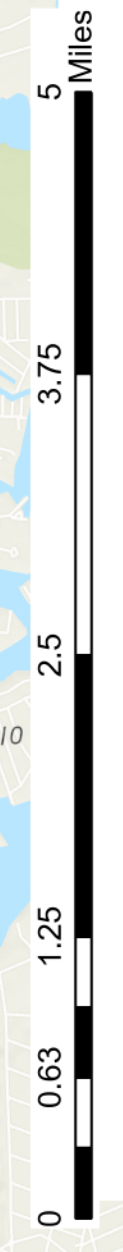
Brookhaven Referral: Moustafis Warehouse

Ralph Schenk Order on Consent

Suffolk County Gabreski Airport

Legend

| ZONE | Color |
|------|-------------|
| CGA | Light Green |
| COR | Dark Green |



Note: This map is intended for general reference only and is not to be used for surveying, legal interpretation of jurisdictional boundaries, or other precise purposes. Information shown on this map has not been verified and contains defects, errors, and/or omissions.

Prepared by Commission Staff JT on 4/8/26.



Central Pine Barrens Commission Meeting Summary
Wednesday, April 15, 2026
Southampton Town Hall
116 Hampton Road, Southampton, NY

2:00 PM

Commission members present: Mr. McGarry (New York State Governor's Representative), Ms. DiBrita (for Brookhaven), Ms. Lansdale (for Suffolk County), Ms. Moore, Ms. Scherer (for Southampton) and Mr. Charters (for Riverhead)

Others present: Commission and other agency staff members included Ms. Hargrave, Mr. Milazzo, Mr. Motz, Mr. Tverdyy, Mr. Callagy, Mr. Smith, Mr. Ward, Ms. Drew and Ms. Brown-Walton

Ryan P. McGarry
Chairman

Jerome Halpin
Member

Maria Z. Moore
Member

Daniel J. Panico
Member

Edward P. Romaine
Member

The meeting started with the pledge to the flag led by Ms. Moore and requested a moment of silence to recognize Mr. Richard Amper former Executive Director of the Long Island Pine Barrens Society. Mr. McGarry noted that with five Commission members present, there is a quorum.

1. Administrative and Public Comment

a. Public Comment

Summary: No public comments were received.

b. Minutes for Commission Meeting of 03/18/26 review

*Summary: **The motion was made by Mr. Charters and seconded by Ms. DiBrita to adopt March 18, 2026 meeting minutes. The motion was approved by 5:0 vote.***

2. Division Reports

a. Compliance and Enforcement Division: update

Summary: Mr. Callagy discussed highlights and updates on the Compliance and Enforcement division's activities covered in the previously distributed Compliance and Enforcement division report.

b. Education, Outreach and Communications Division: update

Summary: Mr. Motz walked through the Central Pine Barrens Annual Report and discussed highlights and updates on the Education and Outreach division's activities covered in the previously distributed Education and Outreach division report.

c. Land Use Division: update

Summary: Ms. Hargrave discussed highlights and updates on the Land Use division's activities covered in the previously distributed Land Use division report.

d. Law Enforcement Council, Wildfire Task Force and New York Wildfire and Incident Management Academy: update (Ms. Drew)

Summary: Ms. Drew discussed the updates on the Law Enforcement Council, Wildfire Task Force and New York Wildfire Incident and Management Academy's activities previously distributed reports.

624 Old Riverhead Road
Westhampton Beach, NY
11978

Phone (631) 288-1079
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- e. *Pine Barrens Credit Program: update*
Summary: Mr. Tverdyy discussed highlights and updates on the Credit Program's activities covered in the previously distributed Credit Program division report.
- f. *Science and Stewardship Division, Protected Lands Council: update*
Summary: Mr. Smith discussed highlights and updates on the Science and Stewardship division's activities covered in the previously distributed Science and Stewardship division report.

3. Planning and Land Use

Core Preservation Area

- a. *Gazza Wildfire Buffer Core Preservation Area Hardship Waiver Application / w/s of Old Riverhead Road (CR 31), Westhampton / 900-246-2-11.4; 900-285-2-28.1; 900-286-2-38.8; 900-286-2-38.2; 900-310-2-3.1; 900-310-2-4.2 / request to remove 1.93 acres of vegetation to minimize wildfire risk on six separate parcels that total 8.4 acres, developed with industrial uses in the LI 40 and CR 200 zoning districts*
Summary: **The motion was made by Ms. DiBrita and seconded by Mr. Charters to adopt the decision to deny without prejudice the Hardship Waiver Application. The Commission authorized sending a determination of "non-development" for property maintenance. The motion was approved by 5:0 vote**
- b. *645 Grumman Boulevard Core Preservation Area Hardship Waiver Application / Calverton / 600-141-2-2.1 / two-phased development project to reuse site with three existing industrial buildings totaling 126,500 square feet and a parking lot for the use of indoor cannabis cultivation on a 20 acre project site in the Natural Resources Protection zoning district*
Summary: Ms. Hargrave summarized the supplemental material submitted by the applicant after the public hearing in March.

Mr. Weiss discussed supplemental information previously provided by Ms. Hargrave. Mr. Weiss and Mr. Raj discussed one of the most significant enhancements, which is the reconfiguration of approximately 30,000 square feet of former parking area into a large green space. This change introduces expanded outdoor areas, additional plantings and trees, and the relocation of certain trees that were previously overcrowded. The revised plan reflects an approximately 30% reduction in parking, from 325 spaces down to 211. Of those 211 spaces, 15 are designated as land-banked spaces. These will not be constructed immediately but are reserved for potential future use if needed. In terms of spaces to be built at this time, the effective total is 196. The revision and coordination discussions continued.

Mr. Milazzo discussed that the hearing was closed, and the public comment period has also concluded as of today. While comments and additional thoughts are welcomed, they will not be entered into the official record that the Commission will rely on in making its decision. Limited latitude has been granted to the applicant solely to elaborate on materials that were submitted prior to the deadline.

Congressman Hochbrueckner expressed his support for the project and provided the reasonings for his position.

- c. *Hampton West Park Core Preservation Area Compelling Public Need Waiver Application / 700 Stewart Avenue, Westhampton / 900-308-4-1.3 / construction of a restroom building and sanitary system and expansion of a parking lot, redevelopment of sports courts and habitat restoration on a 17.7 acre town park in the CR 200 zoning district*

Summary: The motion was made by Ms. Lansdale and seconded by Ms. DiBrita to adopt the decision to approve the Compelling Public Need Waiver. The motion was approved by 5:0 vote.

4. **Public Comment**

Summary: No public comments were received

5. **Closed Advisory Session**

A motion was made by Mr. Charters and seconded by Ms. Lansdale to close the public portion of the meeting and to move into an advisory session for the purpose of discussing existing litigation and attorney client communication obtaining legal advice from Commission counsel. The Commission would return to public session. The motion was approved by a 5:0 vote.

At approximately 3:25pm the Commission returned to public session.

Mr. Milazzo discussed a notice of violation is proposed for Independent General Contractors, Grant Hendricks, and related parties, who are the operators of the facility at 4 Old Country Road previously discussed by the Commission. They appear to be engaged in development activities without the Commission approval and it appears they are in violation, or potential violation, of the Act and the Plan. The proposed resolution would authorize the issuance of a Notice of Violation and request without further action from the Commission Attorney General assistance to enforce the provisions of the Act and the Plan if resolution acceptable to the Commission cannot be reached after the issuance of the Notice of Violation and compliance conferences. Mr. Milazzo added the property is in the Town of Southampton.

The motion was made by Ms. Moore and seconded by Mr. Charters to approve sending the Notice of Violation to 4 Old Country Road/Grant Hendricks. The motion was approved by 5:0 vote.

Mr. Milazzo discussed Long Island Practical Shooting Association owners Edwin and Patricia Tuccio. The property is in the Town of Southampton. It has received a Notice of Violation for alleged violation of the Act and Plan and clearing in the Core without Commission approval and the material increase in the intensity of uses on the property. This is a shooting range north of the airport, south of the Commission offices, east of CR 31. The Notice of Violation was issued and Commission staff and representatives of the Shooting Association and at least Edwin Tuccio have had communication, discussions and conferences over the last three or four months trying to reach a settlement over the alleged activities violating the Act and Plan.

This resolution authorizes request for the Attorney General to assist in enforcing the provisions of the Act and the Plan because a resolution has not been able to be reached as of this date.

A motion was made by Mr. Charters and seconded by Ms. Moore authorizing the request for the Attorney General to assist in enforcing the provision of the Act and the Plan to Long Island Practical Shooting Association. The motion was approved by 5:0 vote.

The meeting was adjourned at approximately 4:00pm.

Attachments (in order of discussion)

1. Draft Commission meeting summary for March 18, 2026
2. Final Commission meeting summary for March 18, 2026
3. Compliance and Enforcement Division update dated February – April 2026
4. Education Outreach and Communication Division update dated April 2026
5. Land Use Division update dated April 16, 2025
6. Wildfire Task Force, New York Wildfire and Incident Management Academy and Law Enforcement Council update
7. Pine Barrens Credit Program update dated April 15, 2026
8. Science Stewardship Division update dated April 15, 2026
9. Draft decision to deny without prejudice on the Gazza Properties in the Core of CR 31 Core Preservation Area Hardship Application dated April 15, 2026
10. Final decision to deny without prejudice on the Gazza Properties in the Core of CR 31 Core Preservation Area Hardship Application dated April 15, 2026
11. Letter and attachments from Signature Partners, LLC regarding 645 Grumman Boulevard, Calverton, Town of Riverhead dated March 31, 2026
12. Draft decision to approve the Hampton West Park Core Preservation Area Compelling Public Need Waiver Application dated April 15, 2026
13. Final decision to approve the Hampton West Park Core Preservation Area Compelling Public Need Waiver Application dated April 15, 2026
14. Notice of Violation regarding 4 Old Country Road, LLC Independent General Contractors dated April 15, 2026
15. Adopted resolution to refer to the NYS Attorney General's Office the matter of Long Island Practical Shooting Association and or Edwin Fishel Tuccio and Patricia Tuccio dated April 15, 2026

Judith Jakobsen
42 Mooney Pond Road, Selden, NY 11784
Date: 4/8/2026

BILL TO
Suffolk County Water Authority
PO BOX 38, Oakdale NY 11769
INVOICE # 8

FOR
Consultation
Central Pine
Barrens Work

Details

| Work performed 3/2/2026 through 3/6/2026 | Hours |
|---|--|
| 3/1/2026 Ethics reporting | 1 |
| Research funding and operation of existing nature centers | 4 |
| 3/4/2026 ZEV information for med and heavy duty trucks | 0.25 |
| CWPP- review HUB site information, public survey, press release media release | 2.5 |
| 3/5/202 CWPP meeting and final comments on documents. review and emails - medium and heavy duty truck conversion | 4.5 |
| | 0.5 |
| | TOTAL HOURS 12.75 |
| | TOTAL INVOICE AMOUNT \$1,020.00 |

Make all checks payable to Judith Jakobsen

If you have any questions concerning this invoice, use the following contact information:

Contact information: mooneypdfarm@optonline.net or 631-559-5996

Judith Jakobsen
42 Mooney Pond Road, Selden, NY 11784
Date: 4/8/2026

BILL TO

Suffolk County Water Authority
PO BOX 38, Oakdale NY 11769
INVOICE #9

FOR

**Consultation
Services
Central Pine
Barrens Work**

Details

| Work performed | 3/10/2026 through 3/14/2026 | Hours |
|---|------------------------------------|-----------------|
| 3/10/2026 NYS Ethics - certify commission members for financial disclosure statement filing | | |
| Review fire survey for CWPP | | |
| Research nature center funding information, creating matrix | | 4.5 |
| 3/11/2026 NYS Ethics - review and certify commission and rep information | | 5 |
| Continue research on funding information - existing nature centers matrix and grants | | |
| CWPP meeting - go over maps | | |
| | TOTAL HOURS | 9.5 |
| | TOTAL INVOICE AMOUNT | \$760.00 |

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BILL TO

Suffolk County Water Authority
PO BOX 38, Oakdale NY 11769
INVOICE #10

FOR

**Consultation
Services
Central Pine
Barrens Work**

Details

| Work performed 3/16/2026 through 3/20/2026 | Hours |
|--|-----------------|
| 3/18/2026 Research existing centers and how funded and operate Emails | 7 |
| 3/20/2026 CWPP meeting and discussion after meeting | 2 |
| TOTAL HOURS | 9 |
| TOTAL INVOICE AMOUNT | \$720.00 |

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Judith Jakobsen
42 Mooney Pond Road, Selden, NY 11784
Date: 4/8/2026

BILL TO

Suffolk County Water Authority
PO BOX 38, Oakdale NY 11769
INVOICE # 11

FOR

**Consultation
Services
Central Pine
Barrens Work**

Details

| Work performed 3/23/26 through 3/27/2026 | Hours |
|--|--------------|
| 3/23/2026 research nature center information and funding | 2 |
| 3/24/2026 research nature center information and funding | 3.5 |
| 3/25/2026 payment information for grant & emails | 1.0 |
| <hr/> | |
| TOTAL HOURS | 6.5 |
| TOTAL INVOICE AMOUNT | \$520.00 |

Make all checks payable to Judith Jakobsen

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Contact information: mooneypdfarm@optonline.net or 631-559-5996

Judith Jakobsen
42 Mooney Pond Road, Selden, NY 11784
Date: 4/8/2026

BILL TO

Suffolk County Water Authority
PO BOX 38, Oakdale NY 11769
INVOICE #12

FOR
Consultation
Services
Central Pine
Barrens Work

Details

| Work performed 3/30/2026 to 4/3/2026 | Hours |
|---|-----------------|
| 4/1/2026 (in office) Nature center discussion and other commission work, contracts. | 4 |
| 4/3/2026 CWPP review information from SWCA, update nature center spreadsheet for existing centers and research friends groups | 2 |
| TOTAL HOURS | 6 |
| TOTAL INVOICE AMOUNT | \$480.00 |

Make all checks payable to Judith Jakobsen
If you have any questions concerning this invoice, use the following contact information:
Contact information: mooneypdfarm@optonline.net or 631-559-5996

Judith Jakobsen
42 Mooney Pond Road, Selden, NY 11784
Date 4/20/2026

BILL TO

Suffolk County Water Authority
PO BOX 38, Oakdale NY 11769
INVOICE #13

FOR

**Consultation
Services
Central Pine
Barrens Work**

Details

| Work performed | 4/6/2026 | 4/10/2026 | Hours |
|---|-----------------|------------------|--------------|
| 4/7 Sustainability meeting to discuss waste audit and waste diversion plan. Meeting with Julie on Commission items. | | | 7 |
| CWPP tasks | | | |
| Nature center - information requests and grant sources | | | |
| 4/8 CWPP grant - review financial documents and prior meeting notes | | | 1 |
| 4/9 Prepared reimbursement form for USFS grant | | | 3 |
| Emails on financial disclosure and ethics training, CWPP | | | |
| Meeting on funding and creating a not-for-profits for nature center | | | |
| Followup on nature center information requests | | | |
| TOTAL HOURS | | | 8 |
| TOTAL INVOICE AMOUNT | | | \$640.00 |

Make all checks payable to Judith Jakobsen
If you have any questions concerning this invoice, use the following contact information
Contact information: mooneypdfarm@optonline.net or 631-559-5996

Judith Jakobsen
 42 Mooney Pond Road, Selden, NY 11784=
 Date 4/20/2026

BILL TO

Suffolk County Water Authority
 PO BOX 38, Oakdale NY 11769
 INVOICE #14

FOR

**Consultation
 Services
 Central Pine
 Barrens Work**

Details

| Work performed | 4/13/2026 | 4/19/2026 | Hours |
|---|------------------|------------------|-----------------|
| 4/15 Meeting on CWPP Public event | | | 0.5 |
| 4/16 CWPP monthly meeting with SWCA and related tasks | | | 1 |
| 4/19/2026 CWPP stakeholder list updates | | | 1.0 |
| TOTAL HOURS | | | 2.5 |
| TOTAL INVOICE AMOUNT | | | \$200.00 |

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 If you have any questions concerning this invoice, use the following contact informatio
Contact information: mooneypdfarm@optonline.net or 631-559-5996

Judith Jakobsen
 42 Mooney Pond Road, Selden, NY 11784
 Date 5/5/2026

BILL TO

Suffolk County Water Authority
 PO BOX 38, Oakdale NY 11769
 INVOICE #15

FOR

**Consultation
 Services
 Central Pine
 Barrens Work**

Details

| Work performed | 4/20/2026 | 4/24/2026 | Hours |
|--|------------------|------------------|-----------------|
| 4/20/2026 CWPP stakeholder list updates and grant related admin tasks | | | 2 |
| Respond to email on FDS filing and provide guidance documents, forms etc. | | | 0.15 |
| 4/21/2026 CWPP grant admin related tasks | | | 1.0 |
| 4/22/2026 Nature Center next steps - materials for Commission meeting | | | 2 |
| 4/23/2026 Continue to prepare information on next steps for Nature Center for Commission meeting | | | 1 |
| TOTAL HOURS | | | 6.15 |
| TOTAL INVOICE AMOUNT | | | \$492.00 |

Make all checks payable to Judith Jakobsen

If you have any questions concerning this invoice, use the following contact information

Contact information: mooneypdfarm@optonline.net or 631-559-5996

Invoice

Bill To Central Pine Barrens Commission
 624 Old Riverhead Road
 Westhampton Beach NY 11978

Central Pine Barrens Nature Center
 Feasibility Study
 December 1-31, 2025

12/31/2025

Invoice # 2467-7

Project # 2467

Terms: Net 30

| Description | Fee | Prior Billed | Current % | % To Date | Current Amount |
|--|-------------------------|--------------|-----------|-----------|----------------|
| CENTRAL PINE BARRENS NATURE CENTER Proposal # 1636 | | | | | |
| Feasibility Study/ Report \$73,500 Marvel Services | 73,500.00 | 69,822.60 | 5.00% | 100.00% | 3,675.00 |
| Total Fee Due This Invoice | | | | | 3,675.00 |
| DBI \$25,000 DBI Inv 11447,11505,11601,11754 \$10,000 | 25,000.00 | 15,000.00 | 40.00% | 100.00% | 10,000.00 |
| Total Consultant Due This Invoice | | | | | 10,000.00 |
| Reimbursable Expenses | | | | | |
| - Printing: A Esteban Inv 239572 \$5990.39 | | | | | 5,990.39 |
| - Travel: DBI Inv 11601 car service & subway \$85.47 | | | | | 85.47 |
| - Travel: G Hartray site visit 10/28,11/19,12/17/25 \$287.00 | | | | | 287.00 |
| Total Reimbursable Due This Invoice | | | | | 6,362.86 |
| Thank you. | Total Due This Invoice: | | | | \$20,037.86 |



DBI Projects
 1261 Broadway Fl 11
 New York, NY 10001-3525
 212.533.1600
 www.dbiprojects.com

Guido Hartray

Marvel Architects
 145 Hudson Street
 New York, NY 10013

INVOICE

Invoice Date: 10/22/25
 Total Amount: \$2,500.00
 Number: 11447
 Invoice Period: 09/01/25 - 09/30/25
 Terms: Net 30
 Project Code: CPB_FS
 Project: Central Pine Barrens_FS

INVOICE SUMMARY

| Description | Amount |
|-------------------------|-------------------|
| DBI Monthly Services | \$2,500.00 |
| TOTAL AMOUNT DUE | \$2,500.00 |

Please make your check payable to DBI Projects, LLC and remit to:
 DBI Projects, LLC
 1261 Broadway 11th floor New York, NY 10001
 EIN 47-3840229

| | |
|-------------------|---------------------------------|
| <u>2467</u> | Project Number |
| <u>Y</u> | Approved to Pay – Y or N |
| <u>N/A</u> | Add Service Number |
| <u>SB</u> | PM Initials |
| <u>12/23/2025</u> | Date Approved |

Use the stamp above to stamp consultant invoices



DBI Projects
 1261 Broadway Fl 11
 New York, NY 10001-3525
 212.533.1600
 www.dbiprojects.com

INVOICE

Invoice Date: 11/12/25
 Total Amount: \$2,500.00
 Number: 11505
 Invoice Period: 10/01/25 - 10/31/25
 Terms: Net 30
 Project Code: CPB_FS
 Project: Central Pine Barrens_FS

Guido Hartray

Marvel Architects
 145 Hudson Street
 New York, NY 10013

INVOICE SUMMARY

| Description | Amount |
|-------------------------|-------------------|
| DBI Monthly Services | \$2,500.00 |
| TOTAL AMOUNT DUE | \$2,500.00 |

Please make your check payable to DBI Projects, LLC and remit to:
 DBI Projects, LLC
 1261 Broadway 11th floor New York, NY 10001
 EIN 47-3840229

| | |
|-------------------|---------------------------------|
| <u>2467</u> | Project Number |
| <u>Y</u> | Approved to Pay – Y or N |
| <u>N/A</u> | Add Service Number |
| <u>SB</u> | PM Initials |
| <u>01/15/2026</u> | Date Approved |



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 1261 Broadway Fl 11
 New York, NY 10001-3525
 212.533.1600
 www.dbiprojects.com

Guido Hartray

Marvel Architects
 145 Hudson Street
 New York, NY 10013

INVOICE

Invoice Date: 12/11/25
 Total Amount: \$2,585.47
 Number: 11601
 Invoice Period: 11/01/25 - 11/30/25
 Terms: Net 30
 Project Code: CPB_FS
 Project: Central Pine Barrens_FS

INVOICE SUMMARY

| Description | Amount |
|--|-------------------|
| DBI Monthly Services | \$2,500.00 |
| -Project Reimbursables: Car Service/Taxi | \$48.97 |
| -Project Reimbursables: Train/Subway | \$36.50 |
| TOTAL AMOUNT DUE | \$2,585.47 |

Please make your check payable to DBI Projects, LLC and remit to:
 DBI Projects, LLC
 1261 Broadway 11th floor New York, NY 10001
 EIN 47-3840229

| | |
|-------------------|---------------------------------|
| <u>2467</u> | Project Number |
| <u>Y</u> | Approved to Pay – Y or N |
| <u>N/A</u> | Add Service Number |
| <u>SB</u> | PM Initials |
| <u>01/15/2026</u> | Date Approved |



DBI Projects
1261 Broadway Fl 11
New York, NY 10001-3525
212.533.1600
www.dbiprojects.com

Guido Hartray

Marvel Architects
145 Hudson Street
New York, NY 10013

INVOICE

Invoice Date: 12/11/25
Total Amount: \$2,585.47
Number: 11601
Invoice Period: 11/01/25 - 11/30/25
Terms: Net 30
Project Code: CPB_FS
Project: Central Pine Barrens_FS

EXPENSE DETAILS

| Date | Code | Amount |
|-----------------------|--|----------------|
| Katrina Flora | | |
| 11/19/25 | -Project Reimbursables: Train/Subway | \$18.25 |
| 11/19/25 | -Project Reimbursables: Train/Subway | \$18.25 |
| 11/19/25 | -Project Reimbursables: Car Service/Taxi | \$48.97 |
| | Katrina Flora | \$85.47 |
| TOTAL EXPENSES | | \$85.47 |



DBI Projects
 1261 Broadway Fl 11
 New York, NY 10001-3525
 212.533.1600
 www.dbiprojects.com

Guido Hartray

Marvel Architects
 145 Hudson Street
 New York, NY 10013

INVOICE

Invoice Date: 1/12/26
 Total Amount: \$2,500.00
 Number: 11754
 Invoice Period: 12/01/25 - 12/31/25
 Terms: Net 30
 Project Code: CPB_FS
 Project: Central Pine Barrens_FS

INVOICE SUMMARY

| Description | Amount |
|-------------------------|-------------------|
| DBI Monthly Services | \$2,500.00 |
| TOTAL AMOUNT DUE | \$2,500.00 |

Please make your check payable to DBI Projects, LLC and remit to:
 DBI Projects, LLC
 1261 Broadway 11th floor New York, NY 10001
 EIN 47-3840229

| | |
|-------------------|--------------------------|
| <u>2467</u> | Project Number |
| <u>Y</u> | Approved to Pay – Y or N |
| <u>N/A</u> | Add Service Number |
| <u>SB</u> | PM Initials |
| <u>01/13/2026</u> | Date Approved |

A. Estéban & Company, Inc.

132 West 36th Street, 10th Floor
New York, NY 10018
(212) 714-0102

REMIT TO: **A. Estéban & Company, Inc.**

132 West 36th Street, 10th Floor
New York, NY 10018
(212) 714-0102

INVOICE

an "M.B.E." firm

IMPORTANT: PLEASE RETURN REMITTANCE
COPY WITH PAYMENT. THANK YOU.

TERMS NET 10 DAYS

MARVEL
ATTN: CHARLES WAHL
145 HUDSON STREET
NEW YORK, NY 10013

SHIP TO

| JOB/REFERENCE NUMBER | | BILLING UNIT CODE | | CUST. NO. | INVOICE DATE | INVOICE NO. | | | | |
|---|-----------|------------------------|-----------------------------|--------------|--------------|----------------------------|---------------|----------------|----------------|---------------|
| FINAL REPORT / 2025-12-15 | | F = SQ.FT. E = EACH | C = PER 100 I = PER INCH | 16164 | 12/31/25 | 239572 | | | | |
| ORDER NUMBER | NO. ORIG. | SIZE | COPIES EACH | TOTAL COPIES | ITEM CODE | DESCRIPTION | TOTAL SQ. FT. | TAXABLE AMOUNT | NON-TAX AMOUNT | DELIVERY CHGS |
| 2586236 | 185 | X | 30 | 5550 | 6939 | CC-COLOR FULL BLEED 8.5X11 | 5550 | 5272.50 | | |
| 2586236 | 185 | | 30 | 5550 | 1645 | SP-MACHINE COLLATING | 5550 | 172.05 | | |
| 2586236 | 185 | | 30 | 5550 | 1650 | SP-HOLES PUNCHED | 5550 | 111.00 | | |
| 2586236 | 30 | | 1 | 30 | 1662 | SP-CLEAR ACETATE 8.5X11 | 30 | 43.92 | | |
| 2586236 | 30 | | 1 | 30 | 1663 | SP-BLACK VINYL | 30 | 43.92 | | |
| 2586236 | 30 | | 1 | 30 | 1674 | SP-WIRE BIND 1/2" | 30 | 240.00 | | |
| 2586236 | 1 | | 2 | 2 | 5495 | MO-TRIMMING PER 1/4 HR. | 2 | 60.88 | | |
| 2586236 | 1 | | 1 | 1 | 1017 | DL-DELIVERY (BULK) | 1 | 46.12 | | |
| <p>2467 Project Number Y Approved to Pay – Y or N Y Billable to Client – Y or N SB PM Initials 01/09/2026 Date Approved</p> <p>Use the stamp above to stamp photo, printing, and rendering invoices. Make certain to mark whether the expense is billable to the client.</p> | | | | | | | | | | |
| TITLE TO MERCHANDISE ON THIS INVOICE PASSES UPON DELIVERY TO THE CARRIER UNLESS OTHERWISE AGREED BY THE PARTIES SELLER CERTIFIES THAT THESE GOODS/SERVICES WERE PRODUCED/PERFORMED IN COMPLIANCE WITH ALL APPLICABLE REQUIREMENTS ON SECTIONS 6.7 AND 12 OF THE FAIR LABOR STANDARDS ACT OF 1938, AS AMENDED, AND ALL REGULATIONS AND ORDERS OF THE U.S. DEPT. OF LABOR ISSUED UNDER SEC. 14 THEREOF. | | | | SUB TOTAL | SALES TAX | TOT. DLY. | INVOICE TOTAL | | | |
| | | | | 5990.39 | 531.65 | | 6522.04 | | | |

No Sales Taxes

From: [Katrina Flora](#)
To: [Katrina Flora](#)
Subject: Fwd: MTA TrainTime Receipt
Date: Wednesday, November 19, 2025 11:11:07 AM
Attachments: [mime-attachment.png](#)
[mime-attachment.png](#)

// sent from phone

Begin forwarded message:

From: noreply@justride.com
Date: November 19, 2025 at 10:58:20 EST
To: katrina.flora2@gmail.com
Subject: MTA TrainTime Receipt
Reply-To: noreply@justride.com



Purchase Receipt

This is the receipt for your ticket(s) and cannot be used to travel

Purchase Details



1x \$18.25

One Way
Off Peak

Ticket IDs:
WTTBGEU67GA

Total: \$18.25

Payment Info

| | |
|---------------------------------|---|
| Merchant name: | MTA Long Island Rail Road |
| Merchant Online Address: | http://www.mta.info/ |
| Account ID: | WC5RVUUV4AJ |
| Purchase ID: | PUPORRV6Q7PN4R2 |
| Purchase Date: | 11/19/25, 10:58 AM |
| Authorization Code: | 224955 |
| UTR Number: | MRIRO4O5NJGJXF4 |
| Name on Card: | Katrina Flora |
| Card Type: | American Express |
| Card Number: | ****1261 |

From: [Katrina Flora](#)
To: [Katrina Flora](#)
Subject: Fwd: MTA TrainTime Receipt
Date: Wednesday, November 19, 2025 7:11:55 PM
Attachments: [Mail Attachment.png](#)
[Mail Attachment.png](#)

Katrina Flora, AICP + LEED AP ND
katrinaflora.com
katrina.flora2@gmail.com

Begin forwarded message:


From: noreply@justride.com
Subject: MTA TrainTime Receipt
Date: November 19, 2025 at 15:31:52 EST
To: katrina.flora2@gmail.com
Reply-To: noreply@justride.com



Purchase Receipt

This is the receipt for your ticket(s) and cannot be used to travel

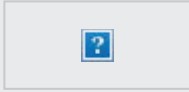
Purchase Details

| | | |
|--|--------|---------|
|  One Way Off Peak | 1x | \$18.25 |
| Ticket IDs: WTTDJ7M6XGM | | |
| | Total: | \$18.25 |

Payment Info

Merchant name: MTA Long Island Rail Road

From: noreply=uber.com@mgt.uber.com on behalf of [Uber Receipts](#)
To: [Katrina Flora](#)
Subject: [DBI Projects] Your Wednesday afternoon trip with Uber
Date: Wednesday, November 19, 2025 1:38:06 PM

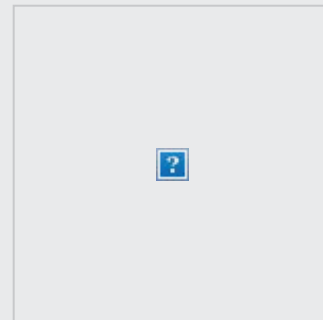


Nov 19, 2025
1:16 PM

Tip

Thanks for tipping, K

We hope you enjoyed your ride this afternoon.



Total\$48.97



In May 2025 in New York State outside of NYC, roughly 28% of customers' fares went toward covering government-mandated commercial insurance for rideshare/TNC (transportation network company) trips. [Take action to bring down costs.](#)


| | |
|--|---------|
| Trip fare | \$30.02 |
| Booking Fee <input type="checkbox"/> | \$6.74 |
| NY State Black Car Fund <input type="checkbox"/> | \$0.94 |
| New York State Benefits Surcharge <input type="checkbox"/> | \$0.77 |

| | |
|---|--------|
| TNC Assessment Fee <input type="checkbox"/> | \$1.50 |
| Tip | \$9.00 |


Payments

| | |
|--|---------|
|  DBI Projects 11/19/25 1:34 PM | \$39.97 |
|  DBI Projects 11/19/25 1:37 PM | \$9.00 |


Want to switch your payment method?

 Switch

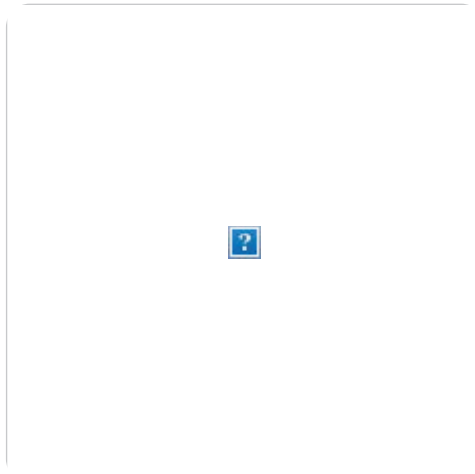
Download the receipt in a PDF format

 Download PDF

Trip details

| |
|---|
|  UberX 8.61 miles, 15 minutes |
|---|

| | |
|---|--|
|  | 1:19 PM Phillips Ave and Depot Rd, Speonk, NY 11972, US |
|  | 1:34 PM 200 Howell Ave, Riverhead, NY 11901, US |



You rode with Bidzina

4.99 

| Project | Claimant | Category | Miles | Expense (U | Date |
|-----------------------------|-------------------|----------|-------------|------------|-----------|
| 2467 - Pine Barrens (NYCHA) | Guido F - Hartray | Mileage | 138 @ \$.70 | \$96.60 | 28-Oct-25 |
| 2467 - Pine Barrens (NYCHA) | Guido F - Hartray | Mileage | 156@ \$.70 | \$109.20 | 19-Nov-25 |
| 2467 - Pine Barrens (NYCHA) | Guido F - Hartray | Mileage | 116@ \$.70 | \$81.20 | 17-Dec-25 |
| | | | | \$287.00 | |

Routing # 071922777 | Account # 7811583501 | Payable to: SWCA, Incorporated | Business Checking Account: First American Bank
 Notification: payment@swca.com | Physical Remittance: P.O. Box 7217, Carol Stream, IL 60197- 7217 | EIN: #86-0483317

Jason Smith
 Central Pine Barrens Joint Planning and Policy Commission
 624 Old Riverhead Road
 Westhampton Beach, New York 11978

May 7, 2026
 Invoice No: 244907
 Project Manager: Ari Porter
 Project No: 00099294-000-AMH

| | |
|----------------------|--------------------|
| Invoice Total | \$12,472.24 |
|----------------------|--------------------|

Central Pine Barrens Joint Planning and Policy Commission CWPP
 RFP NO. 1659

Professional Services from February 7, 2026 through April 18, 2026

Phase 01 Community Wildfire Protection Plan Content

Professional Services

| | Hours | Rate | Amount | |
|--|-------|-------------------------|----------|-------------------|
| Environmental Resources-Specialist V | 16.25 | 110.70 | 1,798.88 | |
| Environmental Resources-Specialist X | 4.50 | 170.10 | 765.45 | |
| Environmental Resources-Specialist XII | 2.00 | 203.40 | 406.80 | |
| Planning-Specialist IV | 1.25 | 102.60 | 128.25 | |
| Project Controls - Specialist XI | .25 | 186.30 | 46.58 | |
| Totals | 24.25 | | 3,145.96 | |
| Total Professional Services | | | | 3,145.96 |
| | | Total this Phase | | \$3,145.96 |

Phase 02 Establish Community Base Maps

Professional Services

| | Hours | Rate | Amount | |
|------------------------------------|-------|-------------------------|--------|-----------------|
| GIS/CADD-Specialist V | 1.50 | 110.70 | 166.05 | |
| Totals | 1.50 | | 166.05 | |
| Total Professional Services | | | | 166.05 |
| | | Total this Phase | | \$166.05 |

Phase 03 Community Background Information, Fire History, and Fire Occurrence Data Collection

Professional Services

| | Hours | Rate | Amount | |
|------------------------------------|-------|-------------------------|----------|-------------------|
| GIS/CADD-Specialist V | 5.25 | 110.70 | 581.18 | |
| Planning-Specialist II | 14.50 | 81.90 | 1,187.55 | |
| Planning-Specialist IV | .25 | 102.60 | 25.65 | |
| Totals | 20.00 | | 1,794.38 | |
| Total Professional Services | | | | 1,794.38 |
| | | Total this Phase | | \$1,794.38 |

Phase 04 Conduct Hazard and Risk Analysis

Professional Services

| | Hours | Rate | Amount | |
|---|-------|--------|----------|------------------------------------|
| Environmental Resources-Specialist V | 8.75 | 110.70 | 968.63 | |
| Environmental Resources-Specialist VIII | 4.00 | 142.20 | 568.80 | |
| Environmental Resources-Specialist X | 4.75 | 170.10 | 807.98 | |
| GIS/CADD-Specialist V | 5.75 | 110.70 | 636.53 | |
| GIS/CADD-Specialist VIII | .75 | 142.20 | 106.65 | |
| Totals | 24.00 | | 3,088.59 | |
| Total Professional Services | | | | 3,088.59 |
| | | | | Total this Phase \$3,088.59 |

Phase 06 Develop Action Plan and Monitoring and Evaluation Strategy

Professional Services

| | Hours | Rate | Amount | |
|--------------------------------------|-------|--------|--------|----------------------------------|
| Environmental Resources-Specialist V | 3.50 | 110.70 | 387.45 | |
| Totals | 3.50 | | 387.45 | |
| Total Professional Services | | | | 387.45 |
| | | | | Total this Phase \$387.45 |

Phase 09 Develop Interactive GIS Hub, Story Map, and Project Tracking Tool

Professional Services

| | Hours | Rate | Amount | |
|------------------------------------|-------|--------|----------|------------------------------------|
| GIS/CADD-Specialist V | 9.75 | 110.70 | 1,079.33 | |
| Planning-Specialist II | 1.00 | 81.90 | 81.90 | |
| Totals | 10.75 | | 1,161.23 | |
| Total Professional Services | | | | 1,161.23 |
| | | | | Total this Phase \$1,161.23 |

Phase 10 Design and Facilitate Public Outreach and Awareness

Professional Services

| | Hours | Rate | Amount | |
|---|-------|--------|----------|------------------------------------|
| Environmental Resources-Specialist V | 5.75 | 110.70 | 636.53 | |
| Environmental Resources-Specialist VIII | 4.00 | 142.20 | 568.80 | |
| Environmental Resources-Specialist X | 5.00 | 170.10 | 850.50 | |
| Environmental Resources-Specialist XI | .50 | 186.30 | 93.15 | |
| GIS/CADD-Specialist VIII | .75 | 142.20 | 106.65 | |
| Marketing-Specialist VII | 2.50 | 132.30 | 330.75 | |
| Marketing-Specialist VIII | 1.00 | 142.20 | 142.20 | |
| Totals | 19.50 | | 2,728.58 | |
| Total Professional Services | | | | 2,728.58 |
| | | | | Total this Phase \$2,728.58 |

| Contract Limits | Current | Prior | To-Date |
|------------------------|----------------|--------------|----------------|
| Total Billings | 12,472.24 | 19,504.62 | 31,976.86 |
| Limit | | | 174,955.50 |
| Remaining | | | 142,978.64 |

PLEASE PAY THIS AMOUNT ======> \$12,472.24

For any questions regarding this invoice please contact Tamara Mathew
Phone: 602.274.3831 Email: tamara.mathew@swca.com

Billing Backup

Thursday, May 7, 2026

SWCA, Incorporated

Invoice 244907 Dated 5/7/2026

4:01:51 PM

Project 00099294-000-AMH Central Pine Barrens Joint Planning and Policy Commission CWPP

Phase 01 Community Wildfire Protection Plan Content

Professional Services

| | | Hours | Rate | Amount |
|---|-----------|-------|--------|--------|
| Environmental Resources-Specialist V | | | | |
| Hughes, Adriana | 2/18/2026 | 1.25 | 110.70 | 138.36 |
| PM time - troubleshooting billing and email issues, update to press release | | | | |
| Hughes, Adriana | 3/3/2026 | 2.50 | 110.70 | 276.75 |
| February Progress Report and agenda, team communication, GIS requests | | | | |
| Hughes, Adriana | 3/4/2026 | .25 | 110.70 | 27.68 |
| team communication and update agenda | | | | |
| Hughes, Adriana | 3/5/2026 | 3.00 | 110.70 | 332.10 |
| admin meeting, follow up notes, follow up on action items, team communication | | | | |
| Hughes, Adriana | 3/6/2026 | .50 | 110.70 | 55.35 |
| check in with Ari, follow up on Action items | | | | |
| Hughes, Adriana | 3/16/2026 | 1.00 | 110.70 | 110.70 |
| check in with Ari and Liz, team communication | | | | |
| Hughes, Adriana | 3/17/2026 | 2.00 | 110.70 | 221.40 |
| prep agenda, follow up on action items, meeting with Emmanuel | | | | |
| Hughes, Adriana | 3/18/2026 | 1.25 | 110.70 | 138.38 |
| review feedback docs from Jason, | | | | |
| Hughes, Adriana | 3/19/2026 | .50 | 110.70 | 55.35 |
| team communication, update agenda, update | | | | |
| Hughes, Adriana | 3/20/2026 | 3.25 | 110.70 | 359.78 |
| admin meeting, edits to training material | | | | |
| Hughes, Adriana | 3/23/2026 | .50 | 110.70 | 55.35 |
| emails, check in with Ari, delegate to Grace | | | | |
| Hughes, Adriana | 3/24/2026 | .25 | 110.70 | 27.68 |
| emails | | | | |
| Environmental Resources-Specialist X | | | | |
| Porter, Ari | 2/25/2026 | .25 | 170.10 | 42.52 |
| PM | | | | |
| Porter, Ari | 2/27/2026 | .25 | 170.10 | 42.53 |
| PM | | | | |
| Porter, Ari | 3/2/2026 | .50 | 170.10 | 85.05 |
| PM | | | | |
| Porter, Ari | 3/3/2026 | .50 | 170.10 | 85.05 |
| PM | | | | |
| Porter, Ari | 3/5/2026 | 1.50 | 170.10 | 255.15 |
| monthly admin meeting | | | | |
| Porter, Ari | 3/20/2026 | 1.00 | 170.10 | 170.10 |
| monthly pm meeting | | | | |
| Porter, Ari | 3/23/2026 | .50 | 170.10 | 85.05 |
| core team comms | | | | |
| Environmental Resources-Specialist XII | | | | |
| Amato, Victoria | 2/16/2026 | .25 | 203.40 | 50.85 |
| coordination | | | | |

| Project | 00099294-000-AMH | Central Pine Barrens Joint Planning and | Invoice | 244907 | |
|----------------------------------|------------------------------------|---|---------|-------------------------|-------------------|
| Amato, Victoria | | 2/18/2026 | 1.00 | 203.40 | 203.40 |
| | coordination | | | | |
| Amato, Victoria | | 2/23/2026 | .50 | 203.40 | 101.70 |
| | coordination | | | | |
| Amato, Victoria | | 3/30/2026 | .25 | 203.40 | 50.85 |
| | coordination | | | | |
| Planning-Specialist IV | | | | | |
| Berski, Emmi | | 3/3/2026 | .25 | 102.60 | 25.65 |
| | Outline Review | | | | |
| Berski, Emmi | | 3/5/2026 | 1.00 | 102.60 | 102.60 |
| | Admin meeting and notes follow up | | | | |
| Project Controls - Specialist XI | | | | | |
| Powers, Stacy | | 3/3/2026 | .25 | 186.30 | 46.58 |
| | Project controls | | | | |
| | Totals | | 24.25 | | 3,145.96 |
| | Total Professional Services | | | | 3,145.96 |
| | | | | Total this Phase | \$3,145.96 |

| Phase | 02 | Establish Community Base Maps | Hours | Rate | Amount |
|------------------------------|--|-------------------------------|-------|-------------------------|-----------------|
| Professional Services | | | | | |
| GIS/CADD-Specialist V | | | | | |
| Jansen, Erica | | 3/16/2026 | 1.00 | 110.70 | 110.70 |
| | GIS Support - Mapping | | | | |
| Walters, Savannah | | 3/26/2026 | .50 | 110.70 | 55.35 |
| | Consolidating ownership data for Jerry | | | | |
| | Totals | | 1.50 | | 166.05 |
| | Total Professional Services | | | | 166.05 |
| | | | | Total this Phase | \$166.05 |

| Phase | 03 | Community Background Information, Fire History, and Fire Occurrence Data Collection | Hours | Rate | Amount |
|------------------------------|------------------------------|---|-------|--------|--------|
| Professional Services | | | | | |
| GIS/CADD-Specialist V | | | | | |
| Jansen, Erica | | 3/3/2026 | 1.00 | 110.70 | 110.70 |
| | GIS Support and Coordination | | | | |
| Jansen, Erica | | 3/23/2026 | .25 | 110.70 | 27.66 |
| | GIS Coordination | | | | |
| Jansen, Erica | | 4/6/2026 | .25 | 110.70 | 27.68 |
| | GIS Coordination | | | | |
| Jansen, Erica | | 4/7/2026 | .25 | 110.70 | 27.68 |
| | GIS Coordination | | | | |
| Jansen, Erica | | 4/8/2026 | .25 | 110.70 | 27.68 |
| | GIS Coordination | | | | |
| Jansen, Erica | | 4/9/2026 | .25 | 110.70 | 27.68 |
| | GIS Coordination | | | | |
| Jansen, Erica | | 4/10/2026 | 1.00 | 110.70 | 110.70 |
| | GIS Support - Land Ownership | | | | |

| Project | 00099294-000-AMH | Central Pine Barrens Joint Planning and | Invoice | 244907 | |
|------------------------------------|------------------|---|---------|-------------------------|-------------------|
| Walters, Savannah | | 4/8/2026 | 2.00 | 110.70 | 221.40 |
| Survey123 | | | | | |
| Planning-Specialist II | | | | | |
| Dominic, Grace | | 2/17/2026 | 4.00 | 81.90 | 327.60 |
| Previous Plan summary | | | | | |
| Dominic, Grace | | 2/23/2026 | 6.00 | 81.90 | 491.40 |
| Past Plan summary | | | | | |
| Dominic, Grace | | 3/3/2026 | 2.00 | 81.90 | 163.80 |
| past plans(summary) | | | | | |
| Dominic, Grace | | 3/24/2026 | 2.50 | 81.90 | 204.75 |
| Meeting notes | | | | | |
| Planning-Specialist IV | | | | | |
| Berski, Emmi | | 3/9/2026 | .25 | 102.60 | 25.65 |
| Fire department survey | | | | | |
| Totals | | | 20.00 | | 1,794.38 |
| Total Professional Services | | | | | 1,794.38 |
| | | | | Total this Phase | \$1,794.38 |

Phase 04 Conduct Hazard and Risk Analysis

Professional Services

| | | | Hours | Rate | Amount |
|---|--|-----------|-------|--------|--------|
| Environmental Resources-Specialist V | | | | | |
| Hughes, Adriana | | 3/9/2026 | .75 | 110.70 | 83.03 |
| GIS tix, team communications on GIS needs and training material for 1140 field work | | | | | |
| Hughes, Adriana | | 3/11/2026 | .50 | 110.70 | 55.35 |
| rescheduling, follow up on action items including training material | | | | | |
| Hughes, Adriana | | 4/2/2026 | .50 | 110.70 | 55.34 |
| March Progress Report | | | | | |
| Hughes, Adriana | | 4/3/2026 | 1.75 | 110.70 | 193.73 |
| check in with Ari, follow up on action items | | | | | |
| Hughes, Adriana | | 4/7/2026 | 2.25 | 110.70 | 249.08 |
| team communication, follow up on action items, review scope, logistics tickets | | | | | |
| Hughes, Adriana | | 4/8/2026 | 2.00 | 110.70 | 221.40 |
| follow up on action items, check in with Jason | | | | | |
| Hughes, Adriana | | 4/9/2026 | 1.00 | 110.70 | 110.70 |
| client communication, updating training presentation | | | | | |
| Environmental Resources-Specialist VIII | | | | | |
| Ayala, Montiel | | 4/7/2026 | 2.00 | 142.20 | 284.40 |
| NFPA 1144 training materials review and updates | | | | | |
| Ayala, Montiel | | 4/13/2026 | 1.00 | 142.20 | 142.20 |
| NFPA strategy | | | | | |
| Ayala, Montiel | | 4/14/2026 | 1.00 | 142.20 | 142.20 |
| NFPA strategy | | | | | |
| Environmental Resources-Specialist X | | | | | |
| Porter, Ari | | 3/16/2026 | 1.00 | 170.10 | 170.10 |
| risk analysis/PM | | | | | |
| Porter, Ari | | 3/18/2026 | .25 | 170.10 | 42.53 |
| risk analysis & maps | | | | | |
| Porter, Ari | | 4/16/2026 | 1.50 | 170.10 | 255.15 |
| PM | | | | | |

| Project | 00099294-000-AMH | Central Pine Barrens Joint Planning and | Invoice | 244907 | |
|--------------------------|------------------------------------|---|---------|-------------------------|-------------------|
| Porter, Ari | | 4/17/2026 | 2.00 | 170.10 | 340.20 |
| | risk assessment | | | | |
| GIS/CADD-Specialist V | | | | | |
| Jansen, Erica | | 3/17/2026 | 2.00 | 110.70 | 221.40 |
| | GIS Support - Field Map | | | | |
| Jansen, Erica | | 4/13/2026 | 2.00 | 110.70 | 221.40 |
| | GIS Support and Coordination | | | | |
| Jansen, Erica | | 4/14/2026 | 1.00 | 110.70 | 110.70 |
| | GIS Support and Coordination | | | | |
| Jansen, Erica | | 4/15/2026 | .25 | 110.70 | 27.68 |
| | GIS Support and Coordination | | | | |
| Jansen, Erica | | 4/17/2026 | .50 | 110.70 | 55.35 |
| | GIS Coordination | | | | |
| GIS/CADD-Specialist VIII | | | | | |
| Hitzfelder, Liz | | 2/20/2026 | .50 | 142.20 | 71.10 |
| | GIS | | | | |
| Hitzfelder, Liz | | 3/16/2026 | .25 | 142.20 | 35.55 |
| | GIS | | | | |
| | Totals | | 24.00 | | 3,088.59 |
| | Total Professional Services | | | | 3,088.59 |
| | | | | Total this Phase | \$3,088.59 |

| Phase | 06 | Develop Action Plan and Monitoring and Evaluation Strategy | Hours | Rate | Amount |
|--------------------------------------|---|--|-------|-------------------------|-----------------|
| Professional Services | | | | | |
| Environmental Resources-Specialist V | | | | | |
| Hughes, Adriana | | 4/13/2026 | 1.00 | 110.70 | 110.70 |
| | check in on action items with Ari, follow up on meeting logistics | | | | |
| Hughes, Adriana | | 4/14/2026 | 1.00 | 110.70 | 110.70 |
| | follow up on action items | | | | |
| Hughes, Adriana | | 4/17/2026 | 1.50 | 110.70 | 166.05 |
| | Meeting with Jason and field crew, follow up on action items with Ari | | | | |
| | Totals | | 3.50 | | 387.45 |
| | Total Professional Services | | | | 387.45 |
| | | | | Total this Phase | \$387.45 |

| Phase | 09 | Develop Interactive GIS Hub, Story Map, and Project Tracking Tool | Hours | Rate | Amount |
|------------------------------|--|---|-------|--------|--------|
| Professional Services | | | | | |
| GIS/CADD-Specialist V | | | | | |
| Jansen, Erica | | 2/10/2026 | .50 | 110.70 | 55.35 |
| | GIS Support - Hub Site Edits | | | | |
| Walters, Savannah | | 3/18/2026 | .75 | 110.70 | 83.02 |
| | Read through GIS comments from client, coordinated for meeting on Friday | | | | |
| Walters, Savannah | | 3/20/2026 | 1.25 | 110.70 | 138.38 |
| | Prep and meeting with admins | | | | |
| Walters, Savannah | | 4/3/2026 | 1.25 | 110.70 | 138.38 |
| | Hub site edits, survey edits | | | | |

| Project | 00099294-000-AMH | Central Pine Barrens Joint Planning and | Invoice | 244907 | |
|------------------------|---|---|---------|-------------------------|-------------------|
| Walters, Savannah | | 4/6/2026 | 2.00 | 110.70 | 221.40 |
| | Addressing Jason's comments | | | | |
| Walters, Savannah | | 4/7/2026 | 1.50 | 110.70 | 166.05 |
| | Address Jason's comments | | | | |
| Walters, Savannah | | 4/9/2026 | 2.00 | 110.70 | 221.40 |
| | Additional revisions, drafting responded document | | | | |
| Walters, Savannah | | 4/10/2026 | .50 | 110.70 | 55.35 |
| | Next public meeting addition | | | | |
| Planning-Specialist II | | | | | |
| Dominic, Grace | | 3/24/2026 | .50 | 81.90 | 40.95 |
| | Gis Request | | | | |
| Dominic, Grace | | 4/3/2026 | .50 | 81.90 | 40.95 |
| | GIS request | | | | |
| | Totals | | 10.75 | | 1,161.23 |
| | Total Professional Services | | | | 1,161.23 |
| | | | | Total this Phase | \$1,161.23 |

Phase 10 Design and Facilitate Public Outreach and Awareness

Professional Services

| | | | Hours | Rate | Amount |
|---|---|-----------|-------|--------|--------|
| Environmental Resources-Specialist V | | | | | |
| Hughes, Adriana | | 2/9/2026 | .75 | 110.70 | 83.03 |
| | meeting with Tim on press release, GIS ticket, team comms | | | | |
| Hughes, Adriana | | 4/8/2026 | 2.00 | 110.70 | 221.40 |
| | check in with Chloe and Montiel, | | | | |
| Hughes, Adriana | | 4/9/2026 | 1.00 | 110.70 | 110.70 |
| | GIS ticket and communication, updating flyer, | | | | |
| Hughes, Adriana | | 4/16/2026 | 2.00 | 110.70 | 221.40 |
| | monthly admin meeting and follow up on action items | | | | |
| Environmental Resources-Specialist VIII | | | | | |
| Ayala, Montiel | | 4/7/2026 | 1.00 | 142.20 | 142.20 |
| | Outreach materials review and updates | | | | |
| Ayala, Montiel | | 4/13/2026 | 1.00 | 142.20 | 142.20 |
| | Public flyer + survey translation | | | | |
| Ayala, Montiel | | 4/14/2026 | 1.00 | 142.20 | 142.20 |
| | Public flyer + survey translation | | | | |
| Ayala, Montiel | | 4/15/2026 | 1.00 | 142.20 | 142.20 |
| | Public flyer + survey translation | | | | |
| Environmental Resources-Specialist X | | | | | |
| Porter, Ari | | 2/9/2026 | .75 | 170.10 | 127.55 |
| | press release | | | | |
| Porter, Ari | | 2/12/2026 | .25 | 170.10 | 42.53 |
| | public engagement | | | | |
| Porter, Ari | | 3/17/2026 | 1.00 | 170.10 | 170.10 |
| | public outreach prep | | | | |
| Porter, Ari | | 4/1/2026 | .25 | 170.10 | 42.53 |
| | public outreach | | | | |
| Porter, Ari | | 4/3/2026 | 1.00 | 170.10 | 170.10 |
| | public outreach | | | | |
| Porter, Ari | | 4/6/2026 | .25 | 170.10 | 42.53 |
| | cwpp | | | | |

| Project | 00099294-000-AMH | Central Pine Barrens Joint Planning and | | | Invoice | 244907 |
|---------------------------------------|---|---|-------|--------|---------------------------|--------------------|
| Porter, Ari | | 4/7/2026 | .25 | 170.10 | 42.53 | |
| | outreach planning | | | | | |
| Porter, Ari | | 4/13/2026 | .50 | 170.10 | 85.05 | |
| | public meeting prep | | | | | |
| Porter, Ari | | 4/14/2026 | .25 | 170.10 | 42.53 | |
| | draft cwpp | | | | | |
| Porter, Ari | | 4/15/2026 | .50 | 170.10 | 85.05 | |
| | PM | | | | | |
| Environmental Resources-Specialist XI | | | | | | |
| Lewis, Chloe | | 4/8/2026 | .50 | 186.30 | 93.15 | |
| | public engagement materials | | | | | |
| GIS/CADD-Specialist VIII | | | | | | |
| Hitzfelder, Liz | | 4/16/2026 | .75 | 142.20 | 106.65 | |
| | GIS | | | | | |
| Marketing-Specialist VII | | | | | | |
| Williams, Cody | | 4/13/2026 | 1.25 | 132.30 | 165.37 | |
| | CWPP Flyer_Southampton Pine Barrens_EN_2026 | | | | | |
| Williams, Cody | | 4/14/2026 | .75 | 132.30 | 99.23 | |
| | CWPP Flyer_Southampton Pine Barrens_EN_2026 | | | | | |
| Williams, Cody | | 4/15/2026 | .50 | 132.30 | 66.15 | |
| | CWPP Flyer_Southampton Pine Barrens_SP_2026 | | | | | |
| Marketing-Specialist VIII | | | | | | |
| Simmons, Josh | | 3/26/2026 | 1.00 | 142.20 | 142.20 | |
| | Public meeting interactive posters | | | | | |
| | Totals | | 19.50 | | 2,728.58 | |
| | Total Professional Services | | | | | 2,728.58 |
| | | | | | Total this Phase | \$2,728.58 |
| | | | | | Total this Project | \$12,472.24 |
| | | | | | Total this Report | \$12,472.24 |



Central Pine Barrens Commission
 Meeting of May 20, 2026
 Draft Resolution to Approve
 645 Grumman Boulevard Core Preservation Area Hardship Waiver
 645 Grumman Boulevard, Calverton, Town of Riverhead
 SCTM Number 600-141-2-2.1

Present:
 , for the New York State Governor
 , for the Suffolk County Executive
 , Brookhaven Town Supervisor
 , Riverhead Town Supervisor
 , Southampton Town Supervisor

I. The Project and Project Site

Ryan P. McGarry
Chairman

Jerome Halpin
Member

Maria Z. Moore
Member

Daniel J. Panico
Member

Edward P. Romaine
Member

645 Grumman Boulevard LLC by its co-managing member (the Applicant) submitted an application to the Central Pine Barrens Joint Planning and Policy Commission (the Commission) to reuse three existing buildings for indoor agriculture/horticulture (the Project) on a 20-acre Project Site in the Core Preservation Area of the Central Pine Barrens.

The Project is development as defined by Article 57 of the Environmental Conservation Law (ECL) and, as such, the Applicant is seeking a waiver of the Long Island Pine Barrens Protection Act’s prohibition on new development in the Core Preservation Area from the Commission to proceed.

The Project Site is located at 645 Grumman Boulevard in Calverton, in the Town of Riverhead. The Project Site is in the Natural Resources Protection zoning district and has approximately 894.92 linear feet of frontage on Grumman Boulevard. The property is owned by Signature Partners, LLC. The Applicant purchased the property for \$750,000 in November 2025.

Approximately 10 acres of the Project Site is developed with three primary buildings, outbuildings including maintenance sheds, a parking lot with 337 spaces. The three primary structures, totaling 126,500 square feet, include: Building 1, which is two stories, contains 66,000 square feet; Building 2, which is three stories, contains 51,000 square feet; and Building 3 contains 9,500 square feet. Approximately 10 acres of the site contains an intact pine barrens ecological community.

II. The Long Island Pine Barrens Protection Act of 1993, the Commission, Development and the Central Pine Barrens Comprehensive Land Use Plan

The New York State Legislature approved the Long Island Pine Barrens Protection Act (Act) and codified it in Article 57 of the Environmental Conservation Law (ECL), which was signed into law on July 13, 1993. The Act, among other things, created the Central Pine Barrens Joint Planning and Policy Commission (Commission), to, among other

624 Old Riverhead Road
 Westhampton Beach, NY
 11978

Phone (631) 288-1079
www.pb.state.ny.us

things, oversee land use activities within the specially designated Central Pine Barrens Area. In furtherance of its mission and in compliance with the directives set forth in the Act, the Commission drafted the Central Pine Barrens Comprehensive Land Use Plan (the Plan), which was adopted on June 28, 1995.

ECL §57-0107 defines development to be the “performance of any building activity, . . . , the making of any material change in use or intensity of use of any structure or land. Without limitation the following uses shall be taken for the purposes of this article to involve development . . . (b) a material increase in the intensity of use of land or environmental impacts as a result thereof.” ECL §57-0123 provides that “no application for development within the Central Pine Barrens area shall be approved by any municipality, or county or agency thereof or the [C]ommission . . . unless such approval or grant conforms to the provisions” of the Plan and Environmental Conservation Law Section. The Project constitutes development as defined in the Act.

III. The Application, SEQRA, Public Hearing, Public Process and Supplemental Materials

Application

On January 9, 2026, the Applicant submitted a request for determination for the Project. On January 21, the Commission determined the Project constitutes development pursuant to the definitions in ECL Article 57.

On February 2, 2026, the Applicant submitted a Core Preservation Area Hardship Waiver Application with a cover letter and a written description, an Environmental Assessment Form Part I, building elevations and floor plans, a survey, site plan and drone photographs of the Project Site. Details and specifications concerning the Applicant’s proposal are depicted on the Site Plan prepared by Sendlewski Architects, P.C. last dated December 16, 2025 and the property survey dated November 5, 2025 prepared by Galls Surveying Group.

The Project, according to the Application, would proceed in a two-phased development plan. Each building on the Project Site is in a different condition of disrepair. Phase 1 is the priority and covers renovations to Building 1, built in 1988. Phase 1 also covers the parking lot rehabilitation including grading and resurfacing. Building 1 appears to require only aesthetic renovations including painting, window replacements and interior renovations including floor and bathroom repairs and sprinkler system upgrades.

Phase 2 is expected to commence within one year of the completion of Phase 1. It consists of renovations to Building 2, built in 1966. Building 2 is in greater disrepair, containing mold and asbestos and may need full replacement in its existing footprint. Building 3, built in 1984, also requires renovations including façade changes and will be renovated in Phase 2. The Applicant intends to “strip the buildings to their structural steel and concrete and then rebuild the exterior walls and interiors without changing the footprint or massing of the buildings.” Remediation of asbestos lead paint, mold and other items that need to be removed in a code compliant manner. Underground oil tanks and furnaces will also be removed in Phase 2.

The application indicates that once the Applicant completes building inspections, site and building evaluations and secures all required approvals, the Applicant would then determine which buildings

require aesthetic renovations and where significant structural modifications are necessary. Utility connections are required for the Project including electric and public water. The Site Plan identifies existing sanitary systems that would remain and those that would be removed.

The Applicant, if the application is approved, offers to preserve the existing 10 acres of existing natural pine barrens ecosystem that remains on the Project Site and protect it in a conservation easement to remain natural in perpetuity and revegetate 1.3 acres of the Project Site with native vegetation.

Public Hearing, Public Process and Supplemental Materials

On February 18, 2026 the Commission scheduled a public hearing on the Application and it was held on March 18. During the hearing, the Commission reviewed the Staff Report and Exhibits prepared for the hearing and received heard testimony from the Applicant. During the hearing, the Applicant detailed the project, and restated its application on how the Project satisfies the criteria required to demonstrate a hardship. The Applicant noted that it plans to offer the space, if approved, for agricultural uses, including potential wholesale cannabis grower. It stated that there will be no retail operations based on the Project Site.

In response to a question from a member of the Commission, the Applicant said that leases have not been secured for tenants yet. The mechanics of the wholesale business were discussed as well as renovations to buildings, uses of outbuildings and the amount of parking needed for the use.

One member of the public spoke, former Congressman George Hochbrueckner, who also submitted written comments and email correspondence in support of the Project, Hochbrueckner was involved in the transfer of 2,900 acres of Federally owned property to Riverhead Town in the 1990s and also previously worked on the Project Site on the Grumman F-14 'Tomcat Aircraft' for six years. The former Congressman expressed, it was believed, that the people of Riverhead would realize financial benefits from the re-activation of this property if the Application is approved.

The hearing was closed with the written comment period held open until April 15.

On March 31, supplemental materials were submitted by the Applicant including a letter and revised site plan prepared by Sendlewski Architects, P.C. last dated March 31, 2026, to address comments made at the public hearing. The letter explained that the revised site plan reflects a 94-space reduction in parking, allowing 57,657 square feet (1.3 acres) to be restored with native plants. On May 7, the Applicant provided additional clarity on work in each development phase. No other materials were received during the written comment period. A transcript of the hearing was received and distributed to the Commission and posted on the Commission website.

State Environmental Quality Review Act (SEQRA) and Other Required Approvals

The Project is a Type I Action pursuant to 6 NYCRR Part 617.5(c)(9) of the State Environmental Quality Review Act (SEQRA) because work on facilities in the Project, a non-residential use, exceeds 4,000 square feet (Part 617.5(c)(9)), and as an Unlisted Action, it exceeds the 25 percent threshold since it is contiguous to publicly-owned open space (Part 617.4(b)(10)).

On February 18, the Commission commenced the SEQRA process to coordinate the Project for Lead Agency. Responses were received from the New York State Department of Environmental Conservation (NYSDEC), the Suffolk County Department of Health Services (SCDHS) and Riverhead Town. No other agency requested lead agency status.

NYSDEC commented by letter dated March 12 on several environmental subjects including freshwater wetlands, listed wildlife and other jurisdictional authorities, groundwater remediation and the source of water supply for the Project. The letter discussed the nearby presence of regulated freshwater wetlands and the site's location within the Scenic River corridor of the Peconic River designated under the Wild, Scenic and Recreational Rivers System pursuant to ECL Article 15. The letter noted the presence of federally-listed endangered species, regulated under Articles 11 and 15, and an endangered wildlife habitat within its jurisdiction requiring review under endangered species regulations, 6 NYCRR Part 182 in the vicinity of the Project Site.

NYSDEC advised, "This parcel is located adjacent to a state superfund program named Calverton NWIRP, Site Code: 152136, and is within the PFAS plume of this former Navy site." The letter also noted, "The applicant intends to utilize an existing non-community well as the water supply for the building. This may require a new water withdrawal permit from NYSDEC Division of Water and that division should be included in any future correspondence related to water supply."

Riverhead Town responded on March 16 deferring Lead Agency status to the Commission.

Suffolk County Department of Health Services (SCDHS), by letter dated February 27, deferred lead agency status and commented on Sanitary Code and SCDHS jurisdiction including:

- The Department's Office of Wastewater Management has received a commercial wastewater application for the above referenced parcel on 7/7/2000, filed under reference # C06-00-0025, as required by Article VI of the Suffolk County Sanitary Code. The commercial application is as of 2/27/2026 pending.
- The SCDHS maintains jurisdiction over the final use and size of the property. The applicant, therefore, should not undertake the subdivision without Health Department approval. Density and complete site plan details are essential to the review of this project. These considerations are reviewed completely at the time of SCDHS application.

IV. The Project Site, Immediate Vicinity and Study Area

The Project Site is on the south side of Grumman Boulevard. It is immediately bound by a private golf course, Swan Lake Golf Course, to the east and public land to the south and west.

The Staff Report defined a Study Area which analyzed, in general, the land use and ownership of property within a one-half mile radius of the Project Site.

Within the Study Area, north of the Project Site in the Enterprise Park at Calverton (EPCAL), where a substantial amount of Riverhead Town-owned land, developed and undeveloped, is present. Developed commercial and industrial land uses are also present at EPCAL. The dominant land use in the Study Area south of Grumman Boulevard and west of the Project Site is public open space.

To determine the Project’s potential impact on historic and cultural resources in the immediate area of the Project site, the Commission requested information from the New York State Office of Parks, Recreation and Historic Preservation (OPRHP). By letter dated April 8, 2026, the OPRHP replied, “No properties, including archaeological and/or historic resources, listed in or eligible for the New York State and National Registers of Historic Places will be impacted by this project.”

V. Precedential Applications Considered by the Commission

The Commission finds the approval of the Hardship Exemption Waiver would be consistent with its prior Hardship Exemption Waiver decisions.

Within the Study Area, in a prior matter, on October 17, 2001, the Commission approved the Core Hardship Waiver application of Swan Lake Golf Course to construct two building additions totaling 2,729 square feet to an existing 3,951-square-foot clubhouse building and construction of a septic system.

Prior matters identified outside of the Study Area include:

- On June 15, 2011, the Commission approved the Core Hardship Waiver application of JCJC Holding Company, Inc. in the Core in Hampton Bays for a use variance, for a commercial use in a residential zone, to reuse a building and site that was formerly occupied by police barracks to a landscape contractor with no additional clearing activity or building expansion.
- On June 21, 2017, the Commission approved the Core Hardship Waiver application of Starbucks in the Core in Manorville for a use variance to reuse a building and site formerly occupied by a bank for a drive through restaurant. The application was procedurally similar. The Project did not expand the building and there was no material alteration of grade or vegetation or excavation.
- On March 17, 2021, the Commission determined that the activity at the site of Kent Animal Shelter in the Core in Calverton to renovate existing buildings and construct an on-site alternative septic system for the existing shelter was “non development,” pursuant to the definitions in the Act.
- On November 15, 2023, the Commission approved the Core Hardship Waiver application for Taco Bell Mangogna in Manorville to demolish an abandoned restaurant and rebuild the site with a new drive through restaurant.

VI. Commission Review of Application and Findings

ECL §57-0121(10)(a) Extraordinary Hardship Waiver Criteria Review

In reviewing a Core Preservation Area Extraordinary Hardship Waiver Application, the Commission is required to consider the criteria set forth in ECL §57-0121(10)(a) and (c) to determine whether an applicant has established the existence of extraordinary hardship as distinguished from a mere inconvenience, whether the requested relief is consistent with the purposes, provisions of the Act, and if granted, would not result in a substantial impairment of the resources of the Central Pine Barrens area. An applicant demonstrates the existence of an extraordinary if it demonstrates, based on specific facts,

that the subject property does not have any beneficial use if used for its present use or developed as authorized by the provisions of this article, and that this inability to have a beneficial use results from unique circumstances peculiar to the subject property under certain conditions.

The Commission has considered the application, the Staff Report and Exhibits, transcripts of the hearings, and its prior decisions and finds that the Applicant has demonstrated that an extraordinary hardship exists.

The Applicant purchased the property to establish an indoor agricultural facility. The Applicant seeks to provide a suitable facility to grow crops indoors under secure and controlled conditions. Agriculture is a permitted use in the NRP zoning district. The former manufacturing use of the Project Site does not conform with the current zoning district governing the site's uses. The Applicant asserts it is re-establishing a use in the case of Buildings 1 and 3 and may reconstruct a replacement building of the same area and footprint in the case of Building 2.

The hardship is imposed by the presence of the site in the Core Preservation Area. No change in the footprint—there would be no expansion of structures that existed prior to the Act and no expansion of building envelopes—are proposed. The Project will reuse existing development in the Core Preservation Area and rehabilitate the site from its shuttered condition.

There are circumstances that are peculiar to the Project Site and do not affect other property in the immediate area because the existing development areas of EPCAL are in the CGA. These circumstances relate to or arise out of the characteristics of the subject property and not the personal circumstances of the Applicant because the site has been unoccupied and abandoned for three decades and the reuse of the site, buildings and parking lots, requires require renovation and rehabilitation by an owner or occupant of the property that seeks to actively reuse it. They are not the result or any action or inaction of the Applicant because prior to the Applicant, the site fell into disrepair. Re-establishing a presence on the property requires renovations of facilities to conform with current building codes and other standards for occupancy, regardless of use or applicant.

The site presently has no beneficial use. Reusing the site without expanding the footprint, or size of the facilities provides a beneficial use to the Applicant. The Applicant states the Project's proposal and the geographically isolated location of the Project Site do not affect neighboring properties or properties in the Study Area. The use of the site is planned to be in harmony with the site's physical boundaries and results in no disturbance to the existing pine barrens ecosystem and groundwater resources.

The Applicant states the inability to have a beneficial use results from unique circumstances peculiar to the subject property which are not the result of any action or inaction by the Applicant or the owner or their predecessors in title, including any transfer of contiguous lands which were in common ownership on or after June 1, 1993. The Commission finds that the Applicant has demonstrated such criteria.

The Applicant states the Project will not be materially detrimental or injurious to other property or improvements in the area in which the subject property is located, increase the danger of fire, endanger public safety or result in substantial impairment of the resources of the Core Preservation Area. The Commission finds the Project will reuse developed area of the site while protecting the natural pine barrens located on the undeveloped area of the site. This activity demonstrates conformance with these criteria.

The Commission finds the waiver is consistent with the purposes, objectives or the general spirit and intent of Article 57 as the Project Site or portion thereof was developed prior to the Act, and the Project preserves the area of the Project Site that is presently a natural pine barrens ecosystem. Additionally, the Project will restore with native plants an area covering 1.3 acres of the Project Site that is not needed and is mitigation for the Project.

The Commission finds the waiver is the minimum relief necessary to relieve the extraordinary hardship on behalf of the Applicant to meet their needs and minimize adverse impacts on the Project Site in the Core Preservation Area to the greatest extent practicable. The reuse of developed areas with no expansions of built facilities and preservation of 10 acres of pine barrens habitat are the minimum relief necessary to grant a waiver.

The Commission finds that the Application is consistent with its precedential matters because the Project will renovate existing facilities with no expansions of buildings or footprints and no material alteration of grade or vegetation.

The Commission hereby determines the Hardship Waiver application, as submitted, satisfies the criteria for a Core Preservation Area Extraordinary Hardship Waiver pursuant to New York State ECL Article 57 §57-0121(10) for the reasons set forth in this resolution.

VII. SEQRA

The Commission has considered all of the materials submitted in connection with the Application including the transcript of the public hearing and the Parts 2 and 3 of the Environmental Assessment Form (EAF) and finds the Applicant has established the existence of a hardship pursuant to the criteria set forth in the Act is consistent with the purposes and provisions of ECL §57-0123(3)(b) and would not result in substantial impairment of the resources of the Central Pine Barrens area. The Commission finds the approval of the hardship waiver application will not have a significant adverse environmental impact and hereby authorizes the issuance of a Negative Declaration pursuant to the SEQRA regulations.

An elaboration of the elements in Part II of the EAF is provided with no significant adverse environmental impacts identified as a result of the Project. No adverse environmental impacts will occur to existing air quality, ground or surface water quality or quantity, traffic or noise levels. Ground and surface water quality and quantity will not be affected by the Project. To the extent it is necessary, the Applicant will coordinate with agencies including NYSDEC and others, if and where applicable legacy contamination is identified and will seek coordinated opportunities for remediation for public health and safety to reuse the Project Site.

No adverse noise impacts will occur because of the Project. Construction activities will generate noise; however, construction impacts will be temporary and are not expected to result in adverse impacts on neighboring properties including commercial and industrial uses and residential properties in proximity to the Project Site.

Freshwater wetland habitat is situated in proximity to the Project Site; however, no disturbance will occur to the existing natural wooded area serving as a natural buffer to the developed portion of the Project Site. Therefore, no adverse impact to wetlands will occur. The Applicant will obtain a NYSDEC Freshwater Wetlands Permit at the direction of NYSDEC.

The Project will not create septage beyond the as-of-right amount. The Applicant will apply for review and approval of sanitary systems from the Suffolk County Department of Health Services. No increase in erosion or runoff will occur. The Project will adhere to stormwater control and stormwater pollution prevention measures to retain runoff on site and protect adjacent properties if and when site demolition and construction activities are planned. No increase in solid waste production or substantial increase in potential for erosion, flooding, leaching or drainage problems will occur because of the Project. Drainage structures to capture stormwater will be installed for the Project.

The existing parking lot will be regraded and resurfaced. Erosion control measures will be employed to avoid erosion, flooding and drainage impacts. No solid waste, beyond that customary to a construction project, will be produced by the Project.

NYSDEC, by letter dated March 12, 2026, raised the site's proximity to habitats of a federal and state-listed endangered mammal and a state-listed endangered amphibian and directed the Applicant to obtain any and all required permits to protect listed endangered species and their habitats. The Project retains approximately 10 acres of intact natural pine barrens habitat, and it will be protected in perpetuity through the filing of a conservation easement granted to the Commission.

The Project does not involve the removal or destruction of large quantities of vegetation or fauna, or the substantial interference with the movement of any resident or migratory wildlife species or cause significant adverse impacts on significant habitat areas. Therefore, no adverse impacts to natural resources will occur because of the Project.

The Project Site is within designated Critical Environmental Areas (CEA), the Central Suffolk Pine Barrens, designated by Suffolk County in 1988 to benefit health and protect drinking water. However, the Project does not adversely affect the CEA and potential former contamination will be remediated to public health and safety standards to accommodate the reuse of the site and buildings. The Project will not result in the material conflict with a community's current plans or goals as officially approved or adopted. The Project will reuse the portion of a site that is presently vacant and abandoned and contains development including buildings and parking lots and will leave intact and protect the undeveloped portion of the site that is presently a natural pine barrens ecosystem.

The Project will not result in the impairment of the character or quality of important architectural or aesthetic resources or of existing community or neighborhood character.

As noted, according to correspondence dated April 8, 2026 from the Division for Historic Preservation within the New York State Office of Parks, Recreation and Historic Preservation the “[p]roject will have no impact on archaeological and/or historic resources listed in or eligible for the New York State and National Registers of Historic Places.”

No major change in the use of either the quantity or type of energy consumed on site will occur under the Project. No adverse impacts on human health will occur because of the Project.

The Project Site is not presently in an agricultural district; however, once the agriculture/horticulture use is in place, the owner/operator may seek to apply for an agricultural district classification.

It is reasonably anticipated, based on the Application, that the Project, as a wholesale agricultural business, will not encourage or attract a large number of people to the Project Site.

It is reasonably anticipated, based on the Application, that the Project will not result in the material conflict with a community's current plans or goals as officially approved or adopted.

No adverse cumulative impacts from two or more of the Project elements when considered together are anticipated to result in a substantial adverse impact on the environment. There are no reasonably related adverse long-term, short-term, direct, indirect and cumulative impacts from the Project.

VIII. Conclusion

Based on the foregoing and upon review of the application, the Commission hereby grants the waiver requested by the Applicant. The Waiver is granted only for this specific project. No other uses or development of the site is permitted.

Aside from this Waiver, the Applicant must obtain any and all other permits and approvals from other agencies including the NYSDEC, SCDHS and the Town of Riverhead.

The 645 Grumman Boulevard Core Preservation Area Hardship Waiver is approved, as per the Site Development Plan prepared by Sendlewski Architects, P.C. last dated March 31, 2026, subject to conditions including:

1. The Waiver shall be valid for a period of five (5) years from the date of approval, and a new application will be required after 5 years even for the same project and survey.
2. The Waiver is granted only for this specific Project as shown on the Site Plan prepared by Sendlewski Architects, P.C. and dated March 31, 2026. Applicant must submit any updates in the Project if they occur. No material changes to the Project may be implemented without prior Commission written approval. If any changes occur in the Project, the Applicant must notify the Commission and submit an amended application, subject to review and approval.
3. Applicant must obtain all required permits and approvals for the Project prior to site disturbance, including prior to site work in preparation of building and parking lot renovations and general reuse, not including test borings or other minor activities for the purposes of surveying and data gathering, site testing and monitoring for potential contamination and remediation. Restoration or remediation of potential prior contamination should be noticed and presented for review to the Commission in advance of any site disturbance that involves the material alteration of vegetation, grade or excavation.
4. Applicant must obtain additional permits and approvals, as required by law, prior to commencement of activity related to the Project, including Town of Riverhead Planning, Building and Water District and SCDHS review and approval and any other approvals and permit requirements that apply to the Project.
5. Applicant must coordinate the Project with NYSDEC Region 1: Division of Environmental Permits to address all permit requirements, including protection of state and federally-listed

endangered species, freshwater wetlands and any other jurisdictional requirements and authorities; and NYSDEC Region 1 Division of Water for non-community well use, if applicable.

6. No Pine Barrens Credits can be redeemed on the Project Site, and no part of the Project Site is eligible for a credit allocation in the Pine Barrens Credit Program.
7. No clearing or disturbance of trees or other natural vegetation present on the Project Site shall occur other than removal of dead or hazardous trees growing in building foundations due to the abandoned condition of the site and deferred property maintenance.
8. Applicant must install snow fencing along the tree line and natural vegetation to protect the natural area during construction and remove snow fencing post-construction.
9. Applicant must prepare and submit a draft Declaration of Covenants and Restrictions granted to the Commission barring the construction of any other structure(s) and uses on the property.
10. Applicant must prepare a draft Conservation Easement to the satisfaction of the Commission, granted to the Commission, to protect the Project Site's 10 acres of existing natural vegetation.
11. Within six months of completion of the Project and issuance of a Certificate of Occupancy, the Applicant shall submit an As-Built Survey for the Commission's file record.

645 Grumman Boulevard Calverton Core Preservation Area Hardship Waiver

Town of Riverhead, SCTM # 600-141-2-2.1

Decision to Approve

Record of Motion:

Motion by:

Seconded by:

In Favor:

Opposed:

Abstention:

Absent:

cc: Town of Riverhead Planning Department and Riverhead Water District
NYSDEC Division of Environmental Permits Region 1 and NYSDEC Division of Water
Suffolk County Department of Health Services

Hargrave, Julie

From: Andrew Weiss <weiss@signaturepartners.com>
Sent: Thursday, May 7, 2026 3:55 PM
To: Hargrave, Julie
Subject: 645 Grumman Blvd. / Calverton

CAUTION: This email originated from outside of SCWA. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Julie,

Hope all is well.

Per our conversation earlier this week, I am happy to provide you with the following clarifications:

1. While we believe that the answers that we provided in the EAF are complete, we are pleased to answer any questions that the Commission may have. Our lead architectural / engineering consultant, Arthur Rast, will attend the next meeting. In addition, William Bowman of Land Use Ecological Services, will attend the meeting to answer any questions regarding the DEC requested information.
2. Regarding the timeline for Phase 2, we anticipate commencing Phase 2 within a year of the completion of Phase 1. It is difficult to provide exact dates as we still need to go through the planning process with the Town of Riverhead.
3. Regarding our plans for Phase 2, as previously discussed, we intend to strip the buildings to their structural steel and concrete and then rebuild the exterior walls and interiors without changing the footprint or massing of the buildings. We will remediate any ACM, lead paint, mold and other items that need to be removed in a code compliant manner. We will also remove the remaining underground oil tanks and furnaces.
4. We have had preliminary discussions with Riverhead Planning, the Department of Health and Riverhead Water, but the substantive discussions will happen after the Central Pine Barrens process is complete.
5. We have had preliminary discussions with prospective tenants and believe that there is robust demand. As we move forward with the Riverhead Town planning process, we will begin marketing the space to prospective tenants on a wide scale.

Thank you.

Andy

Andrew M. Weiss, Jr.
Chief Executive Officer
Signature Partners LLC
200 Madison Avenue, Suite 1910
New York, NY 10016

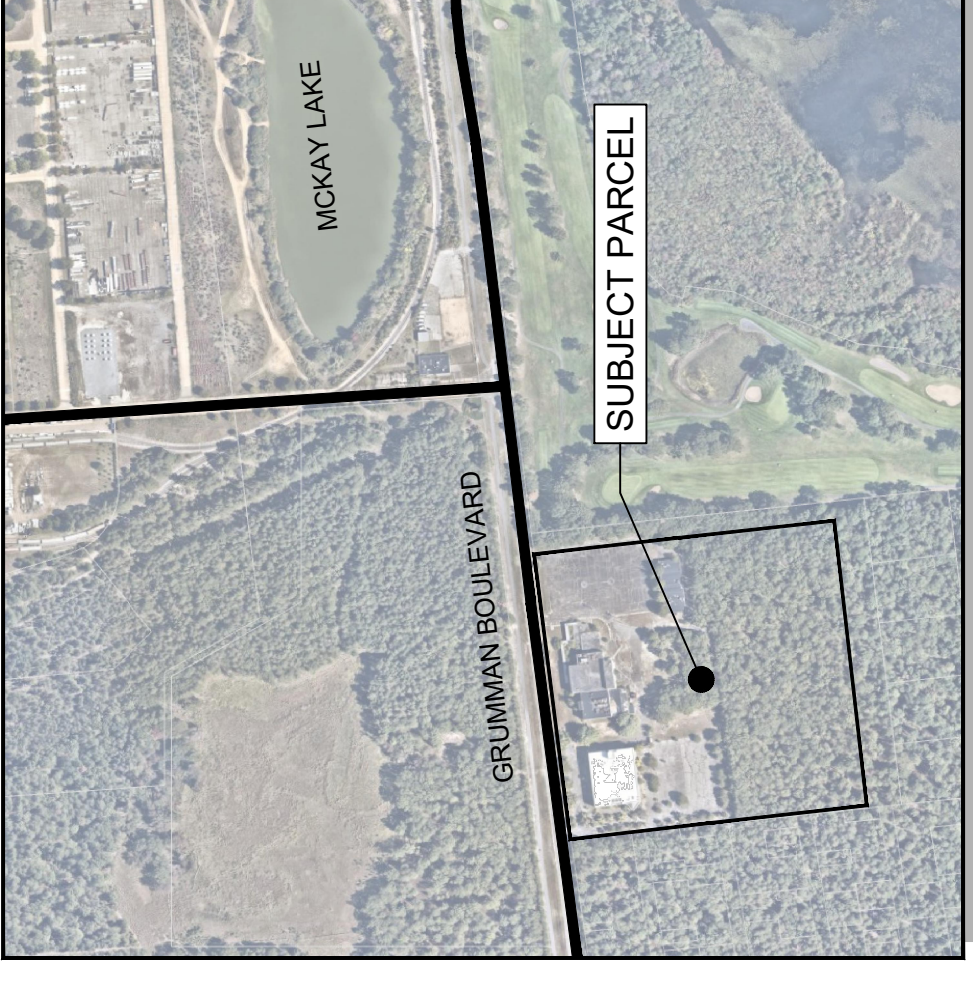
weiss@signaturepartners.com

p. 212.813.3567
c. 917.971.3139

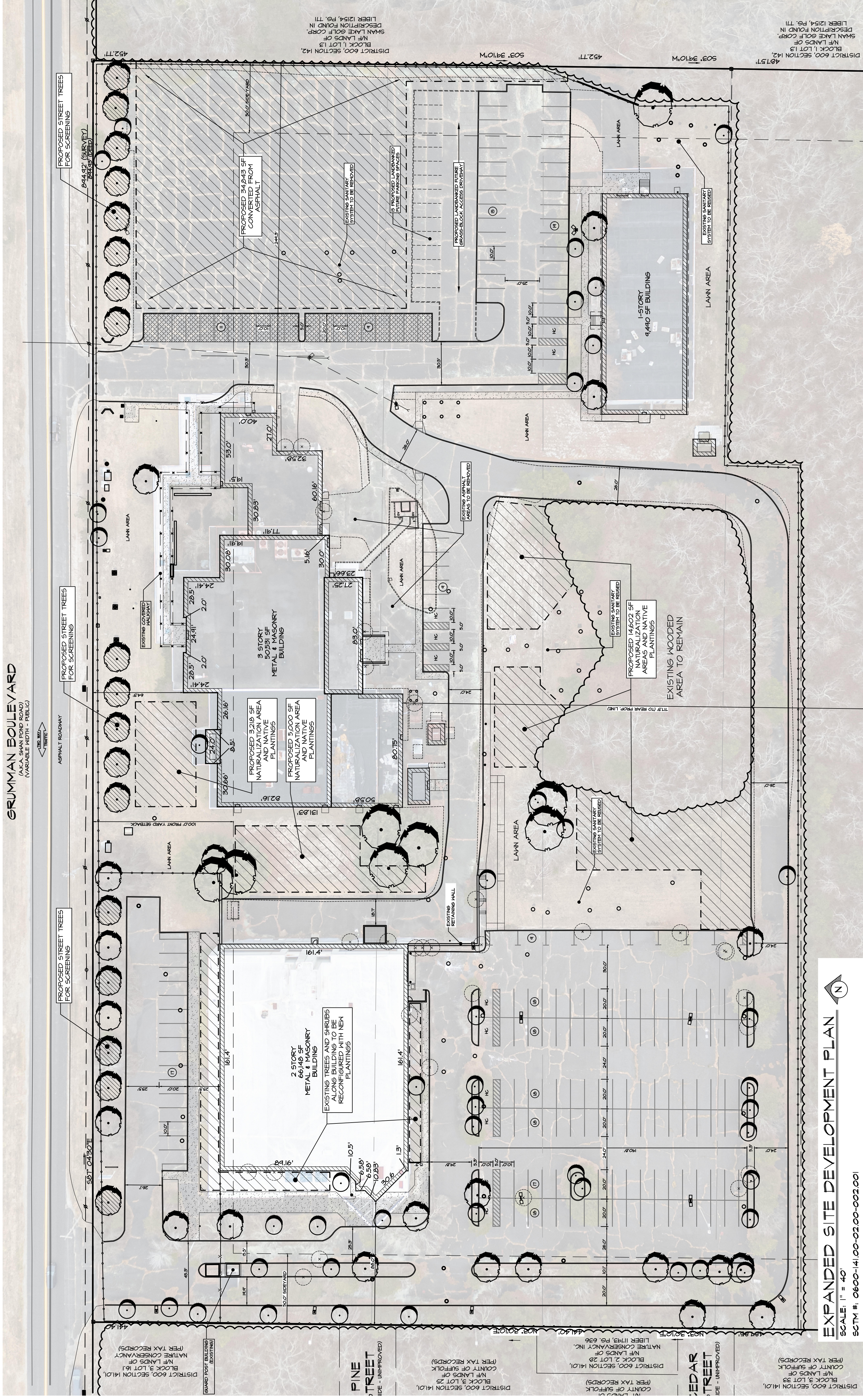
ZONING DATA
NATURAL RESOURCE PROTECTION (NRP)

| ITEM | REQUIRED | EXISTING | PROPOSED |
|---------------------------------|------------------------------------|--------------------------|--------------------------|
| DIMENSIONAL REQUIREMENTS | | | |
| MIN. LOT AREA | 40,000 SF | 835,337 SF (11,116.7 AC) | 835,337 SF (11,116.7 AC) |
| MIN. LOT WIDTH | 150 FT | 844.42 FT | 844.42 FT |
| MAX. LOT COVERAGE | 25% OF 835,337 SF OR 209,834 SF | 7.1% OR 60,081 SF | 7.1% OR 60,081 SF |
| MAX. FAR | 5% OF 835,337 SF OR 41,767 SF | 15% OR 126,164 SF | 15% OR 126,164 SF |
| MAX. IMPERVIOUS | 7% OF 835,337 SF OR 68,479 SF | 32% OR 264,219 SF | 18.2% OR 151,785 SF |
| MAX. BUILDING HEIGHT | 35 FT OR 2-1/2 STORIES | 50 FT | 50 FT |
| SETBACKS | | | |
| FRONT YARD | 100 FT | 30.1 FT | 30.1 FT |
| SIDE YARDS | 50 FT | 8.8 FT | 8.8 FT |
| SIDE YARDS (COMBINED) | 100 FT | 371.3 FT | 371.3 FT |
| REAR YARD | 100 FT | 711.3 FT | 711.3 FT |

| PARKING REQUIREMENTS | |
|----------------------------|---|
| EXISTING/PROPOSED USES | INDOOR AGRICULTURE GROW FACILITY (AGRICULTURE BUILDING) |
| PARKING COUNT | 126,164 SF / 300 SF = 416.6 = 420 SPACES REG. (AGRICULTURE BUILDING) 15% OFF-PARKING VALUE FROM PARKING SPACES (CIRCLED) EXISTING PARKING: 305 SPACES PROPOSED PARKING SPACES: 196 SPACES PROPOSED LANDBANK SPACES: 15 SPACES TOTAL PROPOSED: 211 SPACES NET CHANGE: 94 SPACE REDUCTION |
| HANDICAP ACCESSIBLE SPACES | PER NYSEC TABLE 1106.11: 4 SPACES |



LOCATION MAP
SCALE: 1" = 600'



EXPANDED SITE DEVELOPMENT PLAN
SCALE: 1" = 40'

NOTES:
1. THIS PLAN REFERENCES A SURVEY BY GALLAS SURVEYING GROUP DATED NOVEMBER 5TH, 2025

ISSUED
DATE: 12-16-2025
SCHEMATIC SITE PLAN
08-31-2026
REVISED AND RESUBMITTED FOR PRC REVIEW

SEAL
ARCHITECT
SENDEWSKI ARCHITECTS, P.C.

SENDEWSKI ARCHITECTS, P.C.
ARCHITECTS - PLANNERS
215 ROANOKE AVENUE
RIVERHEAD, NY 11901
(631) 727-5332

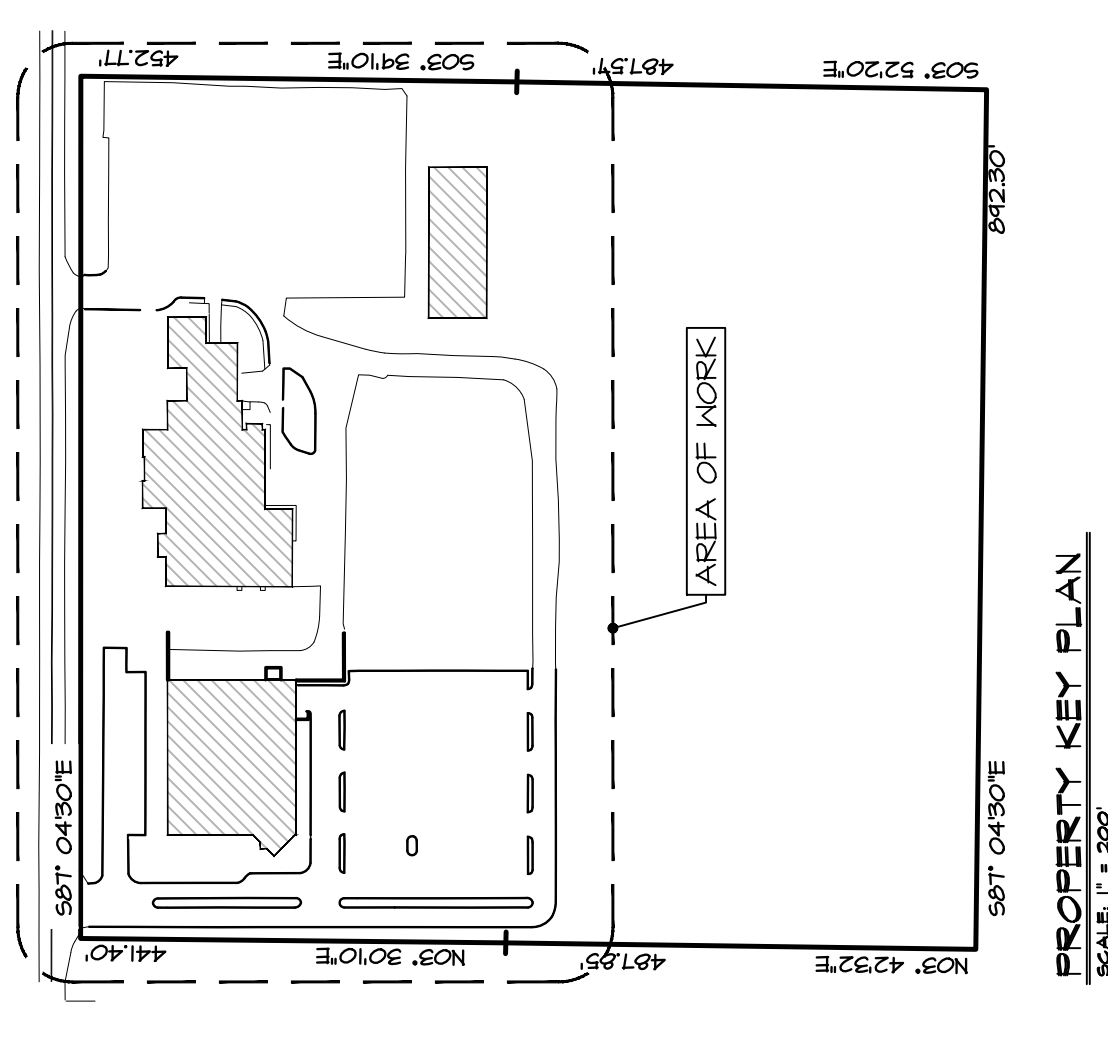
PROPOSED ADAPTIVE REUSE
645 GRUMMAN BOULEVARD
CALVERTON, NY 11949
SITE DEVELOPMENT PLAN

PROJECT No. 2511

CHECKED BY: AR

DRAWING:

SP-100



PROPERTY KEY PLAN
SCALE: 1" = 200'

LEGEND




- EXISTING TREE (40" CALIPER OR MORE)
- EXISTING TREE (20" TO 39" CALIPER)
- EXISTING TREE (5" TO 19" CALIPER)
- PROPOSED STREET TREE
- EXISTING TREE/SHRUB TO BE REMOVED
- EXISTING CURB / ASPHALT TO BE REMOVED
- PROPOSED NATURAL RECLAMATION/PLANTING AREAS
- PROPOSED SIDEWALK
- PARKING SPACE
- GRASS BLOCK (PERMEABLE) PARKING SPACE

645 Grumman Boulevard, Calverton

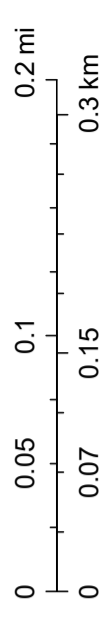


1/13/2026, 10:43:29 AM

Street Labels

-  Freshwater Wetlands
-  Pine Barren Core
-  Pine Barren CGA
-  Tax Parcels

1:6,240





May 20, 2026

John Armentano
 Partner
 Farrell Fritz
 100 Motor Parkway, Suite 300
 Hauppauge, NY 11788
 email: jcarmentano@farrellfritz.com

RE: Elite Towers at Peconic River Sportsman’s Club
 1 Connecticut Avenue, Manorville, Town of Brookhaven
 SCTM Number 200-298-1-1
 Core Preservation Area of the Central Pine Barrens

Dear Mr. Armentano:

On May 5, 2026, the Central Pine Barrens Commission office received your submission concerning the above referenced property owned by the Peconic River Sportsman’s Club (PRSC). Your firm represents PRSC. PRSC’s property is in the Core Preservation Area of the Central Pine Barrens area as designated by the Long Island Pine Barrens Preservation Act (the “Act”). The Act defines uses or operations as either development or non-development and in the Core Preservation Area, development may not occur without a Commission exemption from this general prohibition.

Ryan P. McGarry
Chairman

Jerome Halpin
Member

Maria Z. Moore
Member

Daniel J. Panico
Member

Edward P. Romaine
Member

Existing Conditions and the Proposed Project

PRSC’s property is located on the west side of Connecticut Avenue and south side of River Road in Manorville in the Towns of Brookhaven and Riverhead. A portion of Peconic River headwaters is present on the property. PRSC operates a 120-acre private shooting club on the property. In 2005, PRSC granted a conservation easement on the property to the Commission. The easement contains the rights PRSC retained, including the right to continue to use the property for the private shooting club, and those it forego, such as the right to request a hardship exemption to allow development on the property or to commence certain types of non-development. In exchange, PRSC received 7.99 Brookhaven Pine Barrens Credits and 9.26 Riverhead PBCs.

The submission includes a cover letter, site plan, cell coverage map, a copy of the conservation easement and copies of letters in support of the project from Riverhead Fire District, Manorville Fire District, and Suffolk County Detectives Association, Inc.

The Site Plan, dated May 2, 2025, prepared by WFC Architects, identifies the Project consisting of construction of a 150 foot tall cell tower and construction of a 1,525 square foot equipment compound. Five equipment basins are proposed: one for AT&T, one for Manorville Fire District and three “future” lease spaces.

Through your letter, PRSC asserts that the construction of a wireless communication facility is non-development under the Act and permitted under the conservation easement or in the alternative, the conservation easement on the property should be modified to allow PRSC to make application to construct the facility.

PRSC has requested to perform other activities in the past. In 2004 (before the easement was granted) the Commission authorized PRSC to construct a 360 square foot pump house

624 Old Riverhead Road
 Westhampton Beach, NY
 11978

Phone (631) 288-1079
www.pb.state.ny.us

for fire suppression purposes. In 2006, the Commission denied a PRSC request to construct a new 2,520 square foot concrete slab, as it exceeded the uses permitted by the easement. In 2012, the Commission authorized the in-kind replacement of a 600 square foot building.

Central Pine Barrens status

Conservation Easement

PRSC, under the easement, did retain the right to undertake public improvements necessary for the health, safety, or welfare of the public if the improvements are consistent with the goals and objectives of the Act. This is the basis of PRSC's contention that it may proceed with the project for it alleges that the construction of the facility is a public improvement and it is consistent with the Act and thus non-development and a retained right.

Alternatively, if the Commission determines the non-development public improvement provision does not apply to the Project, PRSC contends that the Commission could amend the easement to remove the prohibition on applying for a hardship exemption to allow it to submit its application. Under this scenario, PRSC would be subject to the Commission's discretionary authority to permit otherwise prohibited development in the Core Preservation Area on a showing that the parcel on which the development is proposed has no other beneficial use.

Response

The Commission has addressed these types of requests before. The Commission has repeatedly determined that the construction of a wireless communication facility is development, and it has not amended a conservation easement granted to it in exchange for PBCs to allow a material change to the property protected by the easement occur.

In response to referrals from other agencies or applications for wireless communications facilities the Commission has consistently determined that their construction is development and must conform with the Comprehensive Land Use Plan. Sometimes, the project sponsor would argue that their project was a public improvement, or another operation or use deemed to be non-development by the Act, and thus outside the Commission's jurisdiction. However, the Commission has not accepted this proposition and has required applications in each instance.

This type of determination was made in the following matters:

- NYS Office for Technology Statewide Wireless Network (2005),
- Gazza Monopole (2010)
- Suffolk Towers on CR 21 (2010)
- East Moriches Fire District (2013)
- Rockwell Collins (2015)
- Verizon at Suffolk County STP (2020 and 2026)
- Homeland Towers (2025)
- Elite Towers at Country Farms (2026)

PRSC is correct that the Commission has modified an easement - and then further approved modifying the same easement - granted to it in exchange for Pine Barrens Credits. However, the character of the resources protected by the easement did not change after the amendment. The property involved is owned by the Nassau County Council of Boy Scouts. And the amendment permitted a nonmaterial accommodations to facilitate a use permitted under the easement. The Scouts were allowed to reconstruct a kitchen facility that was destroyed by fire. The footprint of the replacement facility was in the same place as the original kitchen.

DRAFT

The modification that was approved, but not executed, authorized the Scouts reduce the size of a future cabin that was a retain right in exchange for increasing the size of an existing cabin by the same amount. This authorization has since expired. PRSC's application, if granted may create material change to the resources protected by the easement and is not consistent with the Commission precedents.

Based on the foregoing, the project may not proceed as currently proposed because it neither qualifies as a public improvement nor is it consistent with PRSC's promise contained in the easement not to submit a hardship application. The Commission elects not to exercise its authority to amend the easement to allow an hardship application because if granted it may cause a material change to the resources protected by the easement.

Thank you for your attention, and if you have any questions, please contact me at (631) 218-1192.

Sincerely,

Julie Hargrave
Interim Executive Director

cc: John C. Milazzo, Counsel to the Commission
Jerry Tverdyy, Senior Environmental Analyst

John C. Armentano
Partner

Direct Dial: 631.367.0719
Direct Fax: 631.367.0788
jcarmentano@farrellfritz.com



Our File No.
31269-109

May 4, 2026

BY FEDERAL EXPRESS

Julie Hargrave
Interim Executive Director/Pine Barrens Manager
Central Pine Barrens Joint Planning & Policy Commission
624 Old Riverhead Road
Westhampton Beach, NY 11978

Re: Elite LI Towers, LP
1 Connecticut Avenue, Manorville, NY 11949
SCTM No.: 0200-298.00-01.00-001.000

Dear Ms. Hargrave:

We are submitting this letter in furtherance of the meeting held on April 8, 2026. As you are aware, our office represents the Peconic River Sportsman's Club, Inc. ("PRSC"), the owner of the property located at 1 Connecticut Avenue, Manorville, also designated on the Suffolk County Tax Map as District 0200, Section 298.00, Block 01.00, and Lot 001.000 (the "Property"). For the reasons discussed further herein, we respectfully submit that the proposed installation of a new emergency services communications facility at the Property (the "Project") is permitted as a reserved right under the terms of the recorded Conservation Easement dated March 10, 2005 (the "Easement"). Alternatively, we respectfully request that the Easement be amended to allow the PRSC to proceed with an application for a hardship exemption.

I. The Project Does Not Constitute Development under the ECL

Annexed hereto as **Exhibit 1** is a copy of the site plan drawings prepared by WFC Architects dated May 2, 2025, which depict the details of the Project.

Pursuant to the terms of the Easement, a copy of which is annexed hereto as **Exhibit 2**, the PRSC is prohibited from "taking any of those actions constituting **development** pursuant to ECL Section 57-0107(13)" as well as "operations or uses pursuant to ECL Section 57-0107(13) (i-xiv) **unless such operations or uses are otherwise expressly reserved herein (emphasis added).**"

Among the enumerated list of reserved rights retained by the PRSC under the Easement, paragraph 5 provides that the "right to use the Property for operations or uses described in ECL Section 57-0107(13)(i, ii and vi)..." is reserved for the PRSC, its successors and assigns. In accordance with ECL § 57-0107(13)(i), "public improvements undertaken for the health, safety or welfare of the public" are an operation or use that does **not** constitute development.

The primary goal of the Project is to address a deficiency of emergency services and wireless coverage in the area surrounding the Property. Annexed as **Exhibit 3** is a copy of a Gradient Map, which uses colored shading to depict the various levels of coverage. The areas shaded in yellow/orange/red indicate where coverage is unreliable along the roadways. The Property is indicated by a blue pin with the approximate location of the proposed tower indicated with a blue "X".

Based on the Gradient Map, there are large sections of the surrounding areas with unreliable coverage, including a large section that runs along the Long Island Expressway. For motorists travelling in this area, adequate wireless service is a critical to public health and safety in the event of an emergency. Similarly, strong and reliable coverage is a vital necessity for first responders, including police and fire departments.

To evidence the need for the Project, we have received several letters of support from emergency responders including the Manorville Fire District, the Riverhead Fire District, and the Suffolk County Detectives Association. Copies of the letters of support have been annexed as **Exhibit 4**. Further, a letter from Integrated Wireless Technologies, LLC notes that a tower "at 150' is required to provide coverage at levels acceptable for Public Safety communications systems and ensure the ability for fire and emergency medical personnel to communicate during critical calls."

In addition, it should be noted that the Manorville Fire District has already entered into a sublease agreement dated August 19, 2025 to install and maintain utilities, cables, and conduits for the providing of necessary utility service to the Fire District. Accordingly, the Manorville Fire District has already entered into an agreement to utilize the proposed facilities for the public benefit of enhancing the radio capabilities of the Fire District.

Therefore, we submit that the Project represents a public improvement undertaken for the health, safety, and welfare of the public in the surrounding area pursuant to ECL § 57-0107(13)(i), and, as such, the Project does not constitute development as defined under the ECL. Thus, we respectfully request a determination that the Project falls within the reserved rights under the Easement.

II. The Easement Should be Amended to Permit a Hardship Application

Paragraph 9 on page 6 of the Easement notes that the PRSC is prohibited from applying to the Central Pine Barrens Joint Planning and Policy Commission (the "Commission") for a hardship exemption.

Paragraph 5 on pages 6-7 of the Easement states, in relevant part:

"This Conservation Easement may be modified only upon the written consent of both Grantor and Grantee, or their successors, heirs, representatives or assigns. Grantor and Grantee recognize that **circumstances could arise which would justify the modification of certain of the restrictions contained herein** (emphasis added)."

In the event the Commission determines that the Project does constitute development under the

ECL, we respectfully request the Commission's consent to modify the Easement's prohibition on seeking a hardship exemption, so that such an application may be filed.

Pursuant to ECL § 57-0121(10), a hardship exemption requires that an applicant demonstrate either an extraordinary hardship or that a compelling public need exists. As noted above, we believe that the Project directly addresses a significant public need to enhance radio frequency coverage for emergency responders and the public at large. If the present condition continues to exist, there is a viable concern that a lack of adequate coverage could pose a threat to the health, safety, and welfare of both residents and travelers alike. Modifying the applicable provision of the Easement will provide the PRSC with an opportunity to make the required evidentiary showing to establish the existence of a compelling public need.

Accordingly, as an alternative to the requested relief discussed above, we respectfully request that the Commission consent to modifying the terms of the Easement to allow for the submission of a hardship application.

Conclusion

Based on the foregoing, we submit that the Project does not constitute development under the applicable provisions of the ECL. Pursuant to ECL § 57-0107(13)(i), the Project should be considered a public improvement that benefits the health, safety, and welfare of the public in the Manorville area. Under the express terms of the Easement, the right to use the Property for such a use or operation is reserved and retained by the PRSC.

In the alternative, we request the opportunity to further demonstrate that a compelling public need exists and that the Project will address the same. Under the terms of the Easement, this can only be accomplished with the Commission's consent to amend specific provisions of the Easement.

Thank you very much for your time and consideration. We kindly request that this matter be placed on the Commission's agenda for the upcoming meeting on May 20, 2026.

Please contact our office if you have any questions or require additional information.

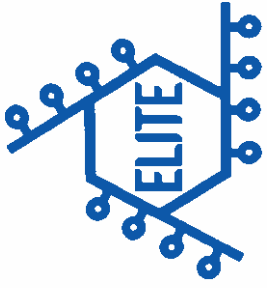
Respectfully submitted,



John C. Armentano

HAM
Enclosures

cc: John C. Milazzo, Special Counsel to the Central Pine Barrens Commission
Robert D. Gaudioso, Esq.



1 S. DURKEE LANE EAST PATCHOGUE, NY 11772

ELITE TOWERS SITE NAME:
PECONIC RIVER

SITE ADDRESS:
1 CONNECTICUT AVENUE
MANORVILLE, NY 11949

| | |
|-------------------------|--|
| SITE INFORMATION | |
| PROJECT LOCATION: | 1 CONNECTICUT AVENUE MANORVILLE, NY 11949 |
| PROPERTY DEVELOPER: | ELITE TOWERS, LP 1 S. DURKEE LANE EAST PATCHOGUE, NY 11772 |
| ENGINEER CONTACT: | WFC ARCHITECTS NEIL MA DONALD NEIL.MA.DONALD@WFCMA.COM 631-689-6650 |
| LATITUDE (NAD-83): | N 40.89491° |
| LONGITUDE (NAD-83): | W 72.27580° |
| ELEVATION: | +78@00' A.S.M.L |
| NOTE: | THE INFORMATION ABOVE WAS TAKEN FROM A FAA L-A SURVEY CERTIFICATION PREPARED BY PINNACLE LAND SURVEYORS DATED XXXX XX 2024 |
| ZONING JURISDICTION: | TOWN OF BROOKHAVEN |
| DISTRICT: | 0200 |
| SECTION: | 298.00 |
| BLOCK: | 01.00 |
| LOT: | 001.000 |
| ZONING CLASSIFICATION: | AS |
| PROJECT DESCRIPTION: | RAWLAND SITE WITH GROUND EQUIPMENT WITHIN ±1.15% SITE TELECOMMUNICATIONS COMPOUND WITH PROPOSED ±7-150' AGL POLE. |



| DWG. NO. | DRAWING TITLE | INITIAL ISSUANCE | LATEST ISSUANCE | |
|-----------|-----------------------------------|------------------|-----------------|----------|
| | | | REVISION NO. | DATE |
| T-100.00 | TITLE SHEET | 05/02/25 | 3 | 10/08/25 |
| G-100.00 | GENERAL NOTES AND ABBREVIATIONS | 05/02/25 | 3 | 10/08/25 |
| SP-100.00 | SITE PLAN - PARCEL IDENTIFICATION | 05/02/25 | 3 | 10/08/25 |
| SP-101.00 | SITE PLAN - SUBJECT LOT | 05/02/25 | 3 | 10/08/25 |
| SP-102.00 | SOUTH ELEVATION AND COMPOUND PLAN | 05/02/25 | 3 | 10/08/25 |
| SP-103.00 | SITE DETAILS | 05/02/25 | 3 | 10/08/25 |
| SP-104.00 | EQUIPMENT DETAILS | 10/08/25 | 3 | 10/08/25 |
| SP-105.00 | EQUIPMENT DETAILS | 10/08/25 | 3 | 10/08/25 |
| SP-106.00 | EQUIPMENT DETAILS | 10/08/25 | 3 | 10/08/25 |

UNDERGROUND SERVICE ALERT
UTILITY NOTIFICATION CENTER OF NEW YORK
(800) 962-7862
WWW.DIGSAFEINNEWYORK.COM
CALL 10 WORKING DAYS UTILITY NOTIFICATION PRIOR TO CONSTRUCTION

GENERAL NOTES

THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. A TECHNICIAN WILL VISIT THE SITE AS REQUIRED FOR ROUTINE MAINTENANCE. THE PROJECT WILL NOT RESULT IN ANY SIGNIFICANT DISTURBANCE OR EFFECT ON DRAINAGE. NO SANITARY SEWER SERVICE, POTABLE WATER OR TRASH DISPOSAL IS REQUIRED AND NO COMMERCIAL SIGNAGE IS PROPOSED.

11"X17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

CONTRACTOR SHALL VERIFY ALL PLANS, EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCY BEFORE PROCEEDING WITH ANY WORK.



121 TECHNOLOGY DRIVE, SETAUKET, NY 11713
P: 631.689.8410 | F: 631.689.8499 | www.wfcma.com

| | | |
|-----|----------|-------------------------------|
| NO. | DATE | REVISION |
| 0 | 05/02/25 | ISSUED FOR PRELIMINARY REVIEW |
| 1 | 06/25/25 | REVISED PER TOWER LOCATION |
| 2 | 08/27/25 | REVISED PER COMMENTS |
| 3 | 10/08/25 | REVISED PER COMMENTS |

| | | |
|-----|------|----------|
| NO. | DATE | REVISION |
| 1 | DATE | REVISION |



PECONIC RIVER
NEW BUILD (RAWLAND)
ZONING DRAWINGS

1 CONNECTICUT AVE
MANORVILLE, NY 11949

| | |
|--------------------|-----------------|
| TITLE SHEET | |
| DATE: | 05/02/25 |
| PROJECT NO.: | 25-683 |
| DRAWN BY: | TC |
| CHECKED BY: | BS |
| SCALE: | AS NOTED |
| DRAWING NO.: | T-100.00 |

GENERAL NOTES FOR CONSTRUCTION

- 1. Information shown on these drawings is for design intent only. Verify existing conditions and dimensions in field. Coordinate discrepancies with the architect and/or engineer. Do not scale drawings to determine dimensions.
- 2. Establish lines, grades and benchmarks necessary for proper work from given survey data. Work shall be erected and installed plumb, level, square and true and in proper alignment.
- 3. All work shall be done in strict accordance with provisions of local, state, federal, laws, ordinances, OSHA standards and regulations wherever applicable. Contractor shall coordinate and arrange all third party special inspections required under NYSBC chapter 17.
- 4. The Contractor shall be responsible for quantities of work, furnish labor, materials and equipment required to complete work.
- 5. Provide proof of workman's compensation insurance and disability insurance coverage required by governing state law prior to start of work.
- 6. Each contractor shall be held to have visited the site and to have verified all existing conditions prior to submission of bid. Notify the architect immediately and prior to progress of work if unusual field conditions arise.
- 7. The Contractor shall verify and be responsible for all field dimensions and job conditions, and shall notify the architect of any discrepancies, conflicts, and/or omissions which would interfere with the satisfactory completion of the work. Should the Contractor fail to follow this procedure and continue with the work, the Contractor shall assume all responsibility and liability arising therefrom.
- 8. Where pipes, conduits or low tension wiring penetrate fire rated or sound rated enclosures such as wall or slab, the spaces around such penetrations shall not exceed 1/2". Pack spaces solid with mineral wool or approved equal on both sides of the rated enclosure to ensure full fire/resistance in compliance with the local building code.
- 9. In all cases, drawings shall not be scaled for information. Dimensions and conditions must be verified in the field.
- 10. All new materials and installations shall be in accordance with the manufacturer's latest printed specifications, and with all applicable code requirements.
- 11. All work shall be performed in accordance with best standard trade practices. Each trade shall cooperate with other trades to facilitate job scheduling and completion.
- 12. Proprietary names identifying items of work are used to designate the standard of construction. Items of equal quality may be submitted for the architect's review.
- 13. Each contractor shall be responsible for any damage to adjoining remaining areas as a result of this work, and shall repair damaged surfaces to their pre-existing conditions or as may be required to complete the entire scope of the work.
- 14. Alterations to existing work shall be patched and finished, as necessary, to match existing contiguous surfaces or new finishes shown.
- 15. At the completion of each workday, each trade shall be responsible for cleaning up their work. Rubbish removal shall be done in a dust inhibitive fashion, and the job site shall be free of all debris and broom clean upon completion.
- 16. Where applicable, clean all floors, walls, doors, misc., glass, etc. leaving job free of dust and debris, prior to project completion.
- 17. Existing equipment and materials to be removed, which are not required to be relocated or retained by the owner, shall become the property of the contractor and removed from the premises.
- 18. All concrete used for on-site construction shall be air entrained, minimum 4,000 psi at 28 days, air entrained from 4% to 5%.
- 19. Elevation 0'-0" is a reference of the existing grade height. Notation to heights will be from this elevation, unless otherwise noted.
- 20. Verizon Wireless will remove hazardous materials, including asbestos containing material(s) encountered throughout. If existing asbestos containing material is encountered during the work, report this immediately to the Verizon Wireless construction manager for remediation.
- 21. Large scale drawings take precedent over small scale drawings. Detail drawings take precedent over large and small scale drawings.
- 22. The Contractor shall be responsible for documenting existing conditions prior to start of work. Documentation shall be in the form of electronic photographs and written description of existing damaged items, not specifically noted on construction drawings. Provide copies of this documentation to the architect & Verizon Wireless Construction Manager at start of work. Damaged items, not specifically noted or visually observed in photographs, shall become the responsibility of the contractor. Contractor shall remove, repair and/or replace at their own expense.
- 23. In the event of a discrepancy between drawings and specifications or between drawings being the discrepancy to the architect's attention immediately, in writing, for clarification.
- 24. The Contractor shall take no advantage of any apparent error or omission in the contract documents, in the event the contractor discovers such an error, or omission in the contract documents, the contractor shall immediately notify the architect. The architect will then make such corrections and interpretations as may be deemed necessary for fulfilling the intent of the contract documents.
- 25. The Contractor is responsible for obtaining all required inspections.
- 26. The Contractor shall forward final close-out photos documenting all installed equipment, mounts, connections, etc. of the completed installation at the antenna level including model numbers, down talls, etc. to the Architect upon completion.
- 27. The Contractor shall provide shop drawings for damage and canopy steel fabrication.
- 28. Prior to the final inspection, the Contractor shall provide the following to the Architect
 - Final redlined As-Built drawings
 - All third party inspections results
 - Generator start up report (When generators are installed)
 - Certificate of Electricians Certificate and grounding test verification

SYMBOL LEGEND

DRAWING LEGEND:

- New Wall Partition
- New Rated Partition
- New Partial Ht. Partition
- Existing Partition
- Existing Door to Remain
- Door/Wall to Remove
- New Door
- Ontail Number
- Section Marker
- Drawing Page Number
- Elevation View
- Door Number
- Elevation Benchmark
- Partition Type Tag
- 2 x 2 Ceiling Grid
- Field Weld
- Weld All Around
- Welding Designation
- Weld Size
- File Weld

SITE LEGEND:

- Contour / Topo Line
- Property Line
- Stockade Fence Line
- Chain Link Fence Line
- Gas Piping Line
- Electrical Conduit
- Telco Conduit
- Electrical/Telco Conduits
- Ground Wire Conduit
- Overhead Wire
- Catch Basin/Drywell
- Light Pole
- Utility Pole
- Fire Hydrant
- Sign

ELECTRICAL & MECHANICAL LEGEND:

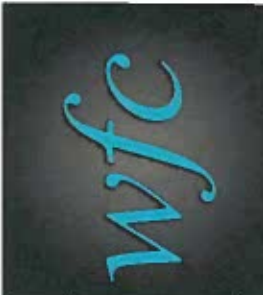
- Smoke Detector
- Sprinkler Head
- Hung Exit Sign
- Wall Mounted Exit Sign
- Duplex Receptacle
- Quad Receptacle
- Light Switch
- Emergency Light (Existing)
- Emergency Light (New)
- Pendant Flood Light
- Smoke Detector
- Existing Fire Extinguisher
- New Fire Extinguisher
- New 4 Pendant Light
- Supply
- Return

MATERIAL LEGEND:

- Concrete
- Steel Section
- Undisturbed Earth/Soil
- Stone/Gravel
- Galv. Steel Grating
- Galv. Steel Diamond Plate
- Brick Facade

ABBREVIATIONS

| | |
|--|--|
| A AIR CONDITIONING | I ISOLATED GROUND |
| AC ARCHITECTURAL PANEL | IND INSIDE DIAMETER |
| ACP ADJACENT | INFL INSULATION (NON) |
| ACT ADJACENT TILE | INSP INTEGRATED SERVICE PANEL |
| ADJ ABOVE FINISH FLOOR | |
| AFG ABOVE FINISH GRADE | |
| AGL ABOVE GROUND LEVEL | |
| ALT ALTERNATE | J JAWBOLT'S CLOSET |
| ATS AUTOMATIC TRANSFER SWITCH | |
| ALUM ALUMINUM | K KILOWATT |
| ANSI AMERICAN NATIONAL STANDARDS INSTITUTE | |
| ANT ANTENNA | |
| APPVD APPROVED | L LAMINATE (D) |
| ARCH ARCHITECT (URAL) | LAN LOCAL AREA NETWORK |
| AWG AMERICAN WIRE GAUGE | LB (LBS) POUNDS(S) |
| AVS ADVANCED WIRELESS SERVICES | LL LINE LOAD |
| | LP LOW POINT |
| | LTE LONG TERM EVOLUTION |
| B BASE BAND UNIT | |
| BBU BOARD | M MAXIMUM |
| BD BUILDING | MATL MATERIAL |
| BLOG BLOCK | MDBOX MAIN DISTRIBUTION BOXES |
| B.O. BOTTOM OF | MCH MECHANICAL |
| BLK BLOCK | MFR (D) MANUFACTURE (R/D) |
| BSMT BASEMENT | MFR(MF) MANUFACTURER (S) |
| BTS BASE TRANSMITTER STATION | MISC MISCELLANEOUS |
| BUR BUILT UP ROOFING | |
| C CENTER LINE | N NOT IN CONTRACT |
| CEL CABINET | NO NUMBER |
| CAB CATCH BASIN | NOM NOMINAL |
| CB CODE DIVISION MULTIPLE ACCESS | NOT NOT TO SCALE |
| CDMA CENTER | |
| CEM CEMENT | |
| CLR CLEAR (SPACE) | O OVERALL |
| CLG CEILING | OC (O.C.) ON CENTER |
| CLG (O.C.) CEILING (ON C.O.) | OD (O.D.) OUTSIDE DIAMETER |
| CMX CONCRETE MASONRY UNIT | OP OPENING |
| CONR CONCRETE | OPP OPPOSITE |
| CONC CONCRETE | |
| CONSTR CONSTRUCTION | P PERSONAL COMMUNICATIONS SERVICES |
| CONTR CONTRACT (OR) | |
| CPT CARPET | PCS PLATE |
| CTR CENTER | PL PLASTIC LAMINATE |
| CHRR CORRIDOR | PHL PANEL |
| | PP POUNDS PER SQUARE INCH |
| D DECIBEL(S) | PVC POLYVINYL CHLORIDE |
| DEMO DEMOLITION | |
| DEPT DEPARTMENT | R RADIUS |
| DIA (D) DIAMETER | RD ROOF DRAIN |
| DIA (D) DIAMETER | REF REFERENCE |
| DIR DIRECTION | REIN REINFORCEMENT |
| DN DOWN | RETD REQUIRED |
| DP DAMP PROOFING | RF RADIO FREQUENCY |
| DR DOOR | RF (F) RADIO FREQUENCY |
| DTL DETAIL | RFL RETIRE IN PLACE |
| DWG DRAWING | RIP REMOTE RADIO HEADS |
| DWR DRAWER | RM ROOM |
| | RRRRHS ROUGH OPENING |
| E EACH | RO ROUGH OPENING |
| E/A EXTERIOR INSULATION FINISH SYSTEM | |
| EIFS ELECTRIC (AL) | S SOUTH |
| ELEV ELEVATION | S SCHEDULE |
| EMERG EMERGENCY | SD STORM DRAIN |
| ENCL ENCLOSURE (ENCLOSURE) | SECT SECTION |
| EQ EQUAL | SF SQUARE FOOT |
| ET CENTER EXTERIOR TELEPHONE CENTER | SM SMILING |
| EXP EXISTING | SPR SPRINKLER |
| EXIST(E) EXISTING | SQ SQUARE |
| | SS (SS) STAINLESS STEEL |
| F FEDERAL COMMUNICATIONS COMMISSION | STD STANDARD |
| FCG FLOOR DRAIN | STL STEEL |
| FDN FOUNDATION | STOR STORAGE |
| FE FIRE EXTINGUISHER | SUSP SUSPENDED |
| FIN FINISH (ED) | |
| FIXT FIXTURE | T TREAD |
| FLR FLOOR (ING) | TEL TELEPHONE |
| FP FIREPROOF | THK THICK (NESS) |
| FSC FIREPROOF SELF-CLOSING | TIA TELECOMMUNICATIONS INDUSTRY ASSOCIATION |
| FT FOOTING | T.O.S. TOP OF STEEL |
| FT FOOTING | TPP TYPICAL |
| G GAGE | |
| GA GALVANIZED | U UNDERWRITERS LABORATORIES |
| GAUV GENERAL CONTRACT (GRI) | UNITS UNLESS OTHERWISE NOTED |
| GC GENERAL CONTRACT (GRI) | UNL UNINTERRUPTED POWER SUPPLY |
| GFI GROUND FAULT INTERRUPT | |
| GHZ GIGAHERTZ | V VINYL COMPOSITE TILE |
| GL GLASS, GLAZING | VCT VERIFY IN FIELD |
| GND GROUND | VF (VLF) VERIZON WIRELESS |
| GPS GLOBAL POSITIONING SYSTEM | |
| GSM GLOBAL SYSTEM FOR MOBILE TELECOMMUNICATIONS | W WEST |
| GWB GYPSUM BOARD WALL | W WOOD |
| | WH WIRE ARCHITECTS |
| H HOLLOW CORE | WMC WIRE MESH |
| HC HEADER | W/O WITHOUT |
| HDR HANDRAIL | W/W WELDED WIRE MESH |
| HDR HANDRAIL | W/W WELDED WIRE MESH |
| HTRNGT HEATING | W/P WEATHER PROTECTING |
| HP HIGH POINT | |
| HTG HEATING VENTILATION & AIR CONDITIONING | |
| HWAC | |

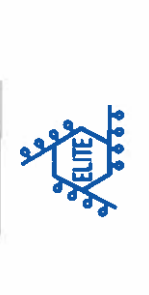
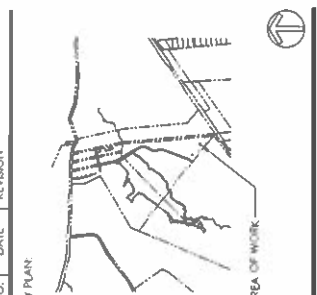


ARCHITECTS
12-1 TECHNOLOGY DRIVE, SETAUKET, NY 11713
P. 631.689.8450 | F. 631.689.8459 | www.wfc.com

CONSULTANT

| | | |
|-----|----------|----------------------------|
| NO. | DATE | REVISION |
| 0 | 06/02/25 | ISSUED FOR PERMITS REVIEW |
| 1 | 06/25/25 | REVISED FOR TOWER LOCATION |
| 2 | 07/27/25 | REVISED PER COMMENTS |
| 3 | 10/09/25 | REVISED PER COMMENTS |

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|-----|----------|----------------------------|
| NO. | DATE | REVISION |
| 0 | 06/02/25 | ISSUED FOR PERMITS REVIEW |
| 1 | 06/25/25 | REVISED FOR TOWER LOCATION |
| 2 | 07/27/25 | REVISED PER COMMENTS |
| 3 | 10/09/25 | REVISED PER COMMENTS |



PECONIC RIVER
NEW BUILD (RAWLAND)
ZONING DRAWINGS

1 CONNECTICUT AVE
MANORVILLE, NY 11949

GENERAL NOTES AND ABBREVIATIONS

| | |
|-------------|----------|
| DATE: | 05/02/25 |
| PROJECT NO: | 25-933 |
| DRAWN BY: | IC |
| CHECKED BY: | BS |
| SCALE: | AS NOTED |
| DRAWING NO: | |

G-100.00

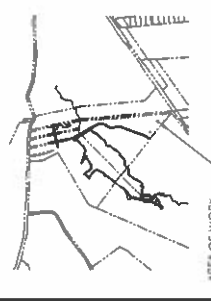


A R C H I T E C T S
 124 TECHNOLOGY DRIVE, SETAUKET, NY 11711
 P. 631.689.8450 | F. 631.689.8459 | www.wfca.com

CONSULTANT:

| NO. | DATE | SUBMISSION |
|-----|----------|-------------------------------|
| 0 | 06/02/25 | ISSUED FOR PRELIMINARY REVIEW |
| 1 | 06/25/25 | REVISED PER TOWNSHIP LOCATION |
| 2 | 06/27/25 | REVISED PER COMMENTS |
| 3 | 10/09/25 | REVISED PER COMMENTS |

| NO. | DATE | REVISION |
|-----|------|----------|
| | | |



AREA OF WORK



PECONIC RIVER
 NEW BUILD (RAWLAND)
 ZONING DRAWINGS

1 CONNECTICUT AVE
 MANORVILLE, NY 11949

SITE PLAN - PARCEL IDENTIFICATION

| | |
|--------------|-----------|
| DATE: | 06/02/25 |
| PROJECT NO.: | 25-1603 |
| DRAWN BY: | IC |
| CHECKED BY: | BS |
| SCALE: | AS NOTED |
| DRAWING NO.: | SP-100.00 |

SP-100.00



D: 0200
 B: 298.00
 S: 01.00
 L: 002.002
 ZD: A10

EXISTING
 PROPERTY LINE

SEE SP-102
 FOR ENLARGED
 COMPOUND PLAN

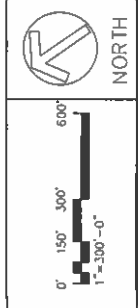
PROPOSED ACCESS AND UTILITY
 EASEMENT FOR TELCO AND
 ELECTRIC CONDUITS TRENCHED
 UNDERGROUND FROM EXISTING
 UTILITY POLE ALONG EXISTING
 DIRT ACCESS ROAD TO
 PROPOSED UTILITY UTILITY
 BANK WITHIN LEASED AREA.
 UTILITY POLE TO BE
 CONFIRMED ON UTILITY WALK

EXISTING DIRT ACCESS ROAD
 TO BE USED FOR ACCESS
 AND UTILITY EASEMENT.
 DIMENSIONS OF ROAD TO BE
 CONFIRMED ON UTILITY WALK

D: 0600
 B: 142.00
 S: 02.00
 L: 001.001
 ZD: OSC (OPEN
 SPACE
 CONSERVATION)

D: 0200
 B: 298.00
 S: 01.00
 L: 001.000
 ZD: A5

D: 0200
 B: 355.00
 S: 01.00
 L: 001.000
 ZD: A10



1 SITE PLAN - PARCEL IDENTIFICATION
 SCALE = 1"=300'-0"



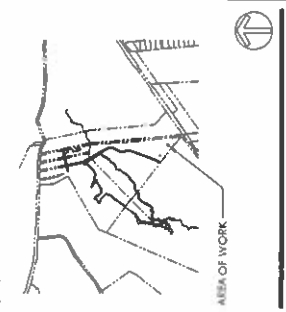
12.1 TECHNOLOGY DRIVE, SETAUKET, NY 11713
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CONSULTANT:

| NO. | DATE | REVISION |
|-----|----------|-------------------------------|
| 0 | 06/07/25 | ISSUED FOR PRELIMINARY REVIEW |
| 1 | 06/25/25 | REVISED FOR TOWER LOCATION |
| 2 | 08/27/25 | REVISED PER COMMENTS |
| 3 | 10/08/25 | REVISED PER COMMENTS |

KEY PLAN

| NO. | DATE | REVISION |
|-----|------|----------|
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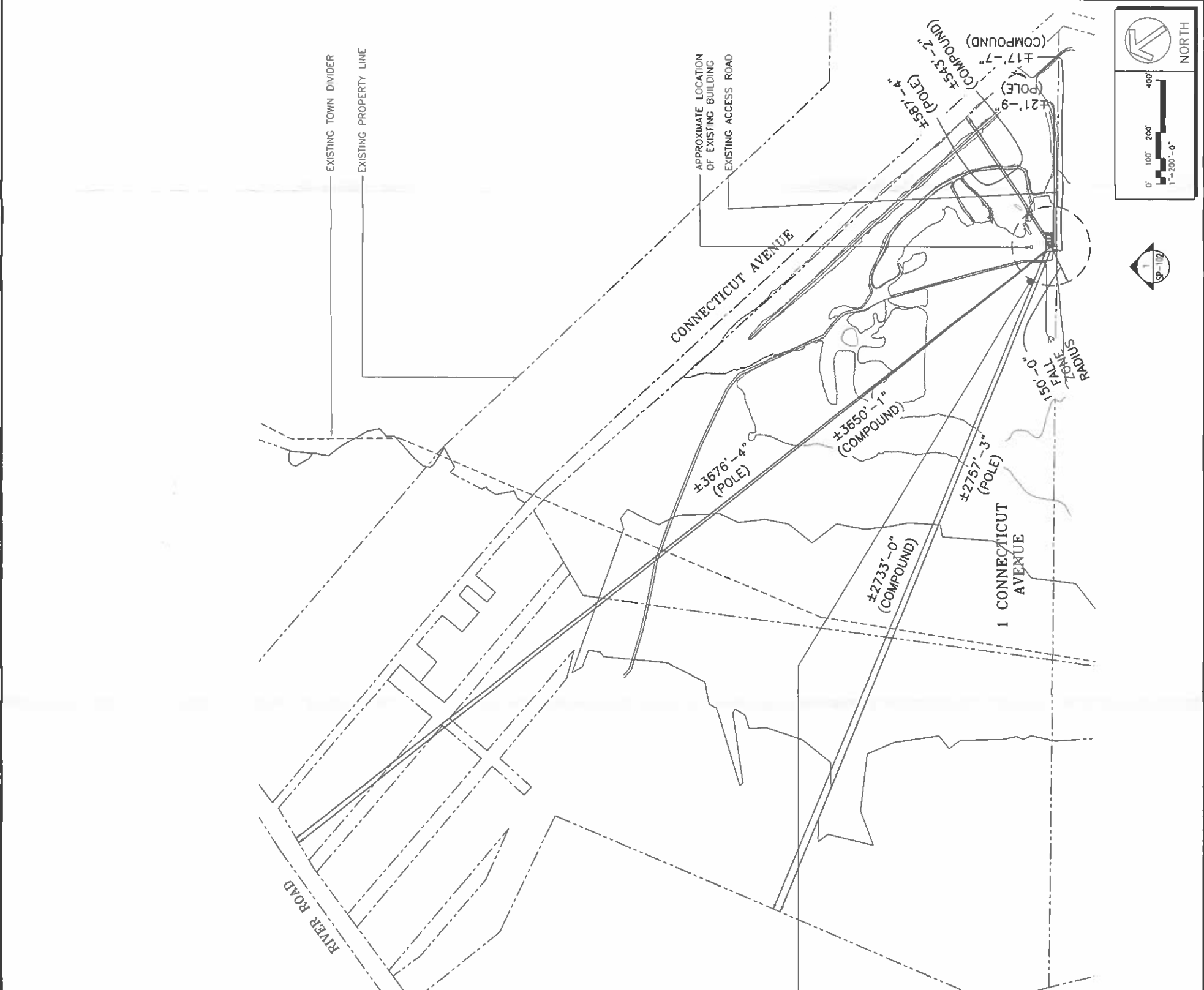
PECONIC RIVER
 NEW BUILD (RAWLAND)
 ZONING DRAWINGS

1 CONNECTICUT AVE
 MAKORVILLE, NY 11949

TITLE: SITE PLAN - SUBJECT LOT

| | |
|-------------|-----------|
| DATE | 05/07/25 |
| PROJECT NO. | 25-603 |
| DRAWN BY | TC |
| CHECKED BY | BS |
| SCALE | AS NOTED |
| DRAWING NO. | SP-100.00 |

SP-100.00

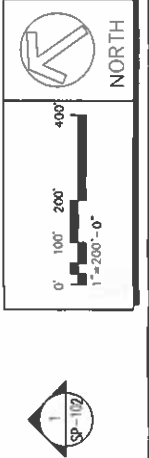


ZONING TABLE: TOWN OF BROOKHAVEN (RESIDENCE "A5" ZONE)

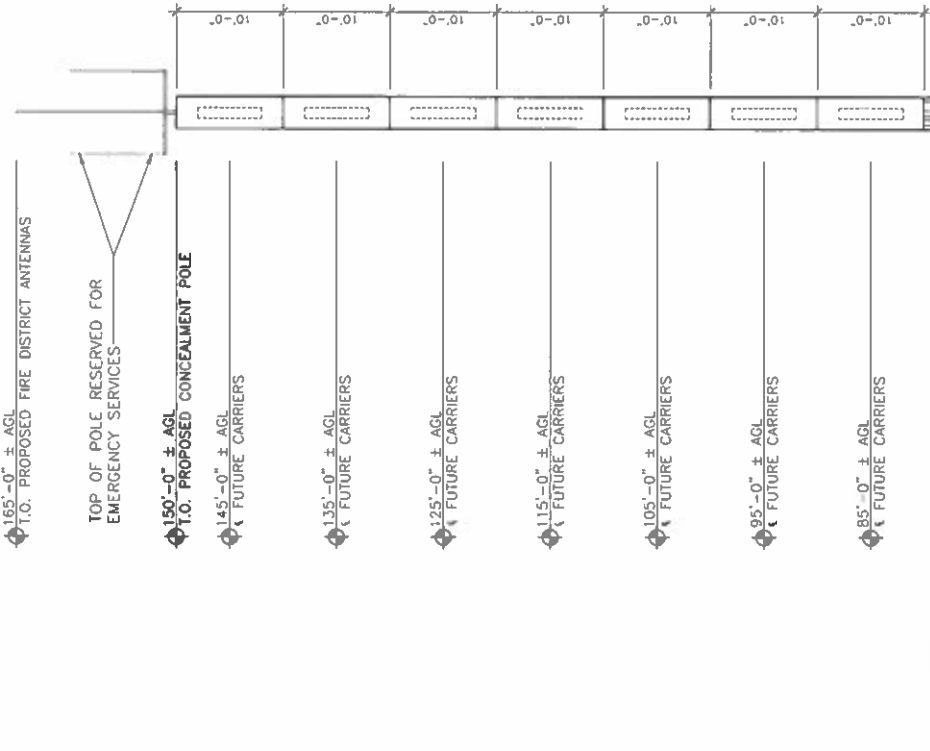
| ITEM: | REQUIRED PER LOCAL BUILDING CODE | EXISTING (LOT) | PROPOSED (LOT) | PROPOSED (POLE) | PROPOSED (COMPOUND) | VARIANCE REQUIRED PER LOCAL BUILDING CODE | VARIANCE REQUIRED PER LOCAL WIRELESS CODE |
|--|----------------------------------|--------------------------|----------------|-----------------|---------------------------|---|---|
| MINIMUM LOT AREA (SQ FEET)/(ACRES) | 200,000/4.5 | 5,922,378.376 / 135.9591 | NO CHANGE | - | - | - | - |
| MINIMUM ROAD FRONTAGE (FEET) | 300' AT 70' | 357' AT 75' | NO CHANGE | 150'-0" | 8'-0" (COMPOUND) FENCE | YES (COMPOUND) (POLE) | NO |
| MINIMUM FRONT YARD (CONNECTICUT AVENUE) (FEET) | 70' | 75' | 75% | 587'-4" | 343'-2" | NO | NO |
| MINIMUM FRONT YARD (RIVER ROAD) (FEET) | 70' | 75' | 75% | 3678'-4" | 3650'-1" | NO | NO |
| MINIMUM TOTAL SIDE YARD (FEET) | 85' | 75' | 75% | 21'-9" | 17'-7" | YES (COMPOUND AND POLE) | YES (COMPOUND AND POLE) |
| MINIMUM REAR YARD (FEET) | 80' | 75' | 75% | 2757'-3" | 2733'-0" | NO | NO |
| MAXIMUM TOTAL BUILDING AREA (PERCENTAGE OF LOT AREA) | 65% / 355,342.704 SF | 78.3% | 78.3% | 78.3% | 10,000,000.47% (LOT AREA) | 1,525.5% (LOT AREA) | NO |

NOTE:
 -THE FEATURES DEPICTED HEREON ARE THE RESULT OF A FIELD SURVEY COMPLETED ON JUNE 17, 2025.
 -THE INFORMATION ON HEREIN WAS TAKEN FROM SURVEY PREPARED BY HOWARD W. YOUNG, DATED 02/14/2018.
 -THE SUBJECT PARCEL RESIDES IN THE TOWN OF BROOKHAVEN.
 -THE SUBJECT PARCEL RESIDES IN THE GENERAL PINE BARRENS CORE PRESERVATION AREA.

SEE 3/SP-102 FOR PROPOSED ENLARGED COMPOUND PLAN



1 SITE PLAN - SUBJECT LOT
 SCALE = 1"=200'-0"



EXISTING PINE BARRENS TO REMAIN (TYP.)

PROPOSED 150'-0" CONCEALMENT POLE

PROPOSED TRANSFORMER

EXISTING SHED TO REMAIN

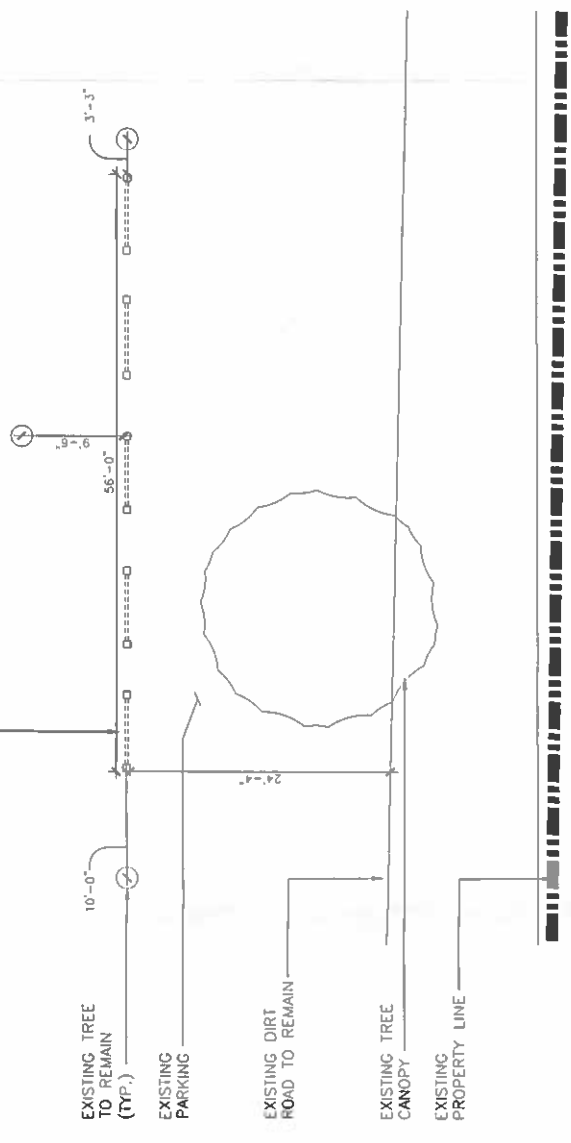
PROPOSED 61'-0" X 25'-0" ENCLOSED COMPOUND (1,525 S.F.) W/ 8'-0" FENCE W/ PRIVACY SLATS

8'-0" ± AGL T.O. PROPOSED FENCE

0'-0" GRADE

1 SOUTH ELEVATION
SCALE = 1/8" = 1'-0"

EXISTING PARKING STALLS TO BE REMOVED (TYP.)



2 EXISTING ENLARGED COMPOUND PLAN
SCALE = 1/8" = 1'-0"

PROPOSED 61'-0" X 25'-0" ENCLOSED COMPOUND (1,525 S.F.) W/ 8'-0" FENCE W/ PRIVACY SLATS

EXISTING TREE TO REMAIN (TYP.)

PROPOSED 150'-0" CONCEALMENT POLE

EXISTING DIRT ROAD TO REMAIN

EXISTING TREE CANOPY

PROPOSED ACCESS GATE

3 PROPOSED ENLARGED COMPOUND PLAN
SCALE = 1/8" = 1'-0"

CONSULTANT:

| NO. | DATE | REVISION |
|-----|----------|-------------------------------|
| 0 | 05/07/25 | ISSUED FOR PRELIMINARY REVIEW |
| 1 | 06/15/25 | REVISED PER TOWER LOCATION |
| 2 | 08/27/25 | REVISED PER COMMENTS |
| 3 | 09/09/25 | REVISED PER COMMENTS |

KEY PLAN:

| NO. | DATE | REVISION |
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PECONIC RIVER
NEW BUILD (RAWLAND)
ZONING DRAWINGS

1 CONNECTICUT AVE
MANORVILLE, NY 11949

SOUTH ELEVATION & COMPOUND PLAN

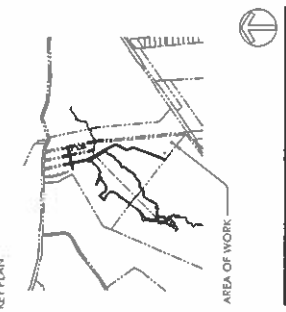
DATE: 05/07/25
PROJECT NO: 25-WB3
DRAWN BY: IC
CHECKED BY: BS
SCALE: AS NOTED
DRAWING NO: SP-102.00

SP-102.00

| NO. | DATE | REVISION |
|-----|----------|-------------------------------|
| 0 | 06/07/25 | ISSUED FOR PRELIMINARY REVIEW |
| 1 | 06/25/25 | REVISED PER TOWER LOCATION |
| 2 | 08/27/25 | REVISED PER COMMENTS |
| 3 | 10/07/25 | REVISED PER COMMENTS |

| NO. | DATE | REVISION |
|-----|----------|-------------------------------|
| 1 | 06/07/25 | ISSUED FOR PRELIMINARY REVIEW |
| 2 | 08/27/25 | REVISED PER COMMENTS |
| 3 | 10/07/25 | REVISED PER COMMENTS |

| NO. | DATE | REVISION |
|-----|----------|-------------------------------|
| 1 | 06/07/25 | ISSUED FOR PRELIMINARY REVIEW |
| 2 | 08/27/25 | REVISED PER COMMENTS |
| 3 | 10/07/25 | REVISED PER COMMENTS |

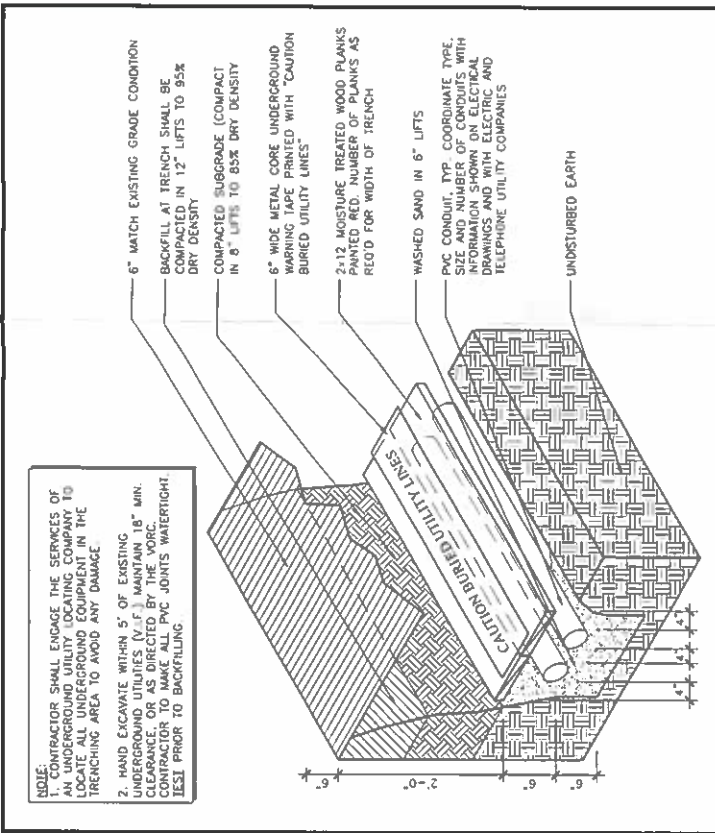


PECONIC RIVER
NEW BUILD (RAWLAND)
ZONING DRAWINGS
1 CONNNECTICUT AVE
MANORVILLE, NY 10949

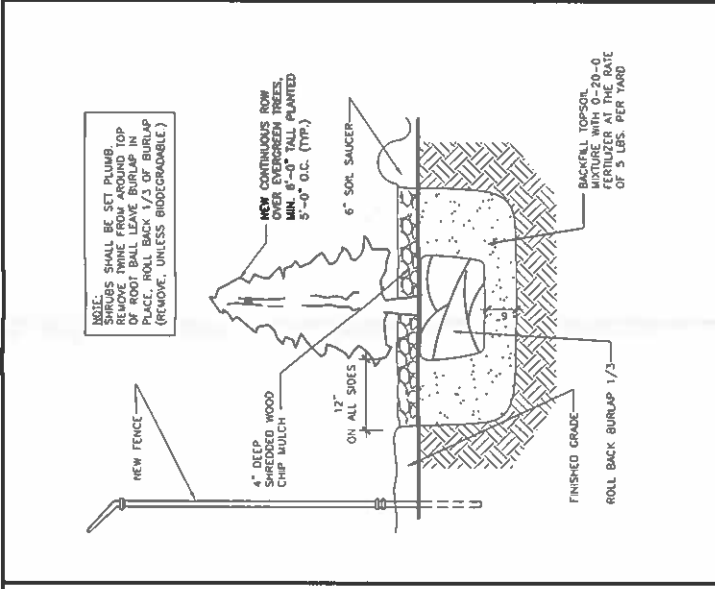
SITE DETAILS

| | |
|--------------|-----------|
| DATE: | 06/07/25 |
| PROJECT NO.: | 25-103 |
| DRAWN BY: | TC |
| CHECKED BY: | AS NOTED |
| SCALE: | AS NOTED |
| DRAWING NO.: | SP-103.00 |

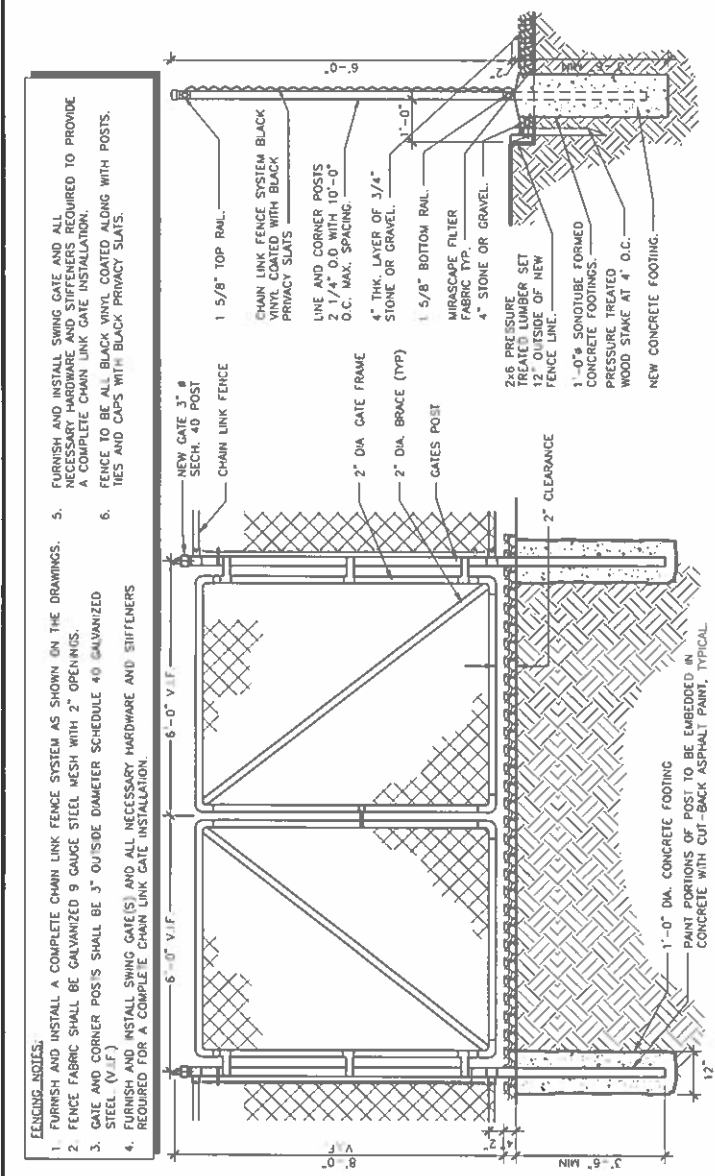
SP-103.00



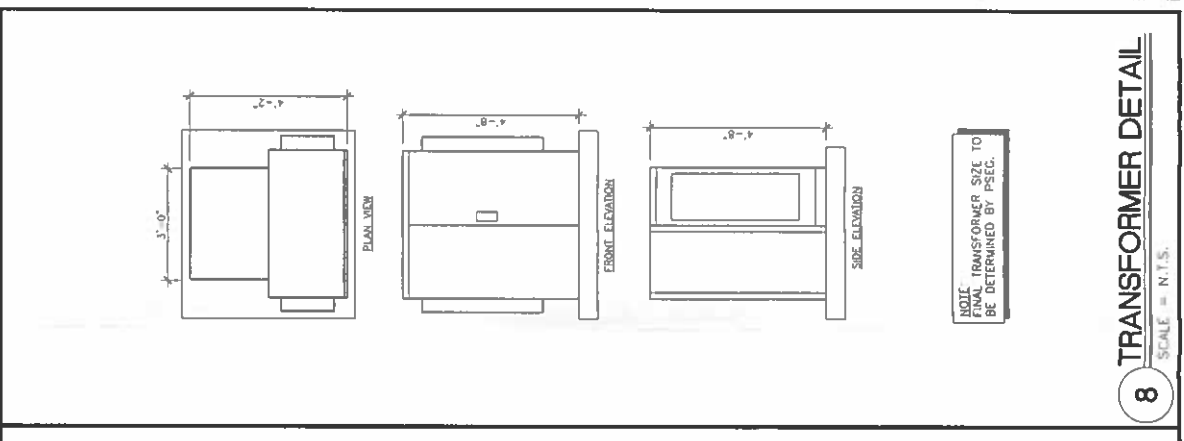
3 UTILITY TRENCHING DETAIL
SCALE = N.T.S.



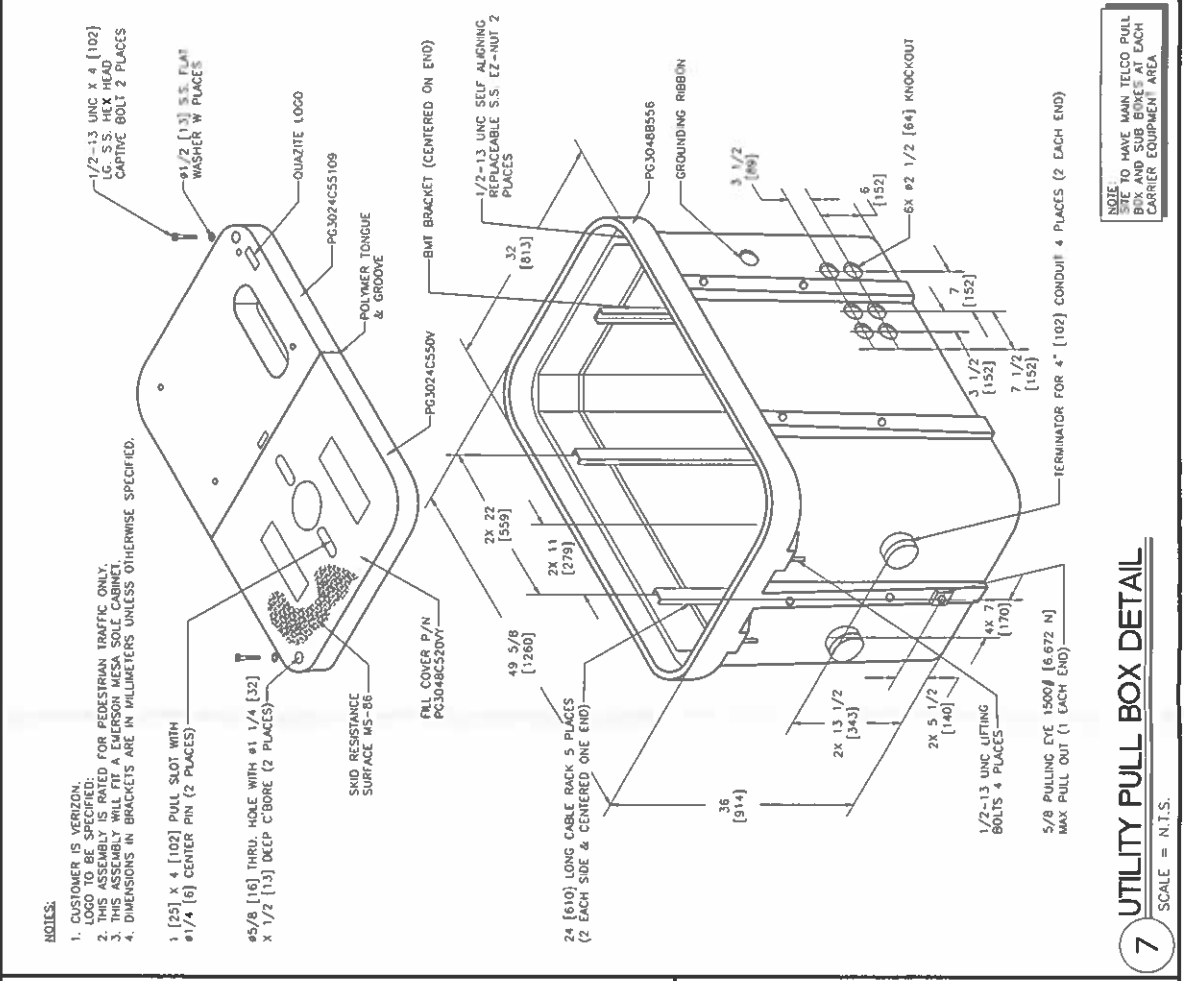
2 PLANTING DETAIL
SCALE = N.T.S.



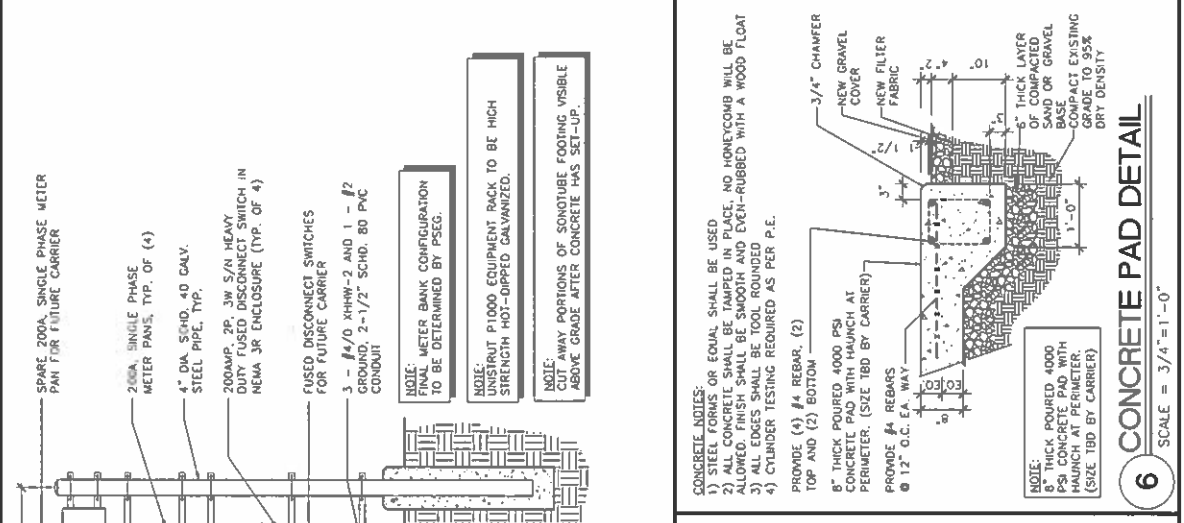
1 COMPOUND FENCE DETAIL
SCALE = 1/2" = 1'-0"



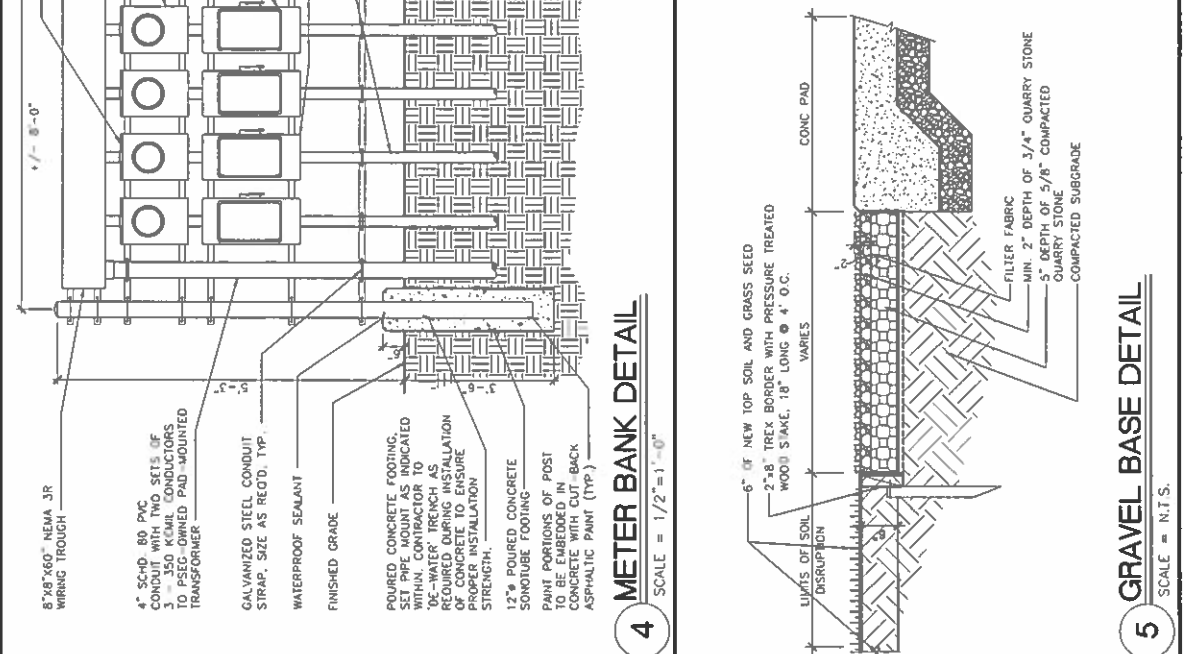
8 TRANSFORMER DETAIL
SCALE = N.T.S.



7 UTILITY PULL BOX DETAIL
SCALE = N.T.S.



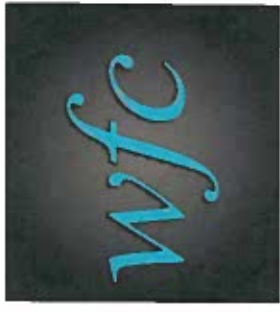
6 CONCRETE PAD DETAIL
SCALE = 3/4" = 1'-0"



5 GRAVEL BASE DETAIL
SCALE = N.T.S.



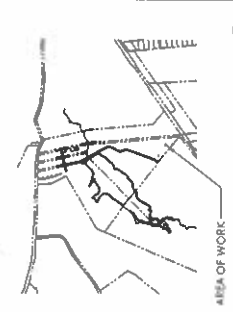
4 METER BANK DETAIL
SCALE = 1/2" = 1'-0"



ARCHITECTS
 1-31 TECHNOLOGY DRIVE, SETAUKET, NY 11713
 P: 631.689.8450 | F: 631.689.8459 | www.wfca.com

CONSULTANT:

| NO. | DATE | DESCRIPTION |
|-----|----------|-------------------------------|
| 0 | 05/07/25 | ISSUED FOR PRELIMINARY REVIEW |
| 1 | 06/25/25 | REVISED FOR TOWER LOCATION |
| 2 | 08/21/25 | REVISED PER COMMENTS |
| 3 | 10/08/25 | REVISED PER COMMENTS |



PECONIC RIVER
 NEW BUILD (RAWLAND)
 ZONING DRAWINGS

1 CONNECTICUT AVE
 MANORVILLE, NY 11949

EQUIPMENT DETAILS

| | |
|--------------|----------|
| DATE: | 05/07/25 |
| PROJECT NO.: | 25-0603 |
| DRAWN BY: | TC |
| CHECKED BY: | BS |
| SCALE: | AS NOTED |

SP-104.00



NOTE: SIGNAGE TO BE INSTALLED ON W/C ENTRY DOOR, ALL ACCESS AND CLIMB POINTS.

- NOTES:**
- 7'x10" RIGID PLASTIC SIGN TO BE BY "M" SAFETY SIGN, OR EQUAL.
 - ADDRESS: A SMARTSIGN STORE, 32 COURT STREET, SUITE 2200, BROOKLYN, NY 11201, MYSAFESIGN.COM
 - TELEPHONE: (800) 952-1457 OR (718) 989-3700
 - AVAILABLE: MON. TO THU.: 8:00 AM TO 7:00 PM EST, FRI.: 8:00 AM TO 6:00 PM EST
 - SIGN TO BE MADE OF TEAR RESISTANT 55 MIL THICK SEMI FLEXIBLE RIGID PLASTIC MATERIAL FOR OUTDOOR USE.
 - SIGN TO HAVE BLACK LETTERING ON YELLOW BACKGROUND.
 - SIGN TO BE RESISTANT TO CHEMICALS AND WATER.
 - SIGN TO BE ATTACHED TO EXTERIOR SIDE OF SHELTER ENTRY DOOR WITH 3M SPRAY ADHESIVE 90-24, OR EQUAL. SEE 2/A-102 FOR MORE INFORMATION.

VEHICLE-RESISTANT WALK-UP CABINET (WUC)

TECHNICAL SPECIFICATIONS

WEIGHT: 4442 LBS (INCLUDES 1200 LBS. CUSTOMER EQUIPMENT)

DIMENSIONS: A=102"x53.41" (SEE DRAWING FOR DIMENSIONS)

COLOR: COOL WHITE

SECURITY: ALL HANDLES CAN ACCOMMODATE A PADLOCK

MOUNTING: MOUNTING OPTIONS: PAD OR PLATFORM

BACKS: ADJUSTABLE 19" TO 23" BACKS IN EACH EQUIPMENT CHAMBER

ELECTRICAL

INPUT/OUTPUT VOLTAGE: 208/240VAC SINGLE PHASE INPUT; -48VDC PRIMARY/-50VDC SECONDARY OUTPUT

MAXIMUM INPUT CURRENT: N/A (GENERALLY USED WITH CUSTOMER-PROVIDED SERVICE ENTRANCE TRANSFER SWITCH)

ENVIRONMENTAL

OPERATING TEMPERATURE: -40°C TO 45°C

RELATIVE HUMIDITY: 10% TO 95% NON-CONDENSING

THERMAL SOLUTIONS

HEAT EXCHANGER: 6000 WATTS IN EACH EQUIPMENT CHAMBER, 2800 WATTS IN POWER CHAMBER

EQUIPMENT CHAMBERS

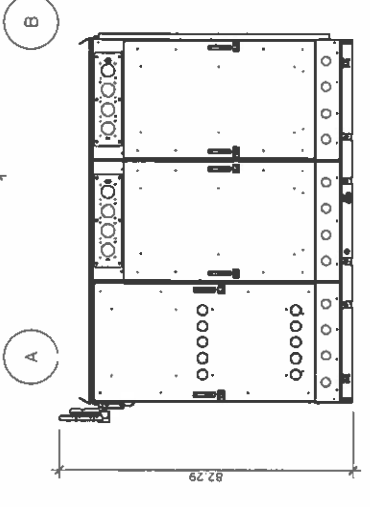
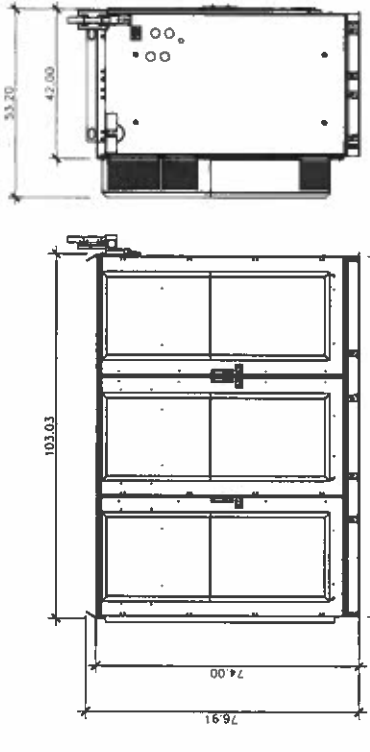
DC POWER: FACTORY-INTEGRATED METSURE 512 SYSTEM

GROUNDING: GROUND BAR IN EACH CHAMBER

STANDARDS COMPLIANCE:

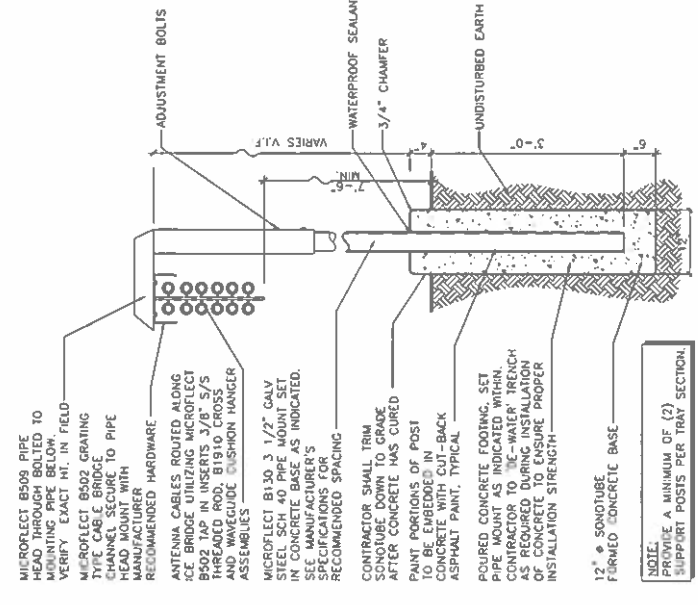
SAFETY: UL 2416

ENVIRONMENT: DESIGNED FOR TELECORDIA GR-487



1 3 BAY WUC SPECIFICATIONS

SCALE = N.T.S.



3 ICE BRIDGE DETAIL

SCALE = 3/4" = 1'-0"

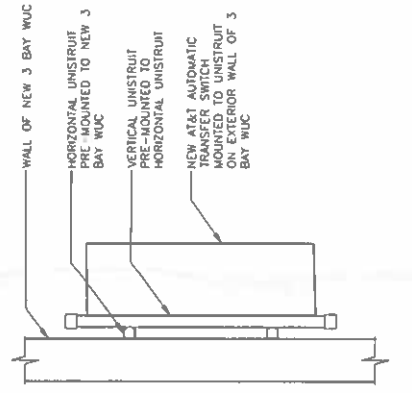
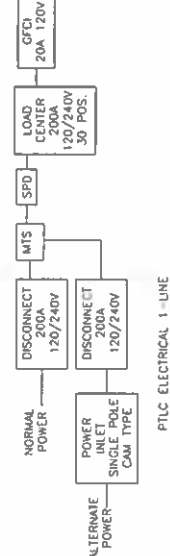
PTLC-WFS012200-CL - HE019706

UL 891 LISTED, 32x22x10 (*27 WITH CAMLOCK CONNECTOR PANEL), 240/120, 200A POWER TRANSFER LOAD CENTER

MECHANICALLY INTERLOCKED "MANUAL" CABLEING, MANUAL TRANSFER BETWEEN UTILITY AND AN ALTERNATIVE POWER SOURCE CONNECTED VIA CABLEX STYLE CONNECTIONS

PTLC INCLUDES STRIKESORB SURGE PROTECTION; 30-POSITION SQUARE D O/D PANEL AND ALARM MONITOR FOR UTILITY POWER LOSS

EXTERIOR AC RECEPTACLE, NEMA 3R ENCLOSURE



DC SPECIFICATIONS

-MANUFACTURER: RAYCAP

-PRODUCT #: DC50-48-60-96-50F

-CABLE FITTINGS: (3) 2" FITTINGS, (2) 2-1/2" FITTINGS, (1) 1" FITTING

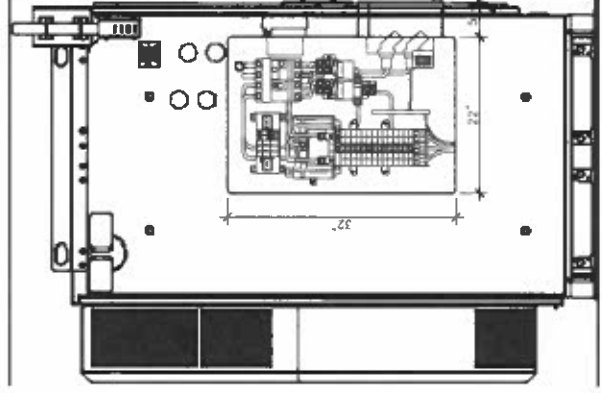
-NUMBER OF CIRCUITS PROTECTED: 50

-DIMENSIONS: (HxWxD) 52.24"x40"x9"

-WEIGHT: 165.0 LBS

5 DC50 MOUNTING DETAIL (ON 3 BAY WUC)

SCALE = 1/2" = 1'-0"



4 ATS DETAILS (ON 3 BAY WUC)

SCALE = 1" = 1'-0"

CONSULTANT:

| NO. | DATE | REVISION |
|-----|----------|-------------------------------|
| 0 | 06/07/25 | ISSUED FOR RELIABILITY REVIEW |
| 1 | 06/29/25 | REVISED FOR LOWER LOCATION |
| 2 | 08/27/25 | REVISED PER COMMENTS |
| 3 | 09/08/25 | REVISED PER COMMENTS |

| ISSUED | DATE | REVISION |
|--------|------|----------|
| | | |
| | | |
| | | |
| | | |

KEY PLAN:



AREA OF WORK:



**PECONIC RIVER
 NEW BUILD (RAWLAND)
 ZONING DRAWINGS**

1 CONNECTICUT AVE
 MANORVILLE, NY 11949

TITLE:

EQUIPMENT DETAILS

| | |
|---------------------|-----------|
| DATE: | 05/07/25 |
| PROJECT NO.: | 25-803 |
| DRAWN BY: | TC |
| CHECKED BY: | SS |
| SCALE: | AS NOTED |
| DRAWING NO.: | SP-105.00 |



RRH SPECIFICATIONS
 -MANUFACTURER: ERICSSON
 -PRODUCT #: 4490 B5 B12
 -COLOR: LIGHT GRAY
 -DIMENSIONS: (HxWxD) 20.5" x 15.6" x 7.0"
 -WEIGHT: 65 LBS (WITHOUT MOUNTING BRACKET)

4 B5/B12 DUAL BAND RRH DETAIL

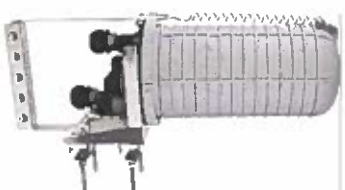
SCALE = N.T.S.

NEW ANTENNA SCHEDULE: TYPICAL FOR ALL SECTORS

| POSITION | (EQ.) & ANTENNA MODEL | EXISTING/NEW |
|----------|-----------------------|--------------|
| 1: | (1) NNH4-65A-R6R4 | (NEW) |
| 2: | (1) AIR6472 B77G B77M | (NEW) |
| 3: | (1) NNH4-65A-R6R4 | (NEW) |
| 4: | (1) EMPTY MAST-PIPE | (NEW) |

3 ANTENNA SCHEDULE

SCALE = N.T.S.



ANTENNA SPECIFICATIONS
 -ANTENNA TYPE: SQUID
 -PRODUCT #: 69-24-8C-07
 -FIBER CONNECTIONS: UP TO 24 FIBER PAIR
 -NUMBER OF CIRCUITS PROTECTED: 9
 -DIMENSIONS: (HxWxD) 17.91" x 10.24" x 10.24"
 -WEIGHT: 18.5 LBS (WITHOUT MOUNTING BRACKET)

7 DC9 SQUID DETAIL

SCALE = N.T.S.



ANTENNA SPECIFICATIONS
 -MANUFACTURER: ERICSSON
 -PRODUCT #: AIR 6472 B77G B77M
 -DIMENSIONS: (HxWxD) 35.3" x 15.8" x 9.3"
 -WEIGHT: 67.2 LBS (WITHOUT MOUNTING BRACKET)

2 ANTENNA AIR6472 B77G B77M DETAIL

SCALE = N.T.S.



ANTENNA SPECIFICATIONS
 -MANUFACTURER: ERICSSON
 -PRODUCT #: NNH4-65A-R6R4
 -DIMENSIONS: (HxWxD) 59.015" x 19.606" x 7.756"
 -WEIGHT: 73.855 LBS (WITHOUT MOUNTING BRACKET)

1 ANTENNA NNH4-65A-R6R4 DETAIL

SCALE = N.T.S.

RRH SPECIFICATIONS
 -MANUFACTURER: ERICSSON
 -PRODUCT #: 4890 B25/B66 RRU
 -COLOR: LIGHT GRAY
 -DIMENSIONS: (HxWxD) 20.59" x 15.67" x 7.05" (WITH SOLAR SHIELD)
 -WEIGHT: 67.24 LBS (WITHOUT MOUNTING BRACKET)

5 B25/66 DUAL BAND RRU DETAIL

SCALE = N.T.S.

RRU SPECIFICATIONS
 -MANUFACTURER: ERICSSON
 -PRODUCT #: 4494 B14/B29
 -DIMENSIONS: (HxWxD) 17.480" x 15.118" x 5.6299"
 -WEIGHT: 57.3202 LBS (WITHOUT MOUNTING BRACKET)

6 4494 B14/B29 RRU DETAIL

SCALE = N.T.S.

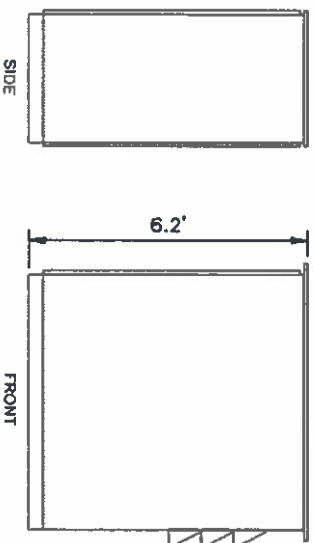
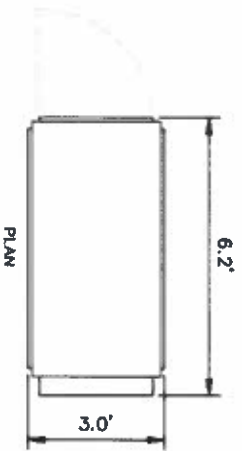


EQUIPMENT CARD SPECIFICATIONS
 -MANUFACTURER: ERICSSON
 -PRODUCT #: 6691 BRU (PHE-INSTALLED IN 3-BAY W/O)

8 EQUIPMENT CARD DETAIL

SCALE = N.T.S.

MANUFACTURER: POLAR POWER
 MODEL: DIESEL GENERATOR
 5027D500TE005
 WEIGHT: 1722 LBS



1 GENERATOR DETAIL
 SCALE = N.T.S.

DOB
 DIESEL OIL BURNER
 75 YEAR HISTORY
 15 YEARS OF SERVICE

5G-LTE Enclosure

Why Choose the 5G-LTE Series?

The 5G-LTE series enclosure is the new evolution and standard for outdoor equipment rack applications. Built constructed of our Aluminum material, you'll find it noticeably lighter than steel, yet strong enough to rack even the heaviest equipment. We have taken everything that was great about the LTEE and made it better. With the 5G-LTE, you will continue to find all the standard features you need including, HVAC climate control, electrical load panel, and spool-up, side-box, but we didn't stop there. We have added extra battery tray support for the increasing needs of battery backup, reversible 18" or 23" rack rails, adding our variable "R-Start System" improved the security and sealing ability of the 3-point locking system to give greater security and weather protection, making this a superb battery enclosure. Again, and again, DOB leads the way with advanced design and features that just work. All while being the most competitively priced and readily available enclosure on the market. Put DOB's substantial stock to work for you today. Contact our professional staff to assist you with your made-to-order solution.

Application Types

- Telecommunications
- Wireless/Broadband
- Fiber Optics
- Back Haul
- Public Safety
- Liberty
- Base Station
- Military
- Wi-Fi
- LTE4G/5G

2301 S. HWY 77 Pauls Valley, OK 73075
 T: (800) 753-8459 - F: (877) 220-7236
www.dobenclosure.com



Environmental & Safety Ratings:

- NEMA 3R, IP 24 (Battery compartment)
- NEMA 4, IP 66 (top compartment)
- ETL listed, Safety Requirements, UL 62368-1:2019
- ETL, CSA C222
- ETL, CSA C222

Features

- 0.125" Aluminum Construction
- Stainless Steel External Hardware/Type
- 3 Point Lock System
- Heavy Duty Out-Door Construction
- Front and Rear Access
- Flexible and Scalable
- 15 Year Warranty
- Quick Shipping

Weight and Dimensions

- Approximate Enclosure Dimensions:
- 81" H x 30" W x 34" D
- Shipping Dimensions:
- 60" W x 60" L - Decked Pallet
- Approximate Shipping Weight:
- 644 lbs.

2 5G-LTE ENCLOSURE DETAIL
 SCALE = N.T.S.



ARCHITECTS
 121 TECHNOLOGY DRIVE, SETAUNET, NY 11711
 P: 617.689.9450 | F: 617.689.9599 | www.wfc.com

CONSTRUCTION:

| NO. | DATE | DESCRIPTION |
|-----|----------|------------------------------|
| 0 | 06/07/25 | ISSUED FOR REGULATION REVIEW |
| 1 | 06/17/25 | REVISED PER TOWER CONSULTANT |
| 2 | 08/17/25 | REVISED PER COMMENTS |
| 3 | 10/09/25 | REVISED PER COMMENTS |

| NO. | DATE | REASON |
|-----|------|--------|
| | | |
| | | |
| | | |
| | | |

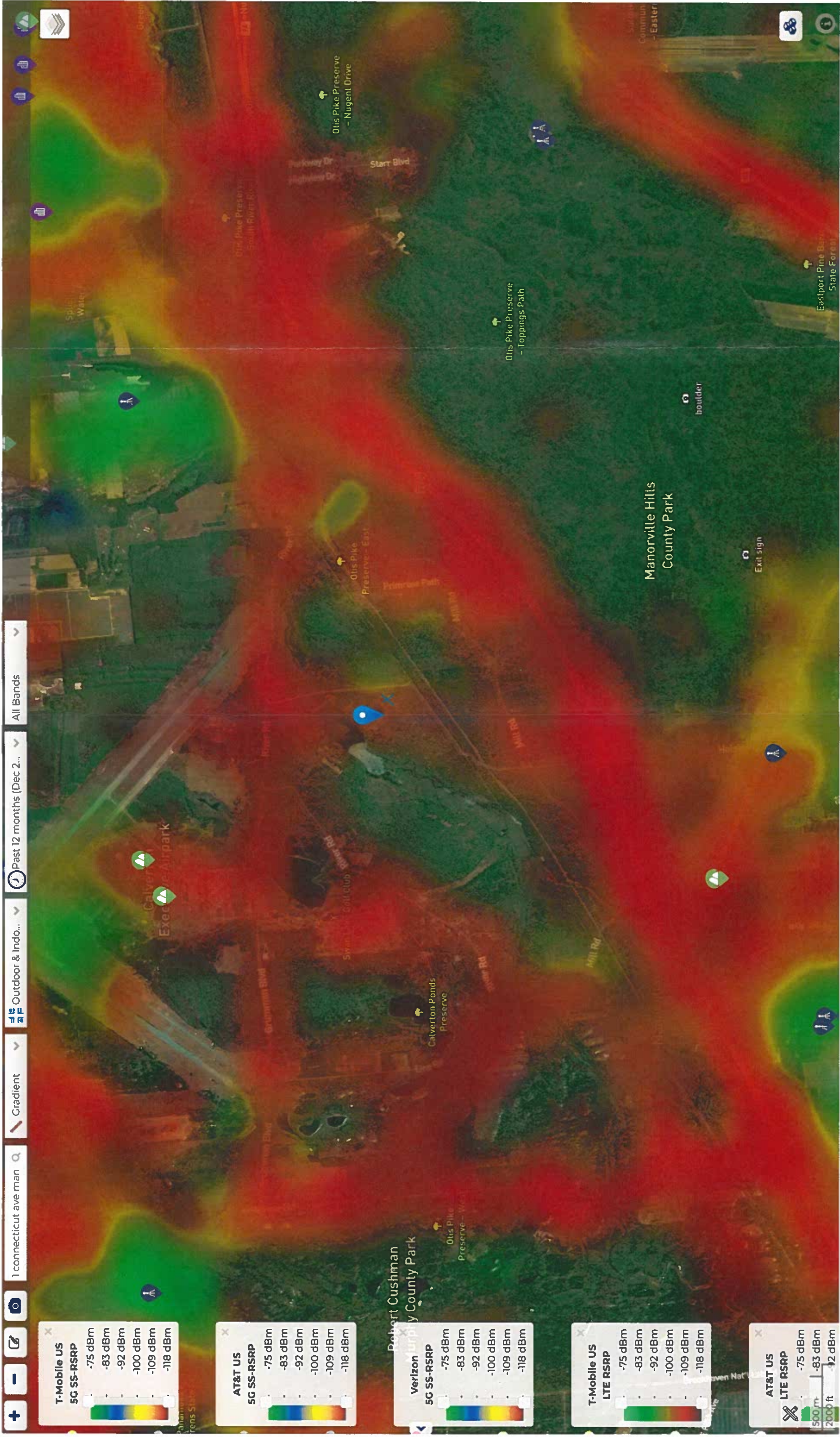


PECONIC RIVER
 NEW BUILD (RAWLAND)
 ZONING DRAWINGS

1 CONNECTICUT AVE
 MANORVILLE, NY 11949

EQUIPMENT DETAILS

| | |
|-------------|-----------|
| DATE | 06/07/25 |
| PROJECT NO. | 25-6303 |
| DRAWN BY | TC |
| CHECKED BY | ES |
| SCALE | AS NOTED |
| DRAWING NO. | SP-106.00 |



1 connecticut ave man **Gradient** Outdoor & Indo... Past 12 months (Dec 2... All Bands

T-Mobile US
5G SS-RSRP

- 75 dBm
- 83 dBm
- 92 dBm
- 100 dBm
- 109 dBm
- 118 dBm

AT&T US
5G SS-RSRP

- 75 dBm
- 83 dBm
- 92 dBm
- 100 dBm
- 109 dBm
- 118 dBm

Verizon
Murphy County Park
5G SS-RSRP

- 75 dBm
- 83 dBm
- 92 dBm
- 100 dBm
- 109 dBm
- 118 dBm

T-Mobile US
LTE RSRP

- 75 dBm
- 83 dBm
- 92 dBm
- 100 dBm
- 109 dBm
- 118 dBm

AT&T US
LTE RSRP

- 75 dBm
- 83 dBm
- 92 dBm

500 m | 2000 ft

BOARD OF COMMISSIONERS

JOHN TRADESKI JR., Chairman
TIMOTHY MURPHY, Vice-Chairman
EDWARD CAREY JR.
MARK CONKLIN
KYLE WATTS



RIVERHEAD FIRE DISTRICT

540 Roanoke Avenue
Riverhead, New York 11901

631-603-3671
Fax: 631-727-7046

DEC 22 2025

FRANK DARROW
District Manager

Central Pine Barrens Joint Planning & Policy Commission
CAITLIN M. BUTHMANN
Secretary / Treasurer

December 4, 2025

Central Pine Barrens Joint Planning & Policy Commission
624 Old Riverhead Road
Westhampton Beach, NY 11978

REF: Elite LI Towers, LP
1 Connecticut Avenue, Manorville, NY 11949
SCTM No.: 0200-298.00-01.00-001.000

Dear Members of the Pine Barrens Joint Planning and Policy Commission:

We are writing this letter to express our support for the proposed installation of a new radio transmitting and receiving tower on the above-mentioned property.

We fully support the proposed development; we will always support any project that can enhance communications for public safety in the surrounding areas. The height of the proposed tower will enable it to provide additional service coverage at levels acceptable to public safety communications systems, which will provide a direct public benefit as it can enhance the ability for police, fire and emergency medical personnel to communicate during critical calls.

Accordingly, we submit that the project is a substantial public improvement that will enhance the health, safety, and welfare of the public.

Please feel free to contact me if you have any questions or comments regarding the above.

Sincerely,

John Tradeski Jr.
Chairman, Board of Fire Commissioner

MANORVILLE



FIRE DISTRICT

14 Silas Carter Road • Manorville, New York 11949

January 12, 2026

(631) 878 6611
Fax: (631) 878 6620

Central Pine Barrens Joint Planning & Policy Commission
624 Old Riverhead Road
Westhampton Beach, NY 11978

COPY

Re: Elite Towers, LP
1 Connecticut Avenue, Manorville, NY 11949
SCTM No.: 0200-298.00-01.00-001.000

Dear Members of the Pine Barrens Joint Planning and Policy Commission,

We are writing this letter to express support for the proposed installation of a new radio transmitting and receiving tower at the above – referenced property.

We fully support the proposed development as we firmly believe that there is a need to install such a tower to provide a public safety quality of communications service in the area surrounding the property. The height of the proposed tower will enable it to provide additional service coverage at levels acceptable for public safety communications systems, which will provide a direct public benefit as it will ensure the ability for police, fire and emergency medical personnel to communicate during critical calls.

Accordingly, we submit that the project is a substantial public improvement that will enhance the health, safety and welfare of the public.

Please feel free to contact me if you have any questions or comments regarding the above.

Respectfully,

Melanie Austin
District Secretary

BOARD OF FIRE COMMISSIONERS
WILLIAM COSTELLO, Chairman • CHARLES STEUERWALD, Vice-Chairman
KENNETH MCFAN, Commissioner • JASON NAUREK, Commissioner • GERALDIANNONE, Commissioner
MELANIE AUSTIN, District Secretary



Suffolk County Detectives Association Inc.

465 MONTAUK HIGHWAY
WEST SAYVILLE, NY 11796-1809

PHONE (631) 563-4408
FAX (631) 563-4469

February 27, 2026

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1ST VICE PRESIDENT

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PCT. TRUSTEE
DET. BUREAU SOUTH

ANTHONY IADEVAIO
PCT. TRUSTEE
DET. BUREAU NORTH

GUIDO CIRENZA
TRUSTEE
MAIN OFFICE A

GLENN PERIGAUT
TRUSTEE
MAIN OFFICE B

CRAIG KNUDSEN
TRUSTEE
MAIN OFFICE C

ALLEN M. KRANZ
LABOR COUNSEL

Central Pine Barrens Joint Planning & Policy Commission
642 Old Riverhead Road
Westhampton Beach, NY 11978
Attn. Joe Hocker

Re: Elite LI Towers, LP
1 Connecticut Avenue, Manorville, NY 11949
SCTM No.: 0200-298.00-01.00-001.000

Dear Members of the Pine Barrens Joint Planning and Policy Commission:

We are writing this letter to express our support for the proposed installation of a new radio transmitting and receiving tower at the above-referenced property.

We fully support the proposed development as we firmly believe that there is a need to install such a tower to provide a public safety quality of communications service in the area surrounding the property. The height of the proposed tower will enable it to provide additional service coverage at levels acceptable for public safety communications systems, which will provide a direct public benefit as it will ensure the ability for police, fire and emergency medical personnel to communicate during critical calls.

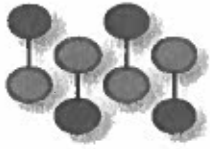
Accordingly, we submit that the project is a substantial public improvement that will enhance the health, safety and welfare of the public.

Please feel free to contact me if you have any questions or concerns regarding the above.

Respectfully,

George A. Michels Jr.
President

*Affiliated with
National Association of Police Organizations
Police Conference of New York*



IWT

Integrated Wireless Technologies, LLC
Connecting Systems ●● Connecting People

101-1 Colin Drive
Holbrook, NY 11741
631-653-6650

To: Whom it may concern

From: Andrew T Hintze

Date: 26 August 2025

Subj: Manorville Fire District Radio Communications

1. The Manorville Fire District has a need to install an additional tower for their current communications network. The new tower is required to provide a public safety quality of communications service in the areas frequented by the Fire District. These areas include the Fire District's northern area of operation. A tower at 150' is required to provide coverage at levels acceptable for Public Safety communications systems and ensure the ability for fire and emergency medical personnel to communicate during critical calls. Typical coverage goals for Public Safety communications systems are 90% coverage across the geography that represents the entities primary operations area, in this case the Fire District boundaries.
2. Currently, the fire district utilizes a channel that experiences co-channel interference making the primary site problematic, specifically during high tropospheric ducting times. Additionally, Manorville Fire District serves one of the largest districts on Long Island. Antennas and PTP Link Panels are planned on the new tower to ensure communications for both traditional voice and data notifications across the district on existing towers.



3. The fire districts' immediate mutual aid area communications are also enhanced by the planned communications system. This is significant as each fire district relies heavily on its neighbors for backup resources and specialized response teams. Often these backup resources are kept on standby on their own channel until needed. Changes in mutual aid procedures in Suffolk County also increase the likelihood that resources will travel out of the district.

4. Please feel free to contact me at 631-653-6650 if you have any questions regarding the above information.

Respectfully

Andrew T Hintze Sr

Andrew Hintze
Account Manager, Eastern Suffolk

31269-100

'ORIGINAL
Conservation
Easement
-2005"

Conservation Easement

THIS INDENTURE, made this 10th day of March, ~~2003~~ 2005.

Witnesseth:

WHEREAS, Peconic River Sportsman's Club, Inc., formerly known as Babylon Rod and Gun Club, Inc., with offices at EFD 359 River Road, Manorville, New York 11949, hereinafter called the Grantor is the owner in fee simple of certain real property, hereinafter called the "Property," which has ecological, scientific, groundwater recharge, scenic, educational, recreational and aesthetic value (the "Natural Values") in its present state as a natural area which property is partly located in the Town of Brookhaven and partly located in the Town of Riverhead in the County of Suffolk, State of New York, which property is more particularly described as follows:

See Schedule A annexed hereto

WHEREAS, the Central Pine Barrens Joint Planning and Policy Commission (the "Commission"), with offices at P.O. Box 587, 3525 Sunrise Highway, 2nd Floor, Great River, New York 11739-0587, was created pursuant to the Long Island Pine Barrens Protection Act of 1993 (the "Act") codified in New York Environmental Conservation Law Article 57 ("Article 57"), is hereinafter described as the "Grantee;" and

WHEREAS, the Central Pine Barrens is a 100,000 acre area within the central and eastern portions of New York's Suffolk County which includes parts of the towns of Brookhaven, Riverhead and Southampton, and which is divided into two areas, the Core Preservation Area (the "Core") and the Compatible Growth Area (the "CGA"), as delineated in Article 57, and

WHEREAS, the Commission adopted the Central Pine Barrens Comprehensive Land Use Plan (the "Plan") which is designed to protect, preserve and enhance the functional integrity of the Pine Barrens ecosystem and its significant natural resources, including plant and animal populations and communities, to protect the quality of surface water and groundwater, discourage piecemeal and scattered development, promote recreational and environmental educational uses that are consistent with the Plan, to accommodate development in a manner consistent with the long term integrity of the Pine Barrens ecosystem, and to ensure that the pattern of development is compact, orderly and efficient; and

WHEREAS, the Plan's goals for the Core include protecting and preserving the ecologic and hydrologic functions of the Central Pine Barrens by preserving the Central Pine Barrens area in its natural state, promoting compatible agricultural, horticultural and open space and certain recreational uses within the framework of maintaining a Pine Barrens environment and minimizing the impact of such activities thereon, prohibiting or redirecting new construction or development, accommodating specific Pine Barrens management practices, and protecting and preserving the

quality of surface and groundwaters; and

WHEREAS, this grant of Conservation Easement is made pursuant to Environmental Conservation Law ("ECL"), Title 3, Article 49 or its similar successor statute, and this Conservation Easement is intended to comply with said statute; and

WHEREAS, Grantor and Grantee recognize the ecological, scientific, groundwater recharge, scenic, educational, recreational and aesthetic value of the Property and have the common purpose of conserving the Natural Values of the Property by the conveyance to the Grantee of a Conservation Easement on, over and across the Property which shall conserve the Natural Values of the Property and advance the goals of the Commission pursuant to the Act and the Plan;

NOW, THEREFORE Grantor, for and in consideration of the facts above and hereinafter recited including, but not limited to, entitlement to receipt of the Pine Barrens Credits pursuant to Grantor's Letters of Interpretation dated February 7, 2005 in the amount of 7.99 Brookhaven and 9.26 Riverhead Pine Barrens Credits and of the mutual covenants, terms, conditions and restrictions herein contained, does hereby give, grant, bargain, sell and convey unto the Grantee, its successors and assigns forever a Conservation Easement in perpetuity over the Property consisting of the following:

1. The right of visual access to and view of the Property in its natural, scenic and open condition.
2. The Grantor's forbearance from taking any of those actions constituting development pursuant to ECL Section 57-0107(13), and the Grantor's forbearance from operations or uses pursuant to ECL Section 57-0107(13)(i-xiv) unless such operations or uses are otherwise expressly reserved herein.
3.
 - a. The right of the Grantee, its respective agents, employees or other representatives, to enforce this Conservation Easement in an action at law or in equity or both.
 - b. The right of the State of New York, the County of Suffolk, the Township in which the Property is situated or their respective agents, employees or other representatives, exercising a third party enforcement right, to enforce this Conservation Easement in an action at law or in equity or both.

Enforcement pursuant to (a) and (b) hereinabove shall not be defeated because of any subsequent adverse possession, laches, estoppel or waiver. Grantee or any party with a third party enforcement right or their respective agents, employees or other representatives shall be permitted access, if necessary, to cross other lands retained by the Grantor, and to enter upon the Property at all reasonable times but

solely for the purpose of inspection in order to enforce and assure compliance with the terms and conditions herein contained. Grantee, its agents, employees or other representatives, agree to give Grantor reasonable advance notice of its intention to enter and inspect the Property, and further such entrance and inspection shall be in a reasonable manner and at reasonable times. Furthermore, Grantor shall provide any third party with enforcement rights, or its agents, representatives or employees, access to cross other lands retained by Grantor, and permission to enter upon the Property, upon receipt of advance notice of such third party's intention to enter and inspect. Such entrance and inspection shall be in a reasonable manner and at reasonable times and accompanied by a representative of the Grantor.

Covenants

In furtherance of the foregoing affirmative rights, the Grantor makes the following covenants, on behalf of himself, his successors, heirs and assigns, lessees, personal representatives and other successors in interest, which covenants shall run with and bind the Property in perpetuity:

1. There shall be no alteration of vegetation or change in topography, no development as defined by ECL Section 57-0107(13) and no operations or uses not constituting development pursuant to ECL Section 57-0107(13)(i-xiv), unless otherwise expressly reserved herein.
2. There shall be no storing, dumping, discharging or placing of any substance in or on the Property in contravention of any applicable federal, state or local law or ordinance.

Reserved Rights

NEVERTHELESS, and notwithstanding any of the foregoing provisions to the contrary and as expressly limited herein, the Grantor reserves for himself, his heirs, successors and assigns the following reserved rights in addition to all those rights previously retained, reserved and defined herein, which may be exercised without written notice to the Grantee:

1. The right of exclusive possession of the Property.
2. The right to use the Property for passive recreational activities such as, but not limited to, hunting, fishing, camping, and hiking so long as such activities conform to local zoning regulations and do not constitute development as defined in ECL Section 57-0107(13) and do not involve the material alteration of vegetation.

3. The right to use the Property for any existing, expanded, or new activity involving agriculture or horticulture, the erection of agricultural buildings, required for the production of plants or animals, including but not limited to barns, greenhouses, farm stands and bird pens, provided such activities are within a cleared area as shown on the aerial photograph taken by AeroGraphics Corp. dated March 7, 2000 and depicted as such on the survey by Young and Young entitled "Map of Property Peconic River Sportsman Club, Inc.," dated December 12, 2003 and further provided such activities do not have the potential to generate sanitary waste. The continued use of the property as a shooting ground as reflected under ECL Section 57-0107(14) provided such activity does not involve material alteration of native vegetation.
4. The right to use and maintain, by mowing or cutting, the existing fields including maintaining the existing cleared areas used for hunting game birds and shooting clay targets and to maintain and replace in kind (without increasing the foot print or generating any additional sanitary waste) existing buildings and equipment. The areas that may be maintained are the areas which are cleared as shown on the aerial photograph taken by AeroGraphics Corp. dated March 7, 2000 and depicted as such on the survey by Young and Young entitled "Map of Property Peconic River Sportsman Club, Inc.," dated December 12, 2003.
5. The right to use the Property for operations or uses described in ECL Section 57-0107(13) (i, ii and vi), or environmental restoration projects commenced by the Grantor or his heirs, successors or assigns upon approval of any applicable Federal, State or local agency, or any activity authorized under the federal natural gas act (15 U.S.C. Sections 717- 717w), as same may be amended from time to time.
6. The right to sell, give or otherwise convey the Property or, consistent with the Covenants herein, any portion or portions of the Property, subject to the terms of this Conservation Easement. The Grantor, upon the sale, gift or other conveyance of his fee interest in the Property, shall have no further obligations or liabilities under this Conservation Easement. Grantor shall promptly notify Grantee of any conveyance of any interest in the Property, including the full names and mailing addresses of all Grantees, and the individual principals thereof, under any such conveyance. The instrument of any such conveyance shall specifically set forth that the interest thereby conveyed is subject to this Conservation Easement, without modification or amendment of the terms of this Conservation Easement, and shall incorporate this Conservation Easement by reference, specifically setting forth the date, office, liber and page of the recording thereof. The failure of any such instrument to comply with the provisions hereof shall not affect Grantee's rights hereunder.

Rights of the Public

Nothing contained in this Conservation Easement shall give or grant to the public a right to enter upon or to use the Property or any portion thereof where no such right existed in the public immediately prior to the execution of this Conservation Easement except as may be granted by the Grantor herein or his successors.

Miscellaneous

1. The parties hereto understand and agree that all the terms and provisions of ECL, Title 5, Article 49, as the same may be hereafter amended, entitled Conservation Easements shall apply to this Conservation Easement.
2. This Conservation Easement contains the entire understanding between its parties concerning its subject matter. Any prior agreement between the parties concerning its subject matter shall be merged into this Conservation Easement and superseded by it.
3. Any provision of this Conservation Easement restricting Grantor's activities, which is determined to be invalid or unenforceable by a court, shall not be rendered a nullity. Instead, that provision shall be reduced or limited to whatever extent that the court determines will make it enforceable and effective. Any other provision of this Conservation Easement which is determined to be invalid or unenforceable by a court shall be severed from the other provisions, which shall remain enforceable and effective.
4. Regardless of any contrary rule of construction, no provision or alleged ambiguity of this Conservation Easement shall be construed in favor of one of the parties because it was drafted by the other party's attorney. If any provision of this Conservation Easement is ambiguous or shall be subject to two or more interpretations, one of which would render that provision invalid, then that provision shall be given such interpretation as would render it valid and consistent with the purposes of this Conservation Easement as intended by Grantor. Any rule of strict construction designed to limit the breadth of the restrictions on use of the Property shall not apply in the construction or interpretation of this Conservation Easement, and, this Conservation Easement shall be interpreted broadly to effect the purposes of this Conservation Easement as intended by Grantor. The parties intend that this Conservation Easement, which is by nature and character primarily negative in that Grantor has restricted and limited Grantor's right to use the Property, except as otherwise recited herein, be construed at all times and by all parties to effectuate its purposes.
5. This Conservation Easement can be terminated only in accordance with the law of the State of New York applicable to the termination of easements and covenants running with

the land. This Conservation Easement may be modified only upon the written consent of both Grantor and Grantee, or their successors, heirs, representatives or assigns. Grantor and Grantee recognize that circumstances could arise which would justify the modification of certain of the restrictions contained herein. To this end, Grantee and Grantor shall mutually have the right, in their sole discretion, to agree to amendments to this Conservation Easement which are not inconsistent with the basic purpose of this Conservation Easement, provided, however, that the Grantee shall have no right or power to agree to any amendments hereto that would result in this Conservation Easement failing to qualify as a valid conservation easement under ECL, Title 3, Article 49 as the same may be hereafter amended.

6. The Grantor agrees that the terms, conditions, restrictions and purposes of this Conservation Easement shall continue as a servitude running in perpetuity with the Property and will be incorporated by reference in any subsequent deed or other legal instrument by which the Grantor divests himself of either the fee simple title to or its possessory interest in the Property or any portion thereof specifically setting forth the date, and the liber and page of the Suffolk County Clerk's records of the recording hereof.
7. Any notices required in this Conservation Easement shall be written. Notices shall be given either by manual delivery or by mailing in a mail receptacle maintained by the United States Postal Service. Mailed notices must be contained in an accurately addressed, sealed envelope, marked for delivery by first class registered or certified mail, with sufficient prepaid postage affixed and with return receipt requested. Mailed notice to the Grantor shall be addressed to Grantor's address as recited herein or to any such other address as the Grantor may designate by notice in accordance with this section. Mailed notice to the Grantee shall be addressed to Grantee's address as recited herein or to any such other address as the Grantee may designate by notice in accordance with this section.
8. It is understood and agreed by the Parties hereto that the Grantor, its successors, heirs and assigns, shall not be liable for any changes to the Property caused by any natural disaster or Act of God. Grantor reserves the right to restore the Property to substantially same condition as existed before the occurrence of such natural disaster or Act of God, but in restoring the Property, Grantor, shall not be permitted to restore the Property in a manner that has the potential to increase the sanitary waste generated by the improvements on the Property or materially alter the vegetation of the Property. Prior to commencing any restoration effort, Grantor shall submit a restoration plan to the Commission for its review and approval.
9. The Grantor and Grantor's lessees, representatives, successors, heirs and assigns, shall not apply to the Commission or the Pine Barrens Credit Clearinghouse for a hardship, other permit or Pine Barrens Credits under the Plan or under ECL Article 57 pertaining to the "Schedule A" premises. Notwithstanding the foregoing, the Grantor shall have the right to construct a pump house pursuant to a resolution passed by the Commission on August

19, 2004, a copy of which is annexed hereto and made a part hereof.

10. The Grantor does further covenant and represent that the Grantor is seized of the Property in fee simple and has good right to grant and convey the aforesaid Conservation Easement, that the Property is free and clear of any and all encumbrances, other than those of record, and that the Grantee shall have the use of, and enjoy all of the benefits derived from and arising out of, the aforesaid Conservation Easement
11. The parties hereto recognize and agree that the benefits of this Conservation Easement are in gross and assignable, and the Grantee hereby covenants and agrees that any transferee or assignee will be an organization or public body qualified to hold a Conservation Easement pursuant to E.C.L. Title 3, Article 49 as the same may be hereafter amended, and the regulations promulgated thereunder
12. All references to statutory provisions of Article 27 shall be as such provisions were in effect on the date of execution of this Conservation Easement

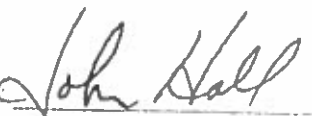
IN WITNESS WHEREOF, Grantor has executed and delivered and Grantee has accepted and received this Grant of Conservation Easement on the day and year set forth above


GRANTOR:

GRANTEE:

Peconic River Sportsman Club, Inc.

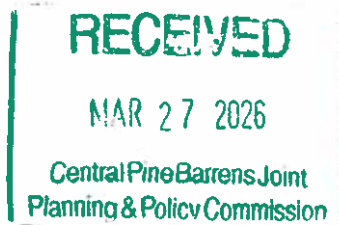
Central Pine Barrens Joint Planning and Policy Commission

By: 
Name: John Hall
Title: President

By: 
Name: Peter A. Scully
Title: Chairman

By: 
Name: Darius Perry
Title: Secretary

Central Pine Barrens Joint
Planning and Policy Commission



March 27, 2026

I would like to propose the following:

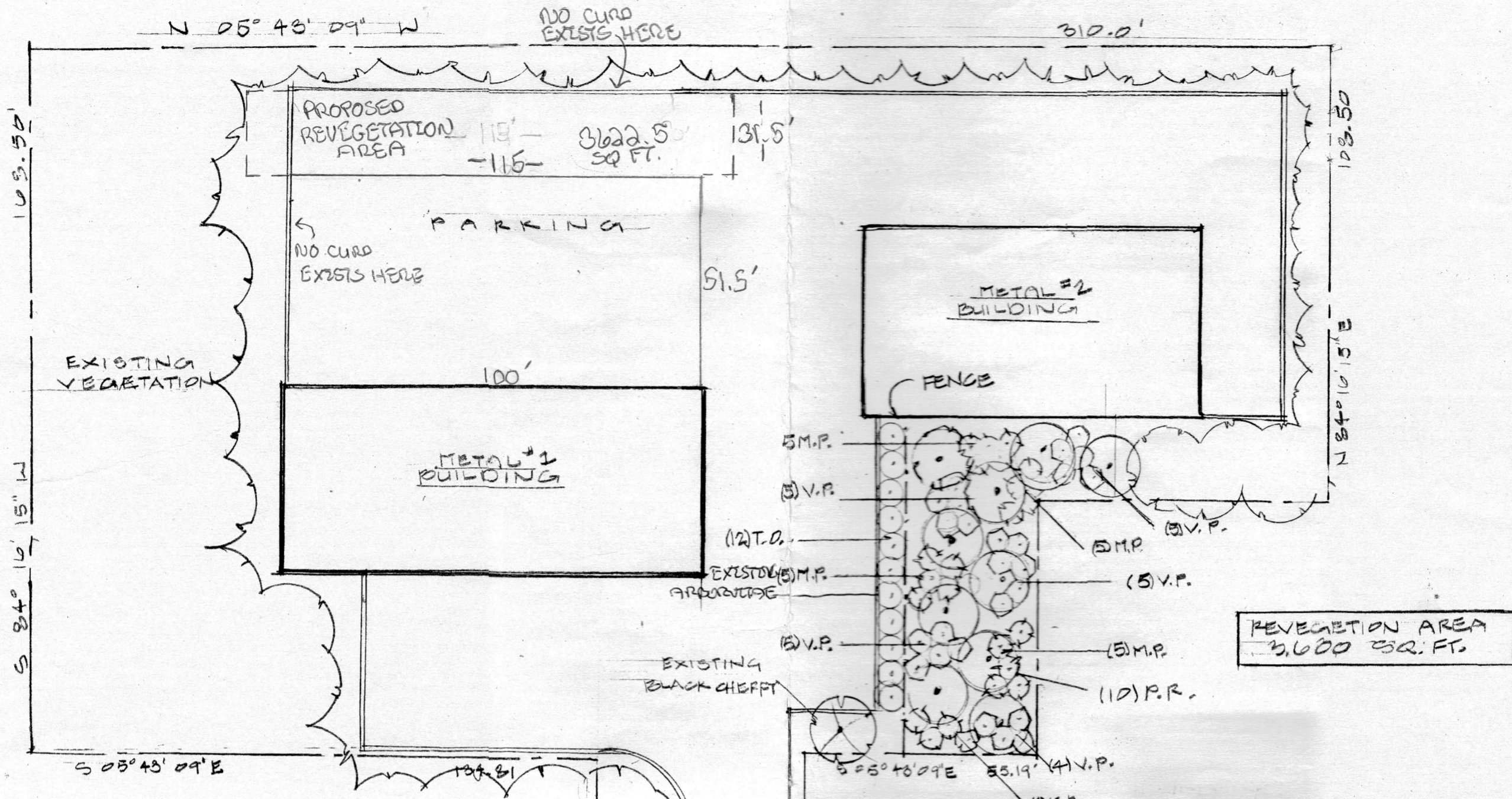
Behind building #1 on the property at 247 Old Riverhead Road is a parking area. Behind that is a cleared area that measures 31.5 feet from the parking area to the existing natural woods. There is 115 feet minimum in width at this location. That adds up to 3622.5 square feet.

The area I am required to revegetate is 3600 square feet. Were I to revegetate the area behind building #1 instead of the originally proposed area, the same and equal results would be obtained. I would follow the same approved materials plan and rules that have been set forth for the original area in my new proposed area.

Sincerely,

A handwritten signature in black ink that reads "Ralph Schenk". The signature is written in a cursive style.

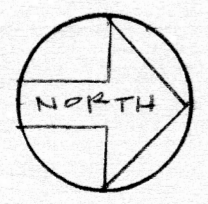
Ralph Schenk



| SYM. | AMT. | PLANT SCHEDULE | SIZE | SPACE |
|------|------|--|-------|-------|
| P.R. | 10 | PINUS RIDIDA 'PATCH PINE' | 2 GAL | 30' |
| M.P. | 24 | MYRTICA PENNSYLVANICA 'BAYBERRY' | 2 GAL | 4' |
| V.P. | 24 | VIORNUM PRUNIFOLIUM 'BLACKHAW VIORNUM' | 2 GAL | 4' |
| T.O. | 12 | THUJA OCCIDENTALIS 'DARK ARBORVITAE' | 2 GAL | 4' |

- NOTES:**
1. PATCH SOURCE WILL BE FROM BUILDING #2.
 2. GUARANTEE BE 70% SURVIVAL OF PLANTINGS FOR THREE YEARS FROM TIME OF PLANTING.
 3. REMOVE AND REPLACE DEAD, DRYING, AND DISEASED PLANTS DURING THE THREE-YEAR GUARANTEE PERIOD.
 4. MONITOR AND CONTROL INVASIVE SPECIES IN THE REVEGETATION AREA. INVASIVE PLANTS SHALL BE REMOVED BY HAND.
 5. BACK ALL PLANTINGS WITH TOP SOIL.
 6. MULCH REVEGETATION AREA WITH WOOD CHIPS, 2" DEEP.

SURVEY INFORMATION TAKEN FROM RAYNOR & MARCKS SURVEYORS PC. DATED APRIL 13, 1999
S.C.T.M # 900-311-01-9.3



SCALE 1" = 20'-0"

WESTHAMPTON - RIVERHEAD ROAD

RECEIVED
MAR 27 2026
Central Pine Barrens Joint
Planning & Policy Commission

REVEGETATION PLAN FOR
RALPHSCHENK
247 OLD RIVERHEAD RD. WESTHAMPTON
DRAW BY
MARK KNOTOFF
621 680 5039
DATE:
MARCH 1 2024

D & I Expediting Services, Inc.

631-475-1883

779 Horseblock Road

Fax 631-475-3176

Farmingville, NY 11738

DIXpedite@aol.com

May 13, 2026

Central Pine Barrens Joint Planning and Policy Commission

624 Old Riverhead Road

Westhampton Beach, NY 11978

Re: Hardship Application Applicant: Suffolk County Corrections Officers Association, Inc. (SCCOA)

Property Location: 1001 Middle Country Road, Ridge, NY

SCTM#: 0200-295.00-01.00-005.001, 005.002, & 005.003

Dear Commissioners:

Enclosed please find our application to the Commission for a Hardship Application on behalf of the Suffolk County Corrections Officers Association, Inc., the owner of the subject property located at 1001 Middle Country Road, Ridge (SCTM# 0200-295.00-01.00-005.001, 005.002, 005.003). This location serves as the official office and headquarters for the SCCOA.

Property History and Current Use

The subject property consists of three tax map lots totaling 2.77 acres. It is improved by a single-story commercial office building constructed in 1970, which maintains Certificate of Occupancy #61003 issued by the Town of Brookhaven on July 16, 1970. The existing structure measures 25' x 84', totaling approximately 2,100 square feet. Following a fire on the property in 2000, a Certificate for the Repair of Fire Damage (Permit #299033) was successfully issued in 2001. *Please note that all prior municipal violations have been fully resolved, and documentation verifying the clearance is enclosed.* The subject property was purchased in November of 2013 by the SCCOA because of its location and affordability at the time.

Proposed Workspace & Garage Expansion

With the steady growth of our organization, we have outgrown our current layout. There is an urgent need for an internal meeting room to eliminate the costly need to repeatedly rent outside venues.

Additionally, the applicant proposes constructing a 35 x 35 attached garage on the north end of the existing structure to house and secure association-owned vehicles. Because this stretch of Middle Country Road becomes quite desolate in the evening, securing vehicles inside a structure will eliminate the threat of vandalism or mischief.

Dimensional and Area Breakdown: * Ground Footprint Increase: The 35 x 35 garage will add 1,225 square feet to the footprint, representing a nominal 1% increase relative to the 2.77-acre parcel.

- **Second Story Addition:** We propose adding a full second story over both the existing structure and the new garage addition, adding approximately 2,200 square feet of office and meeting space.
- **Total Structural Increase:** The overall building area will increase by 3,425 square feet. The final footprint will occupy a mere 2.8% of the total property area.

Environmental and Zoning Compliance

The property is situated within the Town of Brookhaven's J-4 Zoning District. While Town Code requires a minimum lot area of 10,000 square feet for this use, our 2.77-acre lot sits at **nearly 12 times the required minimum**, easily exceeding the dimensional criteria set forth in Brookhaven Town Code §§ 85-445 and 85-451 (attached).

The intent of originally purchasing this large lot was to accommodate the natural growth of our organization, without fully realizing the exact scope of the Pine Barrens Core restrictions. To respect these environmental guardrails, this proposal guarantees:

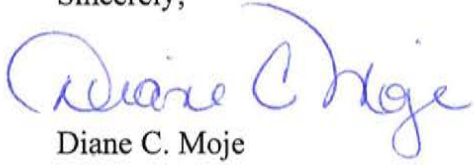
1. **Zero Additional Clearing:** The proposed garage extension will be situated entirely on a portion of the property that is already cleared, disturbed, and non-wooded, as confirmed by the enclosed survey. Ground disturbance will be strictly limited to the 1,225-square-foot expansion footprint and the immediate perimeter of the existing foundation.
2. **No New Impervious Surfaces or Parking:** No additional asphalt paving or parking stalls are being requested.
3. **Sanitary System Upgrade:** To offset the added interior space, the property's traditional sanitary system will be completely replaced with a state-of-the-art **Innovative and Alternative (I/A) Onsite Wastewater Treatment System** in strict compliance with Suffolk County Department of Health guidelines.

Preservation Offer

This proposal represents the only economically viable option to create necessary operational space for our organization while ensuring minimal disturbance to the natural landscape. To guarantee that the existing wooded acreage remains permanently natural and undisturbed, the applicant is prepared to offer **80,000 square feet (approximately 1.83 acres)** of the parcel to the Town or Commission as a permanent conservation easement.

We thank the Commission for its time, leadership, and consideration of this hardship application.

Sincerely,

A handwritten signature in blue ink that reads "Diane C. Moje". The signature is written in a cursive style with a large, looping initial "D".

Diane C. Moje

D&I Expediting Services, Inc. / DCMG Ltd.

On behalf of the Suffolk County Corrections Officers Association, Inc.

OWNER'S AFFIDAVIT

(Use this form if property is owned by an individual or a partnership)

STATE OF _____

COUNTY OF _____)ss:

----- being duly sworn, deposes S.C. Correction Officers Assoc. Inc.

(Owner's Name(s))

and says that I/we reside at 1001 Middle Country Rd, Ridge, NY 11961

(Owner's Address)

in the County of Suffolk State of New York, and that

I/we am/are the owner in fee of the property located at 1001 Middle Country Rd, Ridge, NY 11961

(Property Address)

which is also designated as Suffolk County Tax Map Number(s) 0200-295.00-01.00 005.001
005.002
005.003

_____ and that I/we have been the

owner(s) of this property continuously since 10/22/2013, and that I/we

(Date)

have authorized Diane C. Mige/DiMG Ltd to make a permit application to the

(Applicant's Name)

Central Pine Barrens Joint Planning and Policy Commission for this property. I/we make this Statement knowing that the Central Pine Barrens Joint Planning and Policy Commission will rely upon the truth of the information contained herein.

[Signature]
(Owner's Signature)

(2nd Owner's Signature)

Louis Viscusi
(Owner's Name - Please Print)

(2nd Owner's Name - Please Print)

3/12/26
(Date)

(Date)

Sworn to before me this 12 day March
of, 2026
Dyanne Harrington
Notary

Sworn to before me this ___ day
of, 20__

Notary

DYANNE T HARRINGTON
Notary Public, State of New York
No. 01HA6360785
Qualified in Suffolk County 29
Commission Expires June 26, 2024

TOWN OF BROOKHAVEN BUILDING DEPARTMENT
PATCHOGUE, NEW YORK

Temporary
 Permanent

of Compliance
 of Occupancy

Certificate

Permit No. 93261

Date 7-16-70

61903

Expires _____
(Temporary Certificates Only)

Applicant Legend Homes, Inc.

No. & St. 404 Landing Avenue

Village or City Smithtown State New York

This certifies that the 1/2 story office building
27'2" x 88'

- 2 Family Dwelling
- Multiple Residence
- Business

- classified as
- 1 Family Dwelling
 - Mercantile
 - Industrial
 - Storage
 - Assembly
 - Institutional
 - Miscellaneous

Located at No. 552 SEW side Middle Country Road

Distance 552 SEW of William Floyd Parkway

Village Ridge State of New York

Map described Section _____ Lot _____

conforms substantially with Zoning Ordinances, Building Code and other laws if any at date of permit issuance and permission is hereby given for use or occupancy.

Article 15 of the Executive Law of the State of New York, Section 296-5.1(A) (1) prohibits discrimination in the sale, rental, or lease of housing accommodations, because of race, creed, color or national origin.

Robert Quinn
Chief Building Inspector

This certificate is null and void if building structure or use is altered or used for any purpose other than which it is certified.

Convenience Copy Do Not Rescan

TOWN OF BROOKHAVEN BUILDING DIVISION

3233 Route 112, Medford, N.Y. 11763

BOARD OF APPEALS REVIEW BOARD STANDARD

Permit

NO. 299033

Case No. _____ Meeting Date _____
(BOARD OF APPEALS PERMIT ONLY)
R. No. 12 Date 11/14/00
Tel. # 205-1950 Expires 11/14/01
C.T.M. 295.00 01.00 005.002
005.001
005.003

Applicant Lake Grove Treatment Center
No. & St. 1019 RT. 25
City Ridge State NY Zip 11961

Permission is hereby granted for a Repair of Fire Damage

- | | | |
|---|-------------------------------------|--|
| <input type="checkbox"/> Accessory Apt. | <input type="checkbox"/> Addition | <input type="checkbox"/> 1 Family Dwg. |
| <input type="checkbox"/> Multiple Res. | <input type="checkbox"/> Game Room | <input type="checkbox"/> Assembly |
| <input type="checkbox"/> Business | <input type="checkbox"/> Industrial | <input type="checkbox"/> Institutional |
| <input type="checkbox"/> Plumbing | <input type="checkbox"/> Storage | <input type="checkbox"/> Miscellaneous |

Located at No. 1019 N S E W side RT. 25

Distance 200' N S E W of William Floyd Hwy.

Village Ridge State of New York Sec. _____

Map Suffolk Lot _____

Tax Item No. 8736515, 8737516, 8736517 Zone J4

pursuant to application & all applicable ordinances & laws.

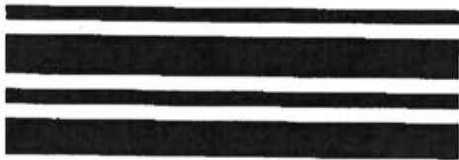
Permit Fee \$ 55

Add \$ _____

Plumb. Fee \$ _____ C.A. \$ _____

Total Fee \$ 55

Est. Value \$ _____ Per _____



SUFFOLK COUNTY CLERK
 RECORDS OFFICE
 RECORDING PAGE

Type of Instrument: DEED
 Number of Pages: 4
 Receipt Number : 13-0143966
 TRANSFER TAX NUMBER: 13-10003

Recorded: 11/08/2013
 At: 01:49:22 PM

LIBER: D00012751
 PAGE: 885

District: 0200 Section: 295.00 Block: 01.00 Lot: 005.001

EXAMINED AND CHARGED AS FOLLOWS

Deed Amount: \$458,000.00

Received the Following Fees For Above Instrument

| | | Exempt | | | Exempt |
|--------------|------------|--------|-----------|--|--------|
| Page/Filing | \$20.00 | NO | Handling | \$20.00 | NO |
| COE | \$5.00 | NO | NYS SRCHG | \$15.00 | NO |
| EA-CTY | \$5.00 | NO | EA-STATE | \$250.00 | NO |
| TP-584 | \$5.00 | NO | Notation | \$0.00 | NO |
| Cert.Copies | \$0.00 | NO | RPT | \$180.00 \$60.00 | NO |
| Transfer tax | \$1,832.00 | NO | | | |

Fees Paid ~~\$2,212.00~~
 \$2,332.00

TRANSFER TAX NUMBER: 13-10003

THIS PAGE IS A PART OF THE INSTRUMENT
 THIS IS NOT A BILL

JUDITH A. PASCALE
 County Clerk, Suffolk County

Ancillary R # 13-0148347

1 2

Number of pages 4

This document will be public record. Please remove all Social Security Numbers prior to recording.

RECORDED
2013 Nov 08 01:49:22 PM
JUDITH A. PASCALE
CLERK OF
SUFFOLK COUNTY
L D00012751
P 885
DT# 13-10003

Deed / Mortgage Instrument Deed / Mortgage Tax Stamp Recording / Filing Stamps

| 3 | | FEES | | 5 | |
|------------------|-------|-------------|-----|--|-------------|
| Age / Filing Fee | 20 | | | Mortgage Amt. | |
| Handling | 28.00 | | | 1. Basic Tax | |
| P-384 | 5 | | | 2. Additional Tax | |
| Location | | | | Sub Total | |
| A-52 17 (County) | 5 | Sub Total | 50 | Spec./Assit. | |
| A-5217 (State) | 250 | | | or | |
| P.T.S.A. 2x | 180 | | | Spec./Add. | |
| Comm. of Ed. | 5.00 | | | TOI. MTG. TAX | |
| Affidavit | | | | Dual Town | Dual County |
| Certified Copy | | | | Held for Appointment | |
| NY S Surcharge | 15.00 | Sub Total | 450 | Transfer Tax | 1832 |
| Other | | Grand Total | 500 | Mansion Tax | |
| | | | | The property covered by this mortgage is or will be improved by a one or two family dwelling only. | |
| | | | | YES _____ or NO _____ | |
| | | | | If NO, see appropriate tax clause on page # _____ of this instrument. | |



| | | | | |
|----------|---------|--------------|---------|---------------------------------|
| Dist. | Section | Block | Lot | 5 |
| 0290 | 295-00 | 01-00 | 005-001 | Community Preservation Fund |
| 13030821 | | See Attached | 005-002 | Consideration Amount \$ 458,000 |
| | | | 005-003 | CPF Tax Due \$ |
| | | | | Improved |
| | | | | Vacant Land |
| | | | | TD |
| | | | | TD |
| | | | | TD |

| | | |
|--|---|----------------------------|
| Mail to: Judith A. Pascale, Suffolk County Clerk 310 Center Drive, Riverhead, NY 11901 www.suffolkcountyny.gov/clerk | 7 | Title Company Information |
| | | Co. Name <i>Sherrata</i> |
| | | Title # <i>SD-0300/MES</i> |

Suffolk County Recording & Endorsement Page

This page forms part of the attached Deed made by:

Triple R. Resale, Inc (SPECIFY TYPE OF INSTRUMENT)

The premises herein is situated in
SUFFOLK COUNTY, NEW YORK.

In the TOWN of Brookhaven
In the VILLAGE of Kedge
or HAMLET of _____

Suffolk County Correction Officers Association, Inc

If the document you've just recorded is your **SATISFACTION OF MORTGAGE**, please be aware of the following:

If a portion of your monthly mortgage payment included your property taxes, *you will now need to contact your local Town Tax Receiver so that you may be billed directly for all future property tax statements.

Local property taxes are payable twice a year: on or before January 10th and on or before May 31st. Failure to make payments in a timely fashion could result in a penalty.

Please contact your local Town Tax Receiver with any questions regarding property tax payment.

Babylon Town Receiver of Taxes
200 East Sunrise Highway
North Lindenhurst, N.Y. 11757
(631) 957-3004

Brookhaven Town Receiver of Taxes
One Independence Hill
Farmingville, N.Y. 11738
(631) 451-9009

East Hampton Town Receiver of Taxes
300 Pantigo Place
East Hampton, N.Y. 11937
(631) 324-2770

Huntington Town Receiver of Taxes
100 Main Street
Huntington, N.Y. 11743
(631) 351-3217

Islip Town Receiver of Taxes
40 Nassau Avenue
Islip, N.Y. 11751
(631) 224-5580

Riverhead Town Receiver of Taxes
200 Howell Avenue
Riverhead, N.Y. 11901
(631) 727-3200

Shelter Island Town Receiver of Taxes
Shelter Island Town Hall
Shelter Island, N.Y. 11964
(631) 749-3338

Smithtown Town Receiver of Taxes
99 West Main Street
Smithtown, N.Y. 11787
(631) 360-7610

Southampton Town Receiver of Taxes
116 Hampton Road
Southampton, N.Y. 11968
(631) 283-6514

Southold Town Receiver of Taxes
53095 Main Street
Southold, N.Y. 11971
(631) 765-1603

Sincerely,



Judith A. Pascale
Suffolk County Clerk

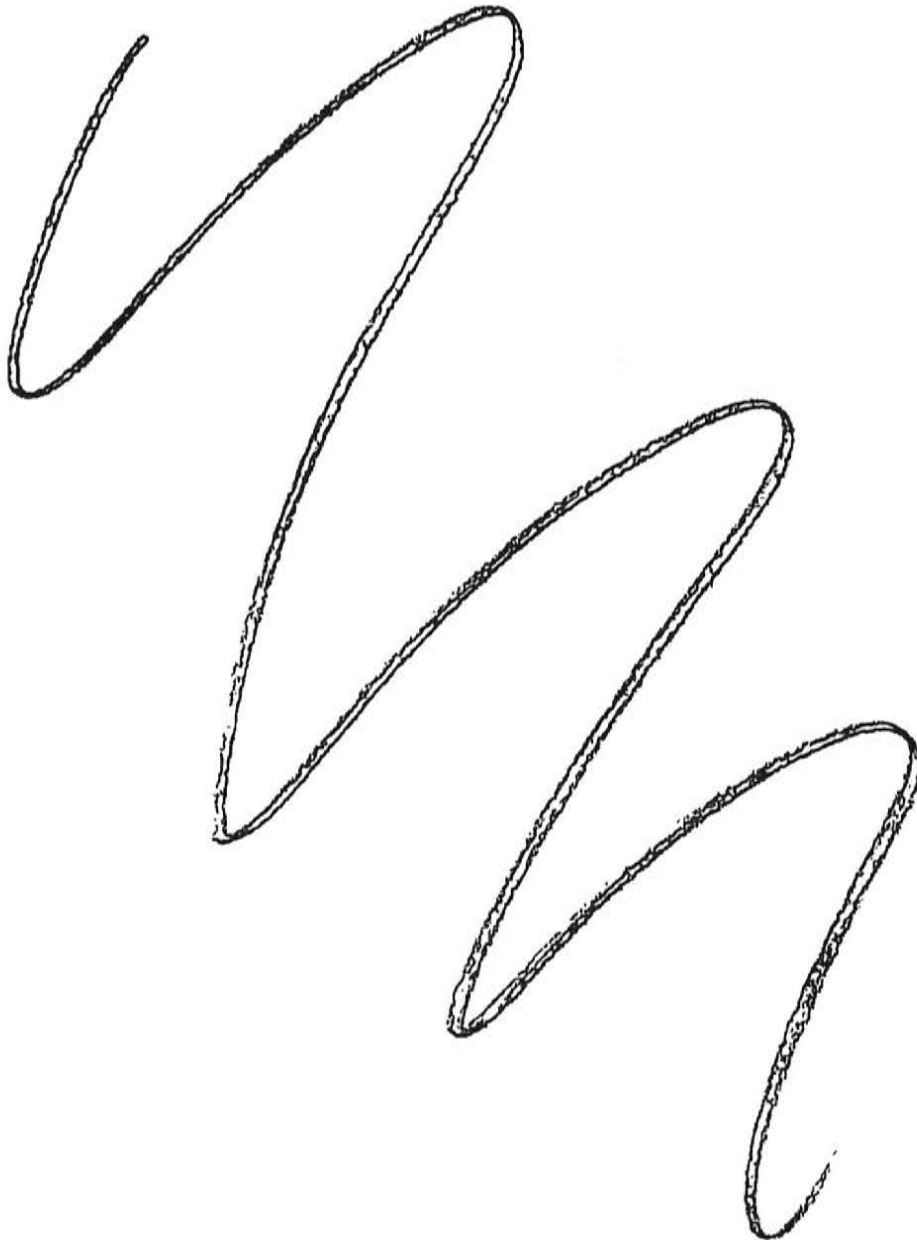
Doc ID:

13030821



Tax Maps

| District | Section | Block | Lot | School District | Sub Division Name |
|----------|---------|-------|--------|-----------------|-------------------|
| 0200 | 29500 | 0100 | 005001 | | |
| 0200 | 29500 | 0100 | 005002 | LONGWOOD | |
| 0200 | 29500 | 0100 | 005003 | LONGWOOD | |



0200
295.00
01.00
005.001
005.002
005.003

STB-030019465

BARGAIN AND SALE DEED. WITH COVENANTS AGAINST GRANTOR'S ACTS-INDIVIDUAL OR CORPORATION
CONSULT YOUR LAWYER BEFORE SIGNING THIS INSTRUMENT-THIS INSTRUMENT SHOULD BE USED BY LAWYERS ONLY.

THIS INDENTURE, made the 22nd day of October, Two Thousand and Thirteen

BETWEEN:

TRIPLE R. RESALES, INC., a domestic corporation
having its principal place of business at 1865 County Road 39, Southampton
New York 11968
party of the first part, and

RR

SUFFOLK COUNTY ^{Corrections} CORRECTIONS OFFICERS ASSOCIATION, INC.
a domestic corporation
having its principal place of business at 51 Nesconset Highway, Port Jefferson Station
New York 11776
party of the second part,

TT
P 1132

WITNESSETH, that the party of the first part in consideration of Ten Dollars and other valuable consideration paid by the party of the second part, does hereby grant and release unto the party of the second part, the heirs or successors and assigns of the party of the second part forever;

ALL that certain plot, picce or parcel of land, situate, lying and being in the Town of Brookhaven, County of Suffolk and State of New York, more particularly bounded and described as follows:

SEE SCHEDULE A ANNEXED HERETO AND MADE A PART HEREOF

SAID PREMISES known as and by the street number: 1001 MIDDLE COUNTRY ROAD, RIDGE, NEW YORK 11961

✓

DISTRICT: 0200; SECTION: 295.00; BLOCK: 01.00; LOT: 005.001, 005.002 & 005.003

BEING & INTENDED TO BE the same premises conveyed to the party of the first part by deed dated April 22, 2010, which said deed was thereafter recorded in the Suffolk County Clerk's Office on June 11, 2010 in Liber 12627 page 523.

THIS CONVEYANCE IS MADE IN THE REGULAR COURSE OF BUSINESS OF THE PARTY OF THE FIRST PART, AND WITH THE UNANIMOUS CONSENT OF THE SHAREHOLDERS.

TOGETHER with all right, title and interest, if any, of the party of the first part in and to any street and roads abutting the above described premises to the center lines thereof;


TOGETHER with the appurtenances and all the estate and rights of the party of the first part in and to said premises: **TO HAVE AND TO HOLD** the premises herein granted unto the party of the second part, the heirs or successors and assigns of the party of the second part forever.

AND the party of the first part covenants that the party of the first part has not done or suffered anything whereby the said premises have been encumbered in any way whatever, except as aforesaid.

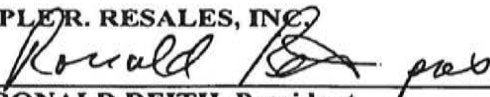
AND the party of the first part, in compliance with Section 13 of the Lien Law, covenants that the party of the first part will receive the consideration for this conveyance and will hold the right to receive such consideration as a trust fund to be applied first for the purpose of paying the cost of improvement and will apply the same first to the payment of the cost of the improvement before using any part of the total of the same for any other purpose.

The word "party" shall be construed as if it read "parties" whenever the sense of this indenture so requires.

IN WITNESS WHEREOF, the party of the first part has duly executed this deed the day and year first above written.

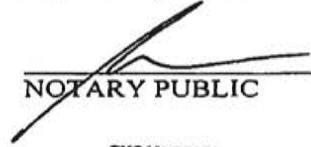
IN PRESENCE OF: 

TRIPLE R. RESALES, INC.

By: 
RONALD REITH, President

STATE OF NEW YORK)
: ss.:
COUNTY OF SUFFOLK)

On the 22nd day of October, 2013, before me, the undersigned, personally appeared, RONALD REITH, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.


NOTARY PUBLIC

SUSAN BANK
Notary Public State of New York
No. 01BA4887904 Qualified Nassau County
Commission Expires March 23, 2015

Security Title Guarantee Corporation of Baltimore

Title Number: STB-030018MES

Page 1

SCHEDULE A DESCRIPTION

ALL THAT CERTAIN PLOT, PIECE OR PARCEL OF LAND, SITUATE, LYING AND BEING IN THE TOWN OF BROOKHAVEN, COUNTY OF SUFFOLK AND STATE OF NEW YORK, MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT A POINT ON THE NEW NORTHERLY SIDE OF CORAM-MIDDLE ISLAND EAST (MIDDLE COUNTRY ROAD) WHERE THE SAME IS INTERSECTED BY THE EASTERLY SIDE OF LAND NOW OR FORMERLY OF JOHN AND RUTH DITTRICH, SAID POINT BEING ALSO DISTANT 552.93 FEET EASTERLY, AS MEASURED ALONG THE NORTHERLY SIDE OF MIDDLE COUNTRY ROAD, FROM THE CORNER FORMED BY THE INTERSECTION OF THE NORTHERLY SIDE OF MIDDLE COUNTRY ROAD WITH THE NORTHERLY SIDE OF WILLIAM FLOYD PARKWAY (SERVICE ROAD);

RUNNING THENCE FROM SAID POINT OR PLACE OF BEGINNING ALONG SAID LAND NOW OR FORMERLY OF JOHN AND RUTH DITTRICH, NORTH 16 DEGREES 55 MINUTES 30 SECONDS WEST, 967.39 FEET TO LAND NOW OR FORMERLY OF JOHN AND CATHERINE MONTALBANO;

THENCE ALONG LAST MENTIONED LAND, NORTH 73 DEGREES 04 MINUTES 30 SECONDS EAST 125 FEET TO LAND OF THE UNITED STATES GOVERNMENT;

THENCE ALONG LAST MENTIONED LAND SOUTH 16 DEGREES 55 MINUTES 30 SECONDS EAST, 965.26 FEET TO THE NEW NORTHERLY SIDE OF MIDDLE COUNTRY ROAD;

THENCE IN A WESTERLY DIRECTION ALONG THE NEW NORTHERLY SIDE OF MIDDLE COUNTRY ROAD, ALONG THE ARC OF A CURVE BEARING TO THE LEFT HAVING A RADIUS OF 5080.73 FEET, A DISTANCE OF 125.02 FEET TO THE POINT OR PLACE OF BEGINNING.

Chapter 85. Zoning

Article XX. Business Districts

§ 85-445. J Business 4 District (Professional and Business Offices).

[Amended 7-21-2016 by L.L. No. 20-2016, effective 8-5-2016]

§ 85-446. Permitted uses.

[Amended 7-21-2016 by L.L. No. 20-2016, effective 8-5-2016; 6-27-2019 by L.L. No. 14-2019, effective 7-8-2019; 11-18-2021 by L.L. No. 21-2021, effective 11-30-2021; 2-22-2024 by L.L. No. 4-2024, effective 2-27-2024]

In a J Business 4 District, no building or structure shall be used or occupied and no building or part thereof or other structures shall be so erected or altered, except for one or more of the following purposes:

- A. Art gallery.
- B. Bank with or without drive-through.
- C. Day-care facility.
- D. Exhibit hall.
- E. Lodge.
- F. Museum.
- G. Office.
- H. Places of worship.
- I. Undertaking establishment/mortuary.
- J. Veterinary hospital, provided that all activities take place within the building.

§ 85-451. Dimensional criteria.

[Amended 7-21-2016 by L.L. No. 20-2016, effective 8-5-2016]

- A. Minimum lot area.

(1) Except as otherwise provided herein, the minimum required lot area shall be 10,000 square feet.

- (2) The minimum required lot area for a bank with a drive-through facility shall be 65,000 square feet.
- (3) The minimum required lot area for an office use with an accessory restaurant or take-out restaurant use shall be three acres.

B. Minimum road frontage.

- (1) Except as otherwise provided herein, the minimum required road frontage shall be 75 feet.
- (2) The minimum required road frontage for a bank with a drive-through facility or an office use with an accessory restaurant or take-out restaurant use shall be 150 feet.

C. Minimum front yard setback.

- (1) Except as otherwise provided herein, the minimum required front yard setback shall be 40 feet.
- (2) The minimum required front yard setback for a bank with a drive-through facility shall be 50 feet.

D. Minimum side yard setback.

- (1) Except as otherwise provided herein, the minimum required side yard setback shall be 10 feet.
- (2) The minimum required side yard setback for a bank with an accessory drive-through facility or an office use with an accessory restaurant or take-out restaurant use shall be 25 feet.

E. Minimum rear yard setback.

- (1) Except as otherwise provided herein, the minimum required rear yard setback shall be 25 feet.

F. Maximum permitted floor area ratio (FAR).

- (1) Except as otherwise provided herein, the maximum permitted FAR shall be 25%.

G. Maximum permitted height.

- (1) The maximum permitted height for all structures shall be 35 feet or 2 1/2 stories.

**Full Environmental Assessment Form
Part 1 - Project and Setting**

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information.

| | | |
|--|-----------|--|
| Name of Action or Project: Suffolk County Correction Officers Association | | |
| Project Location (describe, and attach a general location map): 1001 Middle Country Road, Ridge, New York 11961 | | |
| Brief Description of Proposed Action (include purpose or need): Proposed garage addition 30' x 35' to an existing one-story building to house billboard trucks and trailers. Proposed second-story addition to an existing one-story building for office and meeting room space. Proposed demolition of existing sheds. | | |
| Name of Applicant/Sponsor: Jennifer Leeds, Leeds Expediting LLC | | Telephone: 631-509-4248 E-Mail: JenniferLeeds0255@gmail.com |
| Address: 28 North Country Road, Suite 101 | | |
| City/PO: Mount Sinai | State: NY | Zip Code: 11766 |
| Project Contact (if not same as sponsor; give name and title/role): D & I Expediting Services Inc. | | Telephone: 631-475-1883 E-Mail: dixpedite@aol.com |
| Address: 779 Horseblock Road | | |
| City/PO: Farmingville | State: NY | Zip Code: 11738 |
| Property Owner (if not same as sponsor): Suffolk County Correction Officers Association | | Telephone: E-Mail: |
| Address: 1001 Middle Country Road | | |
| City/PO: Ridge | State: NY | Zip Code: 11961 |

B. Government Approvals

| B. Government Approvals Funding, or Sponsorship. ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.) | | |
|--|---|---|
| Government Entity | If Yes: Identify Agency and Approval(s) Required | Application Date (Actual or projected) |
| a. City Council, Town Board, <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No or Village Board of Trustees | | |
| b. City, Town or Village <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Planning Board or Commission | | |
| c. City Council, Town or <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals | Town of Brookhaven Board of Zoning Appeals | April/May 2026 |
| d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Suffolk County Dept. of Health Services | April/May 2026 |
| f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| g. State agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| i. Coastal Resources. | | |
| i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? | | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If Yes, | | |
| ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? | | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| iii. Is the project site within a Coastal Erosion Hazard Area? | | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

C. Planning and Zoning

| C.1. Planning and zoning actions. | |
|---|---|
| Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| <ul style="list-style-type: none"> • If Yes, complete sections C, F and G. • If No, proceed to question C.2 and complete all remaining sections and questions in Part 1 | |
| C.2. Adopted land use plans. | |
| a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? | <input type="checkbox"/> Yes <input type="checkbox"/> No |
| b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If Yes, identify the plan(s): | |
| _____ | |
| _____ | |
| c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If Yes, identify the plan(s): | |
| _____ | |
| _____ | |
| _____ | |

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?
Town of Brookhaven J-4 commercial

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,
i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Longwood Central School District

b. What police or other public protection forces serve the project site?
Suffolk County Police Department

c. Which fire protection and emergency medical services serve the project site?
Ridge Fire Department/ Emergency Services

d. What parks serve the project site?
Town of Brookhaven and Suffolk County Parks Departments

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Residential

b. a. Total acreage of the site of the proposed action? 2.773 acres
b. Total acreage to be physically disturbed? 1.000 acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 2.773 acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No

If Yes,
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____
iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: 6 months
ii. If Yes:
• Total number of phases anticipated _____
• Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
• Anticipated completion date of final phase _____ month _____ year
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

| | <u>One Family</u> | <u>Two Family</u> | <u>Three Family</u> | <u>Multiple Family (four or more)</u> |
|-----------------------------|-------------------|-------------------|---------------------|---------------------------------------|
| Initial Phase | _____ | _____ | _____ | _____ |
| At completion of all phases | _____ | _____ | _____ | _____ |

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,
 i. Total number of structures _____ 1
 ii. Dimensions (in feet) of largest proposed structure: _____ TBD height; _____ width; and _____ length
 iii. Approximate extent of building space to be heated or cooled: _____ TBD square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,
 i. Purpose of the impoundment: _____
 ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____
 iii. If other than water, identify the type of impounded/contained liquids and their source. _____
 iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres
 v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:
 i. What is the purpose of the excavation or dredging? _____
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?
 • Volume (specify tons or cubic yards): _____
 • Over what duration of time? _____
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.

 iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

 v. What is the total area to be dredged or excavated? _____ acres
 vi. What is the maximum area to be worked at any one time? _____ acres
 vii. What would be the maximum depth of excavation or dredging? _____ feet
 viii. Will the excavation require blasting? Yes No
 ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: Suffolk County Water Authority
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: TBD gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): Sanitary wastewater - on site conventional sanitary systems

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No
 iv. Does proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of semi-trailer truck trips/day: _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade to, an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

| | | | |
|-------------------------|------------------------|------------------------|-----------------|
| i. During Construction: | | ii. During Operations: | |
| • Monday - Friday: | _____ 9am to 5pm _____ | • Monday - Friday: | _____ N/A _____ |
| • Saturday: | _____ 0 _____ | • Saturday: | _____ _____ |
| • Sunday: | _____ 0 _____ | • Sunday: | _____ _____ |
| • Holidays: | _____ 0 _____ | • Holidays: | _____ _____ |

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No

If yes:

i. Provide details including sources, time of day and duration: _____

ii. Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
Describe: _____

n.. Will the proposed action have outdoor lighting? Yes No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: _____

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No

If Yes:

i. Product(s) to be stored _____

ii. Volume(s) _____ per unit time _____ (e.g., month, year)

iii. Generally describe proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No

If Yes:

i. Describe proposed treatment(s): _____

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: _____ tons per _____ (unit of time)
- Operation : _____ tons per _____ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: _____
- Operation: _____

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: _____
- Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

| Land use or Covertypes | Current Acreage | Acreage After Project Completion | Change (Acres +/-) |
|--|-----------------|----------------------------------|--------------------|
| • Roads, buildings, and other paved or impervious surfaces | 1.00 | 1.00 | 0 |
| • Forested | 1.77 | 1.77 | 1.77 |
| • Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural) | 0 | 0 | 0 |
| • Agricultural (includes active orchards, field, greenhouse etc.) | 0 | 0 | 0 |
| • Surface water features (lakes, ponds, streams, rivers, etc.) | 0 | 0 | 0 |
| • Wetlands (freshwater or tidal) | 0 | 0 | 0 |
| • Non-vegetated (bare rock, earth or fill) | 0 | 0 | 0 |
| • Other Describe: _____ | 0 | 0 | 0 |

c. Is the project site presently used by members of the community for public recreation? Yes No
 i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
 If Yes,
 i. Identify Facilities: _____

e. Does the project site contain an existing dam? Yes No
 If Yes:
 i. Dimensions of the dam and impoundment:
 • Dam height: _____ feet
 • Dam length: _____ feet
 • Surface area: _____ acres
 • Volume impounded: _____ gallons OR acre-feet
 ii. Dam's existing hazard classification: _____
 iii. Provide date and summarize results of last inspection: _____

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
 If Yes:
 i. Has the facility been formally closed? Yes No
 • If yes, cite sources/documentation: _____
 ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: _____

 iii. Describe any development constraints due to the prior solid waste activities: _____

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
 If Yes:
 i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: _____

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
 If Yes:
 i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
 ii. If site has been subject of RCRA corrective activities, describe control measures: _____

 iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
 If yes, provide DEC ID number(s): _____
 iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): _____

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ + 300 feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %

c. Predominant soil type(s) present on project site: Riverhead loamy sand 0-3% slopes 100 %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: 21 feet

e. Drainage status of project site soils: Well Drained: 100 % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: 100 % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100 year Floodplain? Yes No

k. Is the project site in the 500 year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:

i. Name of aquifer: Long Island Aquifer

m. Identify the predominant wildlife species that occupy or use the project site: _____
 small birds and squirrels _____

n. Does the project site contain a designated significant natural community? Yes No
 If Yes:
 i. Describe the habitat/community (composition, function, and basis for designation): _____

 ii. Source(s) of description or evaluation: _____
 iii. Extent of community/habitat:
 • Currently: _____ acres
 • Following completion of project as proposed: _____ acres
 • Gain or loss (indicate + or -): _____ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? Yes No

This location is in the vicinity of Bats Listed as Endangered or Threatened by the NYSDEC

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? Yes No

This location is in the vicinity of Bats Listed as Endangered or Threatened by the NYSDEC

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? Yes No
 If yes, give a brief description of how the proposed action may affect that use: _____

E.3. Designated Public Resources On or Near Project Site

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? Yes No
 If Yes, provide county plus district name/number: _____

b. Are agricultural lands consisting of highly productive soils present? Yes No
 i. If Yes: acreage(s) on project site? _____
 ii. Source(s) of soil rating(s): _____

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? Yes No
 If Yes:
 i. Nature of the natural landmark: Biological Community Geological Feature
 ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? Yes No
 If Yes:
 i. CEA name: _____
 ii. Basis for designation: _____
 iii. Designating agency and date: _____

| | |
|---|---|
| e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on, the State or National Register of Historic Places? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If Yes: | |
| <i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District | |
| <i>ii.</i> Name: _____ | |
| <i>iii.</i> Brief description of attributes on which listing is based: _____ | |
| f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| g. Have additional archaeological or historic site(s) or resources been identified on the project site? | |
| If Yes: | |
| <i>i.</i> Describe possible resource(s): _____ | |
| <i>ii.</i> Basis for identification: _____ | |
| h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If Yes: | |
| <i>i.</i> Identify resource: _____ | |
| <i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____ | |
| <i>iii.</i> Distance between project and resource: _____ miles. | |
| i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| If Yes: | |
| <i>i.</i> Identify the name of the river and its designation: _____ | |
| <i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666? | |
| | <input type="checkbox"/> Yes <input type="checkbox"/> No |

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

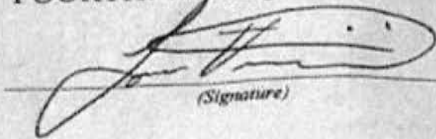
G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Jennifer Leeds, Leeds Expediting LLC Date March 26, 2026

Signature  Title Sponsor

FOURTH: The change was authorized by the board of directors.


(Signature)

LOUIS VISCUSI
(Name of Signer)

PRESIDENT
(Title of Signer)

CERTIFICATE OF CHANGE OF

SUFFOLK COUNTY CORRECTION OFFICERS ASSOCIATION, INC
(Insert Name of Domestic Corporation)

Under Section 803-A of the Not-for-Profit Corporation Law

Filer's Name: LOUIS VISCUSI

Address: 1001 MIDDLE COUNTRY ROAD

City, State and Zip Code: RIDGE, NY 11961

NOTE: This form was prepared by the New York State Department of State. You are not required to use this form. You may draft your own form or use forms available at legal stationery stores. The Department of State recommends that all documents be prepared under the guidance of an attorney. The certificate must be submitted with a \$20 filing fee.

For Office Use Only



SUFFOLK COUNTY CORRECTION OFFICERS ASSOCIATION
1001 Middle Country Road, Ridge, New York 11961
Phone (631) 208-1301 * Fax (631) 473-0536 * Email office@sccoa.org

Louis Viscusi
President

February 1, 2016

Kevin J. Beyer
First Vice President

To whom it may concern,

Gary F. Osarczuk
Second Vice President

Included in check #13959 is the \$20.00 filing fee as well as the \$10.00 fee for the certified copy of change. Thank you

Robert Varrichio, Sr.
Third Vice President

Richard Lange
Recording Secretary

Brian J. LoPiccolo, Sr.
Treasurer

Will Faller
Sergeant-at-Arms

**Meyer, Suozzi, English
& Klein, P.C.**
Counsel

RECEIPT
Suffolk County Clerk
VINCENT PULEO
County Clerk

DATE: 11/14/2025 TIME: 04:08:53 PM

RECEIPT NUMBER: 25-0147983

PAYOR NAME: GINA

| DESCRIPTION | ITEMS | TRANS AMOUNT |
|--|------------|--------------|
| SATISFACTION/RELEASE OF JUDGMENT DOCUMENTS | | |
| General Fee | 1 | \$0.00 |
| Fees Paid | | \$0.00 |
| Seq Num | 56 | |
| Filed Date | 11/14/2025 | |
| RECEIPT TOTAL | | \$0.00 |
| TOTAL AMOUNT PAID | | \$0.00 |

COMMENTS

COUNTY OF SUFFOLK: SIXTH DISTRICT
-----X
PEOPLE OF THE STATE OF NEW YORK
(TOWN OF BROOKHAVEN),

Plaintiff,

-against-

SUFFOLK COUNTY CORRECTION
OFFICERS ASSOCIATION INC.
Defendant.
-----X

SATISFACTION OF JUDGMENT

FILED
VINCENT BULEO
CLERK OF
SUFFOLK COUNTY
DATE 11/14/2025
SEQ # 56

BRTO #16-00219

4/12/16
371

Whereas, a Judgment was entered in the above entitled action on March 31, 2016, in the District Court, Sixth District, County of Suffolk in favor of the People of the State of New York (Town of Brookhaven) and against Suffolk County Correction Officers Association Inc. in the sum of \$8,000.00 which was docketed on April 12, 2016 in the Office of the Clerk of the County of Suffolk has been fully satisfied.

AND it is certified that there are no outstanding executions with any Sheriff or Marshal within the State of New York,

THEREFORE, full satisfaction of said Judgment is hereby acknowledged, and the said Clerks are hereby authorized and directed to make an entry of full satisfaction on the docket of the said Judgment.

Dated: October 16, 2025

Farmingville, New York

Annette Eaderesto
Town Attorney

By: Amanda Hill

Amanda Hill
Assistant Town Attorney

STATE OF NEW YORK, COUNTY OF SUFFOLK ss.:

On the 16th day of October, in the year 2025, before me, the undersigned, a Notary Public in and for said state, personally appeared, Amanda Hill personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity and that by her signature on the instrument, the individual, or person upon behalf of which the individual acted, executed the instrument.

Robin M. Cormier
Notary Public

Robin M. Cormier
Notary Public State of New York
No. 01CO6291399
Qualified in Suffolk County
Commission Expires 10/15/2029



August 16, 2023

Louis Viscusi
President
Suffolk County Corrections Officers Association, Inc
1001 Middle Country Road
Ridge, NY 11961

RE: 1001 Middle Country Road, Ridge
SCTM # 200-295-1-5.2
Core Preservation Area

Robert Calarco
Chairman

Yvette Aguiar
Member

Steven Bellone
Member

Edward P. Romaine
Member

Jay H. Schneiderman
Member

Dear Mr. Viscusi:

On January 8, 2015, the Town of Brookhaven issued a Notice of Violation for unauthorized clearing on the above referenced parcel. Subsequently, your entity submitted a Core Preservation Area Extraordinary Hardship Exemption request to construct a building on the parcel. Section 57-0123(3)(c) of Environmental Conservation Law, provides upon notice to an applicant that when a violation exists on a parcel that is the subject of an application that the Commission's review is suspended.

Based on the foregoing, the Commission review of your application is suspended until the Town of Brookhaven violation is resolved.

Thank you for your attention. If you have any questions, please do not hesitate to contact me at 631-218-1192.

Sincerely,

Julie Hargrave
Policy and Planning Manager

624 Old Riverhead Road
Westhampton Beach, NY
11978

cc: Judy Jakobsen, Executive Director
John Milazzo, Commission Counsel

Phone (631) 288-1079
Fax (631) 288-1367
www.pb.state.ny.us

LAND N/F EMICA MEARS
N73°04'30"E
125.00

N10°55'38"N
987.72

S66°28'E
516.85

LAND N/F COUNTY OF SUFFOLK

LAND N/F STATE OF NEW YORK

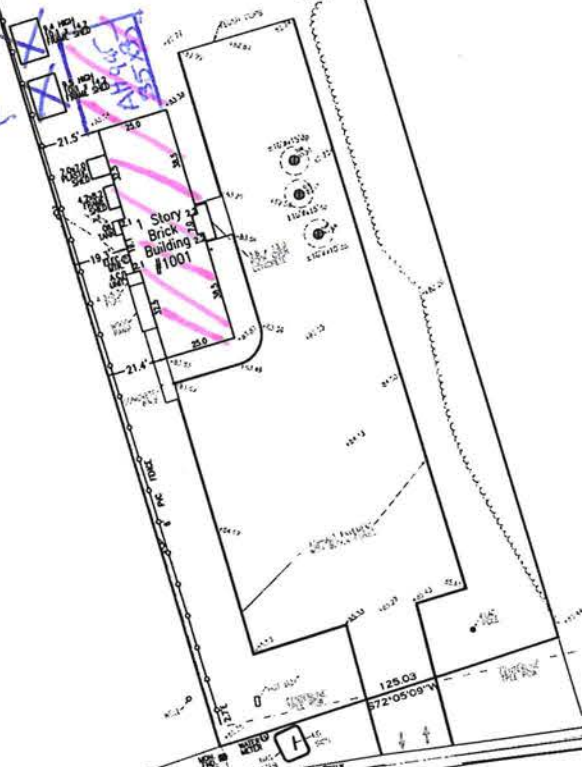


Existing Clearing
33.2%.

 2nd Story Add
Proposed.

Proposed 35 x 35 All bldg

Remove
Remove



SURVEY OF PROPERTY

DESCRIBED PROPERTY
SITUATE
RIDGE
TOWN OF BROOKHAVEN
SUFFOLK COUNTY, N.Y.

TAX MAP NO.: 0200295.0001 00-005.001
005.002
005.003

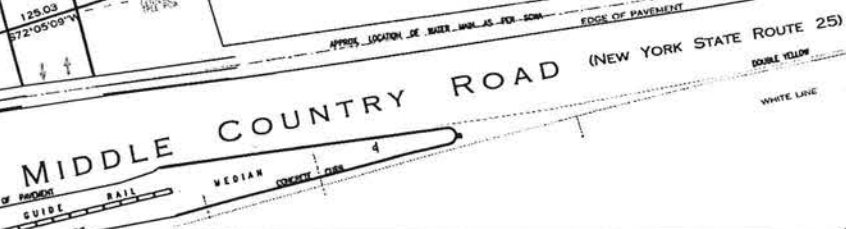
LOT AREA: 120,797.13 S.F. (2.7730 ACRES)

DATE SURVEYED: MAY 20, 2025

*ELEVATIONS REFER TO NAVD83.
*PROPERTY LIES WITHIN PINE BARREN CORE PRESERVATION AREA.



AJC LAND SURVEYING PLLC
LAND SURVEYING & PLANNING
153 WADING RIVER MANOR RD., MANORVILLE 11949
PHONE: 631-846-9973
EMAIL: INFO@AJCLANDSURVEYING.COM



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Hargrave, Julie

From: Brooks Surgan <bsurgan@brookhavenny.gov>
Sent: Tuesday, April 21, 2026 11:59 AM
To: Brooke Kelsey; Peter Fontaine; Chris Mehrman; Anthony Todaro; Nicholas Spata; Highway Engineering Plans; TRAFFICSAFETY; PB Hargrave, Julie
Cc: Bruce Schaal; Nicole Fantigrossi; Amanda Kiernan
Subject: PLNSTP2095 Moustafis Warehouse - Agency Memo

CAUTION: This email originated from outside of SCWA. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning,

Please be advised that the Planning Division has received a submission for the above-referenced action.

The Planning Board would like to encourage your agency to make any comments or suggest mitigation measures, particularly with respect to your areas of expertise and jurisdiction, which would enhance the utilization of this site or provide additional protection to the community.

The application can be found using the link below.

[2026-04-21 Coordination](#)

Please print as needed.



Brooks R. Surgan

Planner
Town of Brookhaven

Phone: (631) 451-9097

Email: bsurgan@brookhavenny.gov

1 Independence Hill
Farmingville, NY 11738

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

| | | |
|---|--------|------------|
| Name of Action or Project: | | |
| Project Location (describe, and attach a general location map): | | |
| Brief Description of Proposed Action (include purpose or need): | | |
| Name of Applicant/Sponsor: | | Telephone: |
| | | E-Mail: |
| Address: | | |
| City/PO: | State: | Zip Code: |
| Project Contact (if not same as sponsor; give name and title/role): | | Telephone: |
| | | E-Mail: |
| Address: | | |
| City/PO: | State: | Zip Code: |
| Property Owner (if not same as sponsor): | | Telephone: |
| | | E-Mail: |
| Address: | | |
| City/PO: | State: | Zip Code: |

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

| Government Entity | If Yes: Identify Agency and Approval(s) Required | Application Date (Actual or projected) |
|--|--|--|
| a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No | | |
| b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No | | |
| c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No | | |
| d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No | | |
| e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No | | |
| f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No | | |
| g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No | | |
| h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No | | |
| i. Coastal Resources. <p data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> | | |

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? Yes No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? Yes No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) Yes No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? Yes No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. Yes No
If Yes, what is the zoning classification(s) including any applicable overlay district?

b. Is the use permitted or allowed by a special or conditional use permit? Yes No

c. Is a zoning change requested as part of the proposed action? Yes No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? _____

b. What police or other public protection forces serve the project site?

c. Which fire protection and emergency medical services serve the project site?

d. What parks serve the project site?

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

b. a. Total acreage of the site of the proposed action? _____ acres
b. Total acreage to be physically disturbed? _____ acres
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? _____ acres

c. Is the proposed action an expansion of an existing project or use? Yes No
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? Yes No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? Yes No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? Yes No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated _____
- Anticipated commencement date of phase 1 (including demolition) _____ month _____ year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

f. Does the project include new residential uses? Yes No
 If Yes, show numbers of units proposed.

| | <u>One Family</u> | <u>Two Family</u> | <u>Three Family</u> | <u>Multiple Family (four or more)</u> |
|---------------|-------------------|-------------------|---------------------|---------------------------------------|
| Initial Phase | _____ | _____ | _____ | _____ |
| At completion | _____ | _____ | _____ | _____ |
| of all phases | _____ | _____ | _____ | _____ |

g. Does the proposed action include new non-residential construction (including expansions)? Yes No
 If Yes,

i. Total number of structures _____

ii. Dimensions (in feet) of largest proposed structure: _____ height; _____ width; and _____ length

iii. Approximate extent of building space to be heated or cooled: _____ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? Yes No
 If Yes,

i. Purpose of the impoundment: _____

ii. If a water impoundment, the principal source of the water: Ground water Surface water streams Other specify: _____

iii. If other than water, identify the type of impounded/contained liquids and their source. _____

iv. Approximate size of the proposed impoundment. Volume: _____ million gallons; surface area: _____ acres

v. Dimensions of the proposed dam or impounding structure: _____ height; _____ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): _____

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? Yes No
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)
 If Yes:

i. What is the purpose of the excavation or dredging? _____

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): _____
- Over what duration of time? _____

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. _____

iv. Will there be onsite dewatering or processing of excavated materials? Yes No
 If yes, describe. _____

v. What is the total area to be dredged or excavated? _____ acres

vi. What is the maximum area to be worked at any one time? _____ acres

vii. What would be the maximum depth of excavation or dredging? _____ feet

viii. Will the excavation require blasting? Yes No

ix. Summarize site reclamation goals and plan: _____

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? Yes No
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes No

If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? Yes No

If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? Yes No

If Yes:

i. Total anticipated water usage/demand per day: _____ gallons/day

ii. Will the proposed action obtain water from an existing public water supply? Yes No

If Yes:

- Name of district or service area: _____
- Does the existing public water supply have capacity to serve the proposal? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No
- Do existing lines serve the project site? Yes No

iii. Will line extension within an existing district be necessary to supply the project? Yes No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? Yes No

If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? Yes No

If Yes:

i. Total anticipated liquid waste generation per day: _____ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____

iii. Will the proposed action use any existing public wastewater treatment facilities? Yes No

If Yes:

- Name of wastewater treatment plant to be used: _____
- Name of district: _____
- Does the existing wastewater treatment plant have capacity to serve the project? Yes No
- Is the project site in the existing district? Yes No
- Is expansion of the district needed? Yes No

• Do existing sewer lines serve the project site? Yes No
 • Will a line extension within an existing district be necessary to serve the project? Yes No
 If Yes:
 • Describe extensions or capacity expansions proposed to serve this project: _____

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? Yes No
 If Yes:
 • Applicant/sponsor for new district: _____
 • Date application submitted or anticipated: _____
 • What is the receiving water for the wastewater discharge? _____

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? Yes No
 If Yes:
 i. How much impervious surface will the project create in relation to total size of project parcel?
 _____ Square feet or _____ acres (impervious surface)
 _____ Square feet or _____ acres (parcel size)
 ii. Describe types of new point sources. _____

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

 • If to surface waters, identify receiving water bodies or wetlands: _____

• Will stormwater runoff flow to adjacent properties? Yes No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater? Yes No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? Yes No
 If Yes, identify:
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? Yes No
 If Yes:
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes No
 ii. In addition to emissions as calculated in the application, the project will generate:
 • _____ Tons/year (short tons) of Carbon Dioxide (CO₂)
 • _____ Tons/year (short tons) of Nitrous Oxide (N₂O)
 • _____ Tons/year (short tons) of Perfluorocarbons (PFCs)
 • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆)
 • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)
 • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? Yes No

If Yes:

i. Estimate methane generation in tons/year (metric): _____

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? Yes No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? Yes No

If Yes:

i. When is the peak traffic expected (Check all that apply): Morning Evening Weekend
 Randomly between hours of _____ to _____.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____

iii. Parking spaces: Existing _____ Proposed _____ Net increase/decrease _____

iv. Does the proposed action include any shared use parking? Yes No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site? Yes No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? Yes No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: _____

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): _____

iii. Will the proposed action require a new, or an upgrade, to an existing substation? Yes No

l. Hours of operation. Answer all items which apply.

| | |
|---|--|
| <p><i>i.</i> During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ | <p><i>ii.</i> During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: _____ • Saturday: _____ • Sunday: _____ • Holidays: _____ |
|---|--|

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? Yes No
 If yes:
 i. Provide details including sources, time of day and duration:

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes No
 Describe: _____

n. Will the proposed action have outdoor lighting? Yes No
 If yes:
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes No
 Describe: _____

o. Does the proposed action have the potential to produce odors for more than one hour per day? Yes No
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? Yes No
 If Yes:
 i. Product(s) to be stored _____
 ii. Volume(s) _____ per unit time _____ (e.g., month, year)
 iii. Generally, describe the proposed storage facilities: _____

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? Yes No
 If Yes:
 i. Describe proposed treatment(s):

ii. Will the proposed action use Integrated Pest Management Practices? Yes No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? Yes No
 If Yes:
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:
 • Construction: _____ tons per _____ (unit of time)
 • Operation : _____ tons per _____ (unit of time)
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:
 • Construction: _____

 • Operation: _____

 iii. Proposed disposal methods/facilities for solid waste generated on-site:
 • Construction: _____

 • Operation: _____

s. Does the proposed action include construction or modification of a solid waste management facility? Yes No
 If Yes:
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____
 ii. Anticipated rate of disposal/processing:
 • _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
 • _____ Tons/hour, if combustion or thermal treatment
 iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? Yes No
 If Yes:
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

 ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

 iii. Specify amount to be handled or generated _____ tons/month
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes No
 If Yes: provide name and location of facility: _____

 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.
 i. Check all uses that occur on, adjoining and near the project site.
 Urban Industrial Commercial Residential (suburban) Rural (non-farm)
 Forest Agriculture Aquatic Other (specify): _____
 ii. If mix of uses, generally describe:

b. Land uses and covertypes on the project site.

| Land use or Covertypes | Current Acreage | Acreage After Project Completion | Change (Acres +/-) |
|--|-----------------|----------------------------------|--------------------|
| • Roads, buildings, and other paved or impervious surfaces | | | |
| • Forested | | | |
| • Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural) | | | |
| • Agricultural (includes active orchards, field, greenhouse etc.) | | | |
| • Surface water features (lakes, ponds, streams, rivers, etc.) | | | |
| • Wetlands (freshwater or tidal) | | | |
| • Non-vegetated (bare rock, earth or fill) | | | |
| • Other Describe: _____ _____ | | | |

c. Is the project site presently used by members of the community for public recreation? Yes No
i. If Yes: explain: _____

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? Yes No
If Yes,
i. Identify Facilities:

e. Does the project site contain an existing dam? Yes No
If Yes:
i. Dimensions of the dam and impoundment:

- Dam height: _____ feet
- Dam length: _____ feet
- Surface area: _____ acres
- Volume impounded: _____ gallons OR acre-feet

ii. Dam's existing hazard classification: _____
iii. Provide date and summarize results of last inspection:

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? Yes No
If Yes:
i. Has the facility been formally closed? Yes No

- If yes, cite sources/documentation: _____

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? Yes No
If Yes:
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? Yes No
If Yes:
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply: Yes No
 Yes – Spills Incidents database Provide DEC ID number(s): _____
 Yes – Environmental Site Remediation database Provide DEC ID number(s): _____
 Neither database
ii. If site has been subject of RCRA corrective activities, describe control measures: _____

iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No
If yes, provide DEC ID number(s): _____
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):

v. Is the project site subject to an institutional control limiting property uses? Yes No

- If yes, DEC site ID number: _____
- Describe the type of institutional control (e.g., deed restriction or easement): _____
- Describe any use limitations: _____
- Describe any engineering controls: _____
- Will the project affect the institutional or engineering controls in place? Yes No
- Explain: _____

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site? _____ feet

b. Are there bedrock outcroppings on the project site? Yes No
 If Yes, what proportion of the site is comprised of bedrock outcroppings? _____%

c. Predominant soil type(s) present on project site: _____ %
 _____ %
 _____ %

d. What is the average depth to the water table on the project site? Average: _____ feet

e. Drainage status of project site soils: Well Drained: _____ % of site
 Moderately Well Drained: _____ % of site
 Poorly Drained _____ % of site

f. Approximate proportion of proposed action site with slopes: 0-10%: _____ % of site
 10-15%: _____ % of site
 15% or greater: _____ % of site

g. Are there any unique geologic features on the project site? Yes No
 If Yes, describe: _____

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? Yes No

ii. Do any wetlands or other waterbodies adjoin the project site? Yes No
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? Yes No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name _____ Classification _____
- Lakes or Ponds: Name _____ Classification _____
- Wetlands: Name _____ Approximate Size _____
- Wetland No. (if regulated by DEC) _____

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? Yes No
 If yes, name of impaired water body/bodies and basis for listing as impaired: _____

i. Is the project site in a designated Floodway? Yes No

j. Is the project site in the 100-year Floodplain? Yes No

k. Is the project site in the 500-year Floodplain? Yes No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? Yes No
 If Yes:
 i. Name of aquifer: _____

| | |
|---|--|
| m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____ | |
| n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres | |
| o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____ | |
| p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Species and listing: _____ _____ | |
| q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input type="checkbox"/> No If yes, give a brief description of how the proposed action may affect that use: _____ _____ | |
| E.3. Designated Public Resources On or Near Project Site | |
| a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes, provide county plus district name/number: _____ | |
| b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input type="checkbox"/> No <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____ | |
| c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____ | |
| d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____ | |

| |
|---|
| <p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District</p> <p style="margin-left: 20px;">ii. Name: _____</p> <p style="margin-left: 20px;">iii. Brief description of attributes on which listing is based: _____</p> |
| <p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> |
| <p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe possible resource(s): _____</p> <p style="margin-left: 20px;">ii. Basis for identification: _____</p> |
| <p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify resource: _____</p> <p style="margin-left: 20px;">ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p style="margin-left: 20px;">iii. Distance between project and resource: _____ miles.</p> |
| <p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify the name of the river and its designation: _____</p> <p style="margin-left: 20px;">ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> |

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name _____ Date _____

Signature Michael J. Morbillo Title _____



Disclaimer: The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources to confirm data provided by the Mapper or to obtain data not provided by the Mapper.



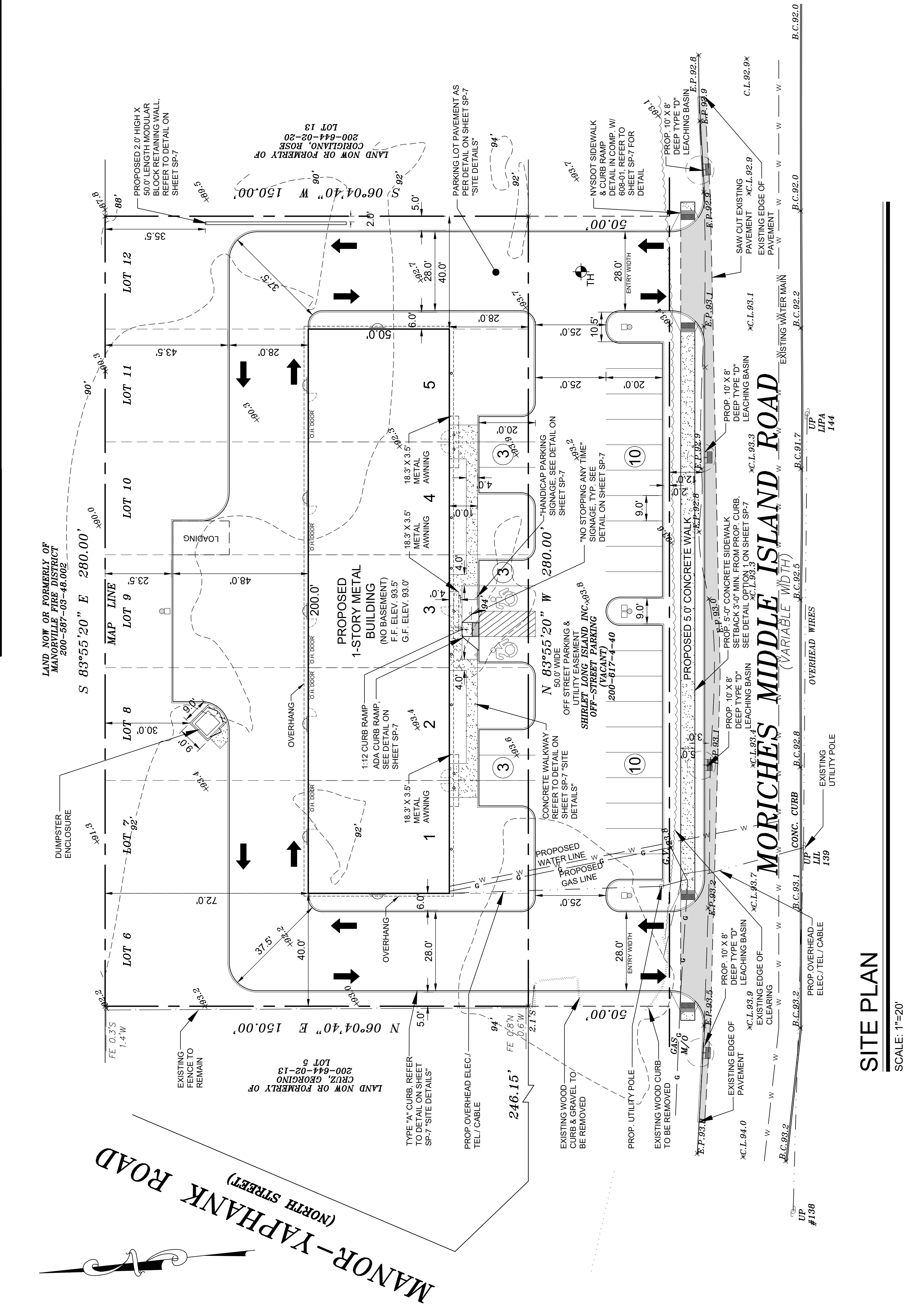
| | |
|--|--|
| B.i.i [Coastal or Waterfront Area] | No |
| B.i.ii [Local Waterfront Revitalization Area] | No |
| C.2.b. [Special Planning District] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| E.1.h [DEC Spills or Remediation Site - Potential Contamination History] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| E.1.h.i [DEC Spills or Remediation Site - Listed] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| E.1.h.iii [Within 2,000' of DEC Remediation Site] | Yes |
| E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID] | 152263 |
| E.2.g [Unique Geologic Features] | No |
| E.2.h.i [Surface Water Features] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| E.2.h.ii [Surface Water Features] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| E.2.h.iii [Surface Water Features] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| E.2.h.v [Impaired Water Bodies] | No |
| E.2.i. [Floodway] | No |
| E.2.j. [100 Year Floodplain] | No |
| E.2.k. [500 Year Floodplain] | No |
| E.2.l. [Aquifers] | Yes |
| E.2.l. [Aquifer Names] | Sole Source Aquifer Names:Nassau-Suffolk SSA |

| | |
|--|---|
| E.2.n. [Natural Communities] | No |
| E.2.o. [Endangered or Threatened Species] | Yes |
| E.2.o. [Endangered or Threatened Species - Name] | Stuve's Bush Clover, Hairy Small-leaved Tick Trefoil, Northern Long-eared Bat |
| E.2.p. [Rare Plants or Animals] | No |
| E.3.a. [Agricultural District] | No |
| E.3.c. [National Natural Landmark] | No |
| E.3.d [Critical Environmental Area] | Yes |
| E.3.d [Critical Environmental Area - Name] | SGPA, Central Suffolk Pine Barrens |
| E.3.d.ii [Critical Environmental Area - Reason] | Protect groundwater, Benefit to human health & protect drinking water |
| E.3.d.iii [Critical Environmental Area – Date and Agency] | Date:3-19-93, Date:2-10-88, Agency:Long Island Regional Planning, Agency:Suffolk County |
| E.3.e. [National or State Register of Historic Places or State Eligible Sites] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook. |
| E.3.f. [Archeological Sites] | No |
| E.3.i. [Designated River Corridor] | No |

| TEST HOLE DATA | |
|--|-----------|
| 0' | EL. 93.5' |
| 0.5' | EL. 91.0' |
| BROWN SILTY SAND (SM) | |
| 8' | EL. 87.5' |
| LIGHT BROWN FINE SAND (SP) | |
| 23' | EL. 76.5' |
| NO WATER ENCOUNTERED TEST BORING COMPLETED ON 05/27/25 BY MCDONALD GEOSCIENCE | |

- ### ENGINEERING NOTES
- ALL CONCRETE CURBING, SIDEWALKS AND DRAINAGE STRUCTURES SHALL CONFORM TO PLANNING BOARD STANDARD DETAIL AND SPECIFICATIONS.
 - TOWN OF BROOKHAVEN ENGINEERING INSPECTOR IN THE DEPARTMENT OF PLANNING, ENVIRONMENT AND LAND MANAGEMENT SHALL BE NOTIFIED 48 HOURS IN ADVANCE OF ALL CONSTRUCTION AT (631)451-6400 BETWEEN THE HOURS OF 9:00am-4:30pm MONDAY THROUGH FRIDAY.
 - PLEASE CONTACT THE DIVISION OF ENGINEERING AT (631)450-6400 TO SCHEDULE A PRE-CONSTRUCTION MEETING 48 HRS PRIOR TO THE COMMENCEMENT OF ANY AND ALL CONSTRUCTION ACTIVITIES.
 - LOCATION AND GRADES FOR CURBS AND WALKS TO BE VERIFIED WITH THE TOWN OF BROOKHAVEN HIGHWAY DEPT., S.C.D.P.W. OR N.Y.S.D.O.T. PRIOR TO CONSTRUCTION.
 - ALL TRAFFIC CONTROL DEVICES, I.E. SIGNALS, SIGNS, AND PAVEMENT MARKINGS SHALL BE INSTALLED IN CONFORMANCE WITH THE GUIDELINES OF THE NEW YORK STATE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES AND AS DIRECTED BY THE TOWN OF BROOKHAVEN, DIVISION OF TRAFFIC SAFETY.
 - THE CONTRACTORS PERFORMING ANY AND ALL TRAFFIC CONTROL DEVICES LAYOUT AND INSTALLATION WORK SHALL NOTIFY THE TOWN OF BROOKHAVEN DIVISION OF TRAFFIC SAFETY, 48 HOURS IN ADVANCE OF BEGINNING SUCH WORK ALONG A TOWN ROAD.
 - ALL PAVEMENT MARKINGS REQUIRED SHALL BE THERMOPLASTIC (SUFFOLK COUNTY SPECIFICATIONS) UNLESS OTHERWISE NOTED ON PLAN
 - STOP LINE SIGHT DISTANCE SHALL BE MAINTAINED AT ALL INTERSECTIONS IN ACCORDANCE WITH A.A.S.H.T.O. REQUIREMENTS.
 - EASEMENT OVER OFF-STREET PARKING AREA FOR ACCESS AND UTILITIES:
RECORDED 10/29/08 IN L12570 PG 129

- ### LIST OF DRAWINGS
- SP-1 SITE PLAN
 - SP-2 GRADING AND DRAINAGE PLAN
 - SP-3 LANDSCAPE PLAN
 - SP-4 MATERIAL REMOVAL PLAN
 - SP-5 EROSION CONTROL PLAN
 - SP-6 SITE LIGHTING PLAN
 - SP-7 SITE DETAILS



SITE DATA

| | |
|---|---|
| S.C.T.M. # | 200 - 644 - 2 - 14,15,16,17,18 & 19 |
| SUBJECT PARCEL SITE AREA | 42,000 SQ.FT. (0.964 AC) |
| GROSS BUILDING AREA | FIRST FLOOR: 10,000 SQ.FT. |
| % OCCUPANCY | 23.8% |
| OFF-STREET PARKING & UTILITY EASEMENT AREA | 14,000 SQ.FT. (0.321 AC) |
| DATUM | NGVD 1988 |
| ZONED | L-INDUSTRIAL-1 (HYDROGEOLOGIC SENSITIVE ZONE) |
| USE | WAREHOUSE/OFFICE |
| SUBJECT PARCEL ZONING REQUIREMENTS | REQUIRED/ALLOWED |
| MINIMUM LOT AREA | 120,000 S.F. |
| MAXIMUM BUILDING AREA | 30% 12,600 S.F. 23.8% 10,000 S.F. |
| MAXIMUM HEIGHT (FT/STORIES) | 50/3 STY. 33.67' / 1 STY. |
| MINIMUM ROAD FRONTAGE (FEET/AT A POINT IN FEET BACK FROM STREET LINE) | 200' |
| MINIMUM FRONT YARD | 50' |
| MINIMUM REAR YARD | 50' |
| MINIMUM SIDE YARD/ TOTAL YARD | 107'30" |
| MAXIMUM TOP SOIL TO BE REMOVED | 0 CU. YD. 837.1 CU.FT. ** |
| MINIMUM NATURAL/LANDSCAPE AREA | 20% 8,400 S.F. 37.8% 15,885.9 S.F. |
| 50% REQ'D FRONT YARD LANDSCAPE AREA | 10% 4,200 S.F. 10.1% 4,235.4 S.F. |
| MAXIMUM CLEARING AREAS | |
| SUBJECT PARCEL | 65% - 27,300 S.F. 61.1% 25,661.3 S.F. |
| OFF-STREET PARKING & UTILITY EASEMENT | 100% 14,000 S.F. 94.9% 13,292.0 S.F. |
| VARIANCE FOR RELIEF REQUIRED ** | |
| SUBJECT PARCEL QUANTITIES | EXISTING |
| BUILDING FOOTPRINT | N/A |
| CONCRETE CURB | N/A |
| CONCRETE SIDEWALK | N/A |
| PAVED AREA | N/A |
| HOF CATCH OR LEACHING BASINS (OFF-STREET PARKING INCLUDED) | N/A |
| STORM PIPE (OFF-STREET PARKING INCLUDED) | N/A |
| FENCE | N/A |
| LANDSCAPED AREA | N/A |
| NATURAL WOODED AREA | N/A |
| STORM POOL S. (OFF-STREET PARKING INCLUDED) | N/A |
| PAVING SPECIFICATIONS: | |
| 6" STABILIZED BASE | |
| 3-1/2" NYSDOT TYPE 3 BINDER COARSE | |
| 1-1/2" NYSDOT TYPE 6F WEARING COARSE | |
| PARKING COMPUTATIONS REQUIRED ** | |
| (A) OFFICE 925 S.F. @ 1 STALL / 150 S.F. = | 5.5 STALLS |
| (B) INDUSTRIAL 9175 S.F. @ 1 STALL / 400 S.F. = | 22.9 STALLS |
| (C) LOADING SPACES (BASED ON 10,000 S.F.) = | 1.0 STALLS |
| TOTAL REQUIRED: | 29.4 STALLS |
| TOTAL PROVIDED: | 30.0 STALLS |

General Notes

EXISTING SPOT ELEVATION
 PROP. TOP OF CURB ELEVATION
 PROP. PAVEMENT ELEVATION
 PROP. SPOT ELEVATION
 EXIST. CONTOURS
 PROP. CONTOURS
 PROP. CURB
 WATER SERVICE
 ELECTRIC SERVICE
 EXIST. UTILITY POLE
 EXIST. UTILITY POLE
 DRAIN FLOW / ARROW
 PROP. CONCRETE WALK
 PROP. LEACHING POOL (OPEN GRATE)
 PROP. LEACHING POOL (SOLID COVER)

ENSPIRE

Design Group, PLLC

Architect

ENSPIRE DESIGN GROUP, PLLC
 4964 EXPRESS DRIVE SOUTH, SUITE 1
 PLUNKONOMA, NEW YORK, 11753
 P: (631) 450-6400
 info@enspirepllc.com www.enspirepllc.com

MICHAEL F. MORILLO, AIA - Prcpctd
 New York State License #25202

Mechanical, Electrical, Plumbing Consultant

PROJECT TITLE:

SITE PLAN

FOR

PETER MOUTAFIS

MORICHES-MIDDLE ISLAND RD,

SHIRLEY, N.Y., 11967

SC7M#0200-644-02-

14,15,16,17,18&19

TITLE SHEET:

PROJECT NO. 24-129

DATE: 3-17-2026

DESIGN BY: MICHAEL F. MORILLO, AIA

DRAWN BY: JAS

CHECKED BY: MFM

SCALE: AS NOTED

No. Date Revision Description

| No. | Date | Revision | Description |
|-----|------|----------|-------------|
| | | | |

SHEET NO.

SP-1

1 OF 7

SITE PLAN

SCALE: 1"=20'

ENSPIRE
Design Group, PLLC

Architect
ENSPIRE DESIGN GROUP, PLLC
 4964 EXPRESS DRIVE SOUTH, SUITE 1
 FARMINGTON, NEW YORK, 11737
 PHONE: 845.650.1113 FAX: 845.650.4711
 info@enspirepllc.com www.enspirepllc.com

MICHAEL F. MORILLO, AIA - Prcspjpd
 New York State License #25202

Mechanical, Electrical, Plumbing Consultant

These drawings and all documents prepared by the architect are the property of the architect. The designs contained herein are intended for the use of the client and are not to be used for any other purpose. The architect assumes no responsibility for the construction of the project, and the client is advised that the architect is not a contractor. These documents are copyrighted and their use shall be limited to the construction of the project, and the client is advised that the architect's services are limited to the design of the project, and the client is advised that the architect is not a contractor. These documents are copyrighted and their use shall be limited to the construction of the project, and the client is advised that the architect's services are limited to the design of the project, and the client is advised that the architect is not a contractor.

General Notes

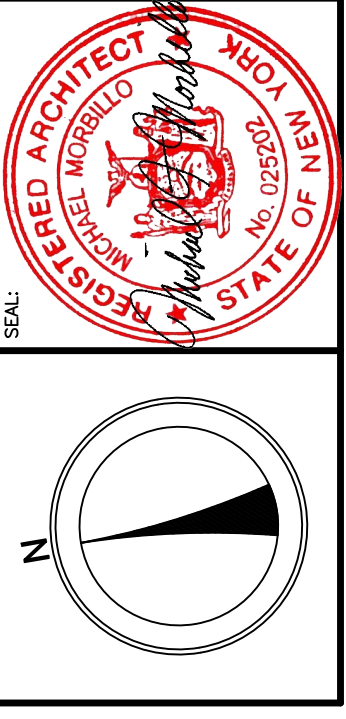
EXISTING SPOT ELEVATION (FC 100.0)
 PROP. TOP OF CURB ELEVATION (BC 100.0)
 PROP. SPOT ELEVATION (+ 105.0)

EXIST. CONTOURS
 PROP. CONTOURS

WATER SERVICE
 ELECTRIC SERVICE
 EXIST. UTILITY POLE
 DRAIN FLOW/ARROW

PROP. CONCRETE WALK
 PROP. LEACHING POOL (OPEN GRATE)
 PROP. LEACHING POOL (SOLID COVER)

| No. | Date | Revision Description |
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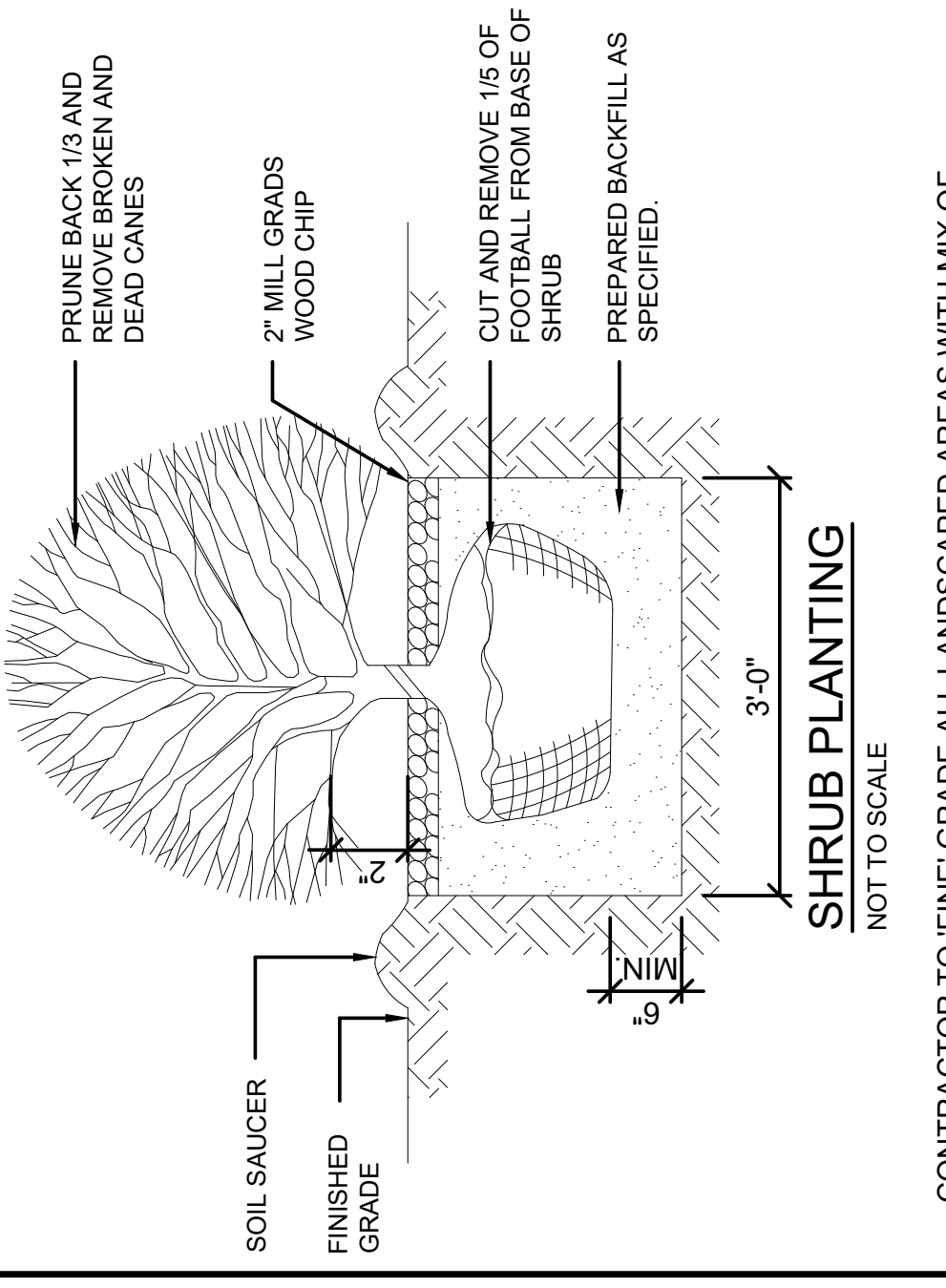
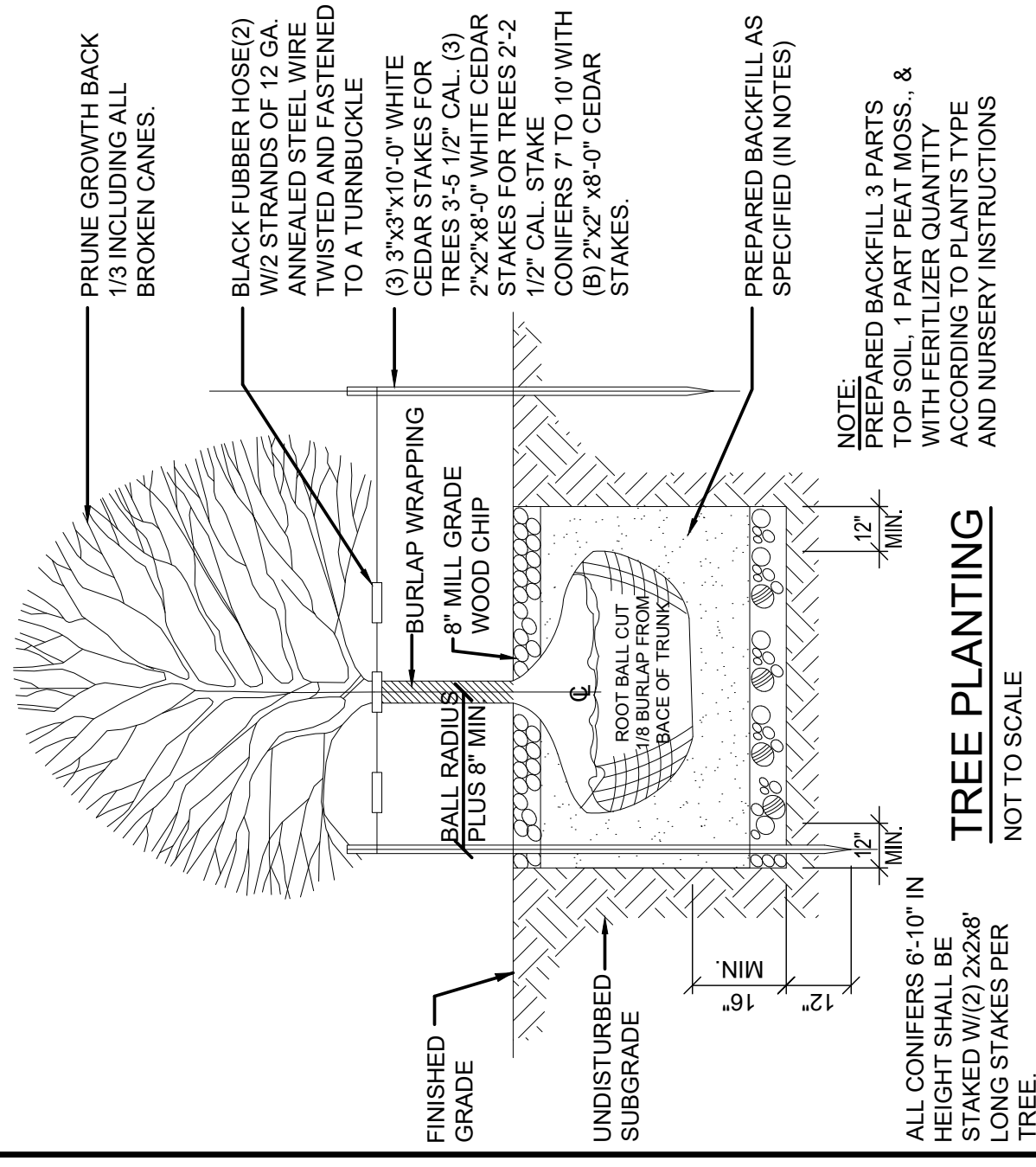


PROJECT TITLE:
SITE PLAN FOR PETER MOUTAFIS MORICHES-MIDDLE ISLAND RD, SHIRLEY, N.Y., 11967 SCTM#0200-644-02-14,15,16,17,18&19

TITLE SHEET:
LANDSCAPE PLAN

PROJECT NO. 24-129
 SHEET NO.
 DATE: 3-17-2026
 DESIGN BY: MICHAEL F. MORILLO, AIA
 DRAWN BY: JAS
 CHECKED BY: MFM
 SCALE: AS NOTED

LANDSCAPING DETAIL



PLANTING SCHEDULE

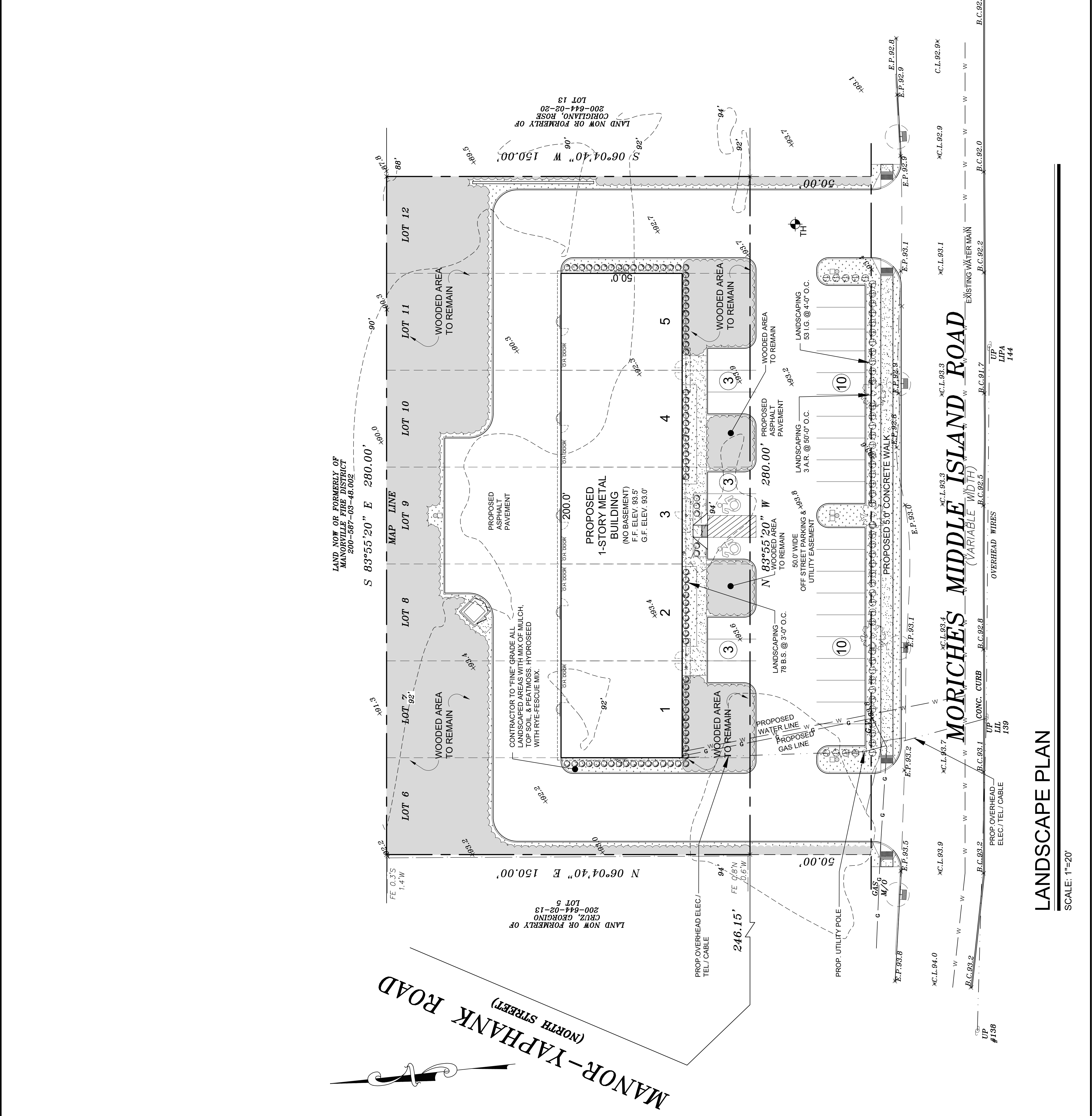
| SYM | QUA. | BOTANICAL NAME | COMMON NAME | SIZE / SP. |
|-----|------|--------------------|-------------|------------|
| IG | 53 | ILEX GLABRA | HICKBERRY | 18\"/> |
| BS | 78 | BUXIX SEMPERVIRENS | BOXWOOD | 2\"/> |
| AR | 3 | ACER REURURUM VAR. | RED MAPLE | 3\"/> |

CONTRACTOR TO FINE GRADE ALL LANDSCAPED AREAS WITH MIX OF MULCH, TOP SOIL, & PEATMOSS HYDROSEED WITH RYE-FESCUE MIX.

NOTE: SURVIVORSHIP SHALL BE MAINTAINED FOR FIVE YEARS. ANY PLANTS WHICH DIE OR BECOME DISEASED DURING THAT TIME SHALL BE REPLACED BY THE APPLICANT. ALL LANDSCAPED AREAS ARE TO HAVE AN IRRIGATION OR SPRINKLER SYSTEM. THE IRRIGATION SYSTEM IS TO BE INSTALLED AFTER THE RPZ VALVE IN ACCORDANCE WITH THE REQUIREMENTS OF THE SUFFOLK COUNTY WATER AUTHORITY. SURVIVORSHIP OF THE REQUIREMENTS OF THE SUFFOLK COUNTY WATER AUTHORITY ARE REQUIRED.

1. DRIP IRRIGATION ON ALL BUFFER AREAS AND SHRUB PLANTINGS ARE REQUIRED, AND
2. AUTOMATIC TIMERS, RAIN SENSORS AND MOISTURE METERS ARE REQUIRED.

ALL PLANTINGS ARE TO BE MAINTAINED WITH A DRIP IRRIGATION SYSTEM. FERTILIZER & OTHER REQUIRED MATERIALS AS TO MAINTAIN A NEAT, HEALTHY APPEARANCE. ANY PLANTS THAT ARE NO LONGER MAINTAINABLE SHALL BE REPLACED LANDSCAPED. CONTRACTOR TO SUBMIT SPRINKLER HEAD LAYOUT PRIOR TO CONSTRUCTION. ALL DISTURBED AREAS ARE TO BE HYDROSEED USING LOFTS ECOLOGY MIX. 80% RELIANT HARD FESCUE 20% JAMESTOWN CHEWINGS FESCUE AT A RATE OF 4 LBS./1000 S.F. MIN. NOTE: PROVIDE SNOW FENCING AT EDGE OF CLEARING LINE.



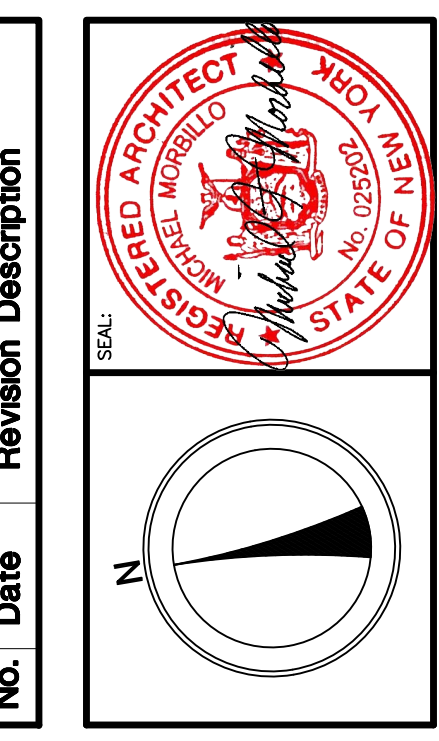
LANDSCAPE PLAN
 SCALE: 1"=20'

Architect
ENSPIRE DESIGN GROUP, PLLC
 4964 EXPRESS DRIVE SOUTH, SUITE 1
 POKONONGOMA, NEW YORK, 11753
 TEL: 845-471-9510
 info@enspirellc.com www.enspirellc.com
MICHAEL F. MORILLO, AIA - Prcpctg
 New York State License #25202
 Mechanical, Electrical, Plumbing Consultant

These drawings are documents prepared by the architect on behalf of the architect. The designs contained herein are intended for the use of the contractor and are not to be construed as a contract. The contractor shall be responsible for obtaining all necessary permits for construction. The contractor shall be responsible for obtaining all necessary permits for construction. The contractor shall be responsible for obtaining all necessary permits for construction. These drawings are not to be used for any other purpose.

General Notes

- EXISTING SPOT ELEVATION (TC 100.0)
- PROP. TOP OF CURB ELEVATION (BC 100.0)
- PROP. PAVEMENT ELEVATION (+ 155.0)
- PROP. SPOT ELEVATION
- EXIST. CONTOURS
- PROP. CONTOURS
- PROP. CURB
- WATER SERVICE
- ELECTRIC SERVICE
- EXIST. UTILITY POLE
- DRAIN FLOW/ARROW
- PROP. CONCRETE WALK
- PROP. LEACHING POOL (OPEN GRATE)
- PROP. LEACHING POOL (SOLID COVER)



PROJECT TITLE:
SITE PLAN FOR PETER MOUTAFIS MORICHES-MIDDLE ISLAND RD, SHIRLEY, N.Y., 11967 SCTM#0200-644-02-14,15,16,17,18&19

TITLE SHEET:
MATERIAL REMOVAL PLAN

PROJECT NO. 24-129
 SHEET NO.
 DATE: 3-17-2026
 DESIGN BY: MICHAEL F. MORILLO, AIA
 DRAWN BY: JAS
 CHECKED BY: MFM
 SCALE: AS NOTED
SP-4
 4 OF 7

LEGEND/CALCULATIONS

MATERIAL TO REMAIN

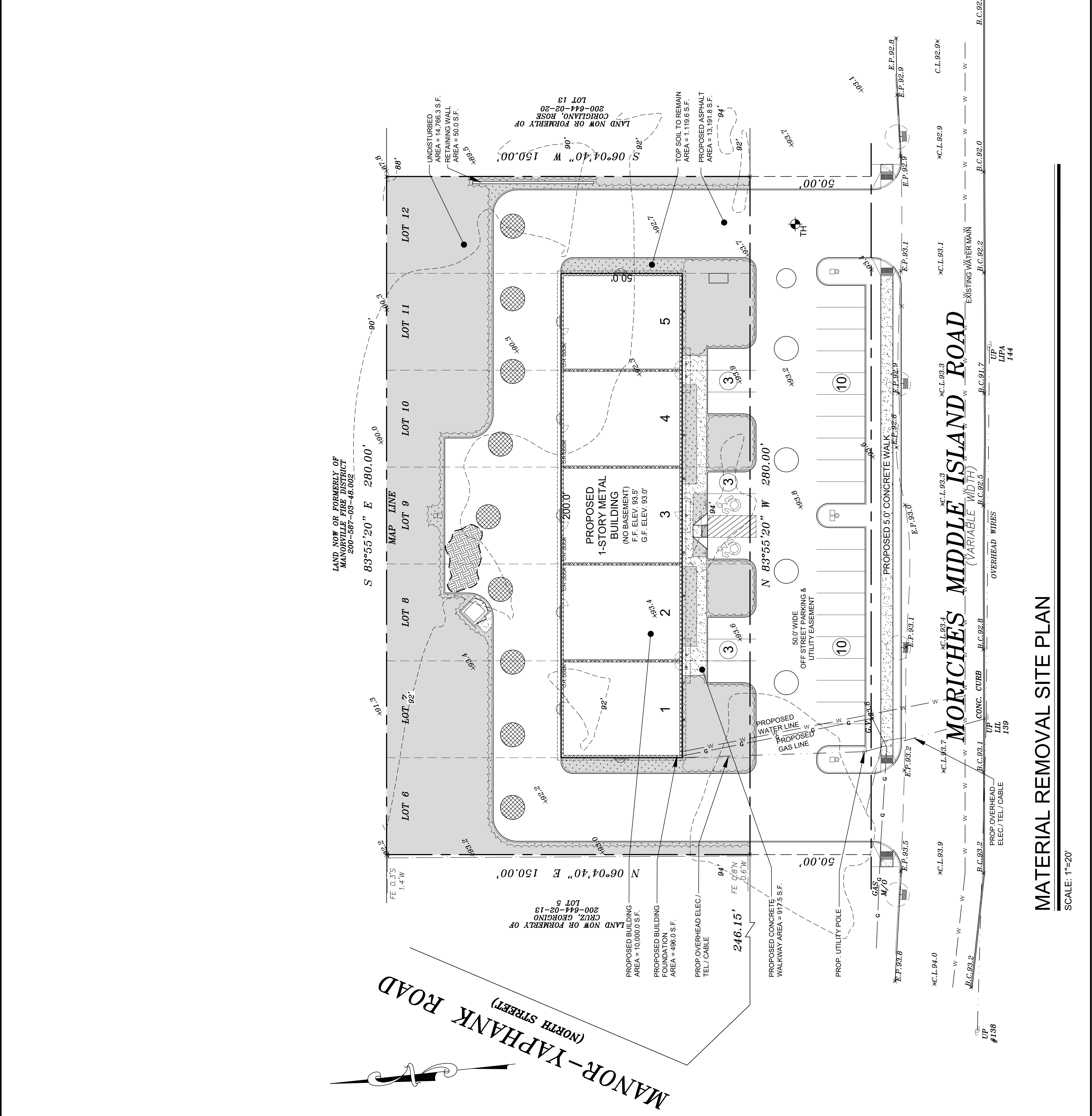
- DISTURBED TOPSOIL TO REMAIN: 1,119.6 S.F. X 0.5' DEPTH = 559.8 CU.F.T. / 27 = 20.7 CU.YD.
- TOP SOIL STOCK PILE AREA = 20.7 CU.YD.

MATERIAL TO BE REMOVED

- BUILDING FOUNDATION SOIL REMOVAL: 688 S.F. X 3.0' DEPTH = 2,064 CU.F.T. / 27 = 76.4 CU.YD.
- SANITARY STORM DRAINAGE SOIL REMOVAL: 8,482.3 CU.F.T. / 27 = 314.2 CU.YD.
- TOP SOIL REMOVAL: 13,191.6 S.F. X 0.5' S.F. + 10,000.0 S.F. X 0.5' S.F. X 0.5' DEPTH = 12,054.65 CU.F.T. / 27 = 446.5 CU.YD.
- TOTAL SOIL MATERIALS REMOVED = 837.1 CU.YD.

JUSTIFICATION FOR SOIL REMOVAL:

- AREA ON THE REAR OF THE SITE IS TO REMAIN UNDISTURBED TO MAINTAIN EXISTING VEGETATION
- DRAINAGE PROVIDED TO STORE ALL STORMWATER ON SITE AS REQUIRED BY THE TOWN OF BROOKHAVEN
- SANITARY SYSTEM PROVIDED AS REQUIRED BY SUFFOLK COUNTY DEPARTMENT OF HEALTH SERVICES



MATERIAL REMOVAL SITE PLAN
 SCALE: 1"=20'

Architect
ENSPIRE DESIGN GROUP, PLLC
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 www.enspirellc.com
 info@enspirellc.com

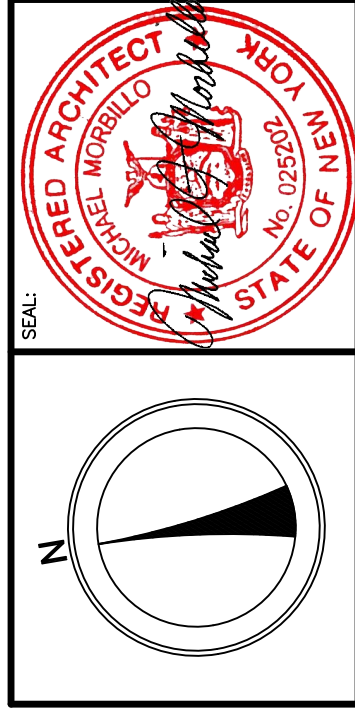
MICHAEL F. MORRILLO, AIA - Principal
 New York State License #25202

Mechanical, Electrical, Plumbing Consultant

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General Notes

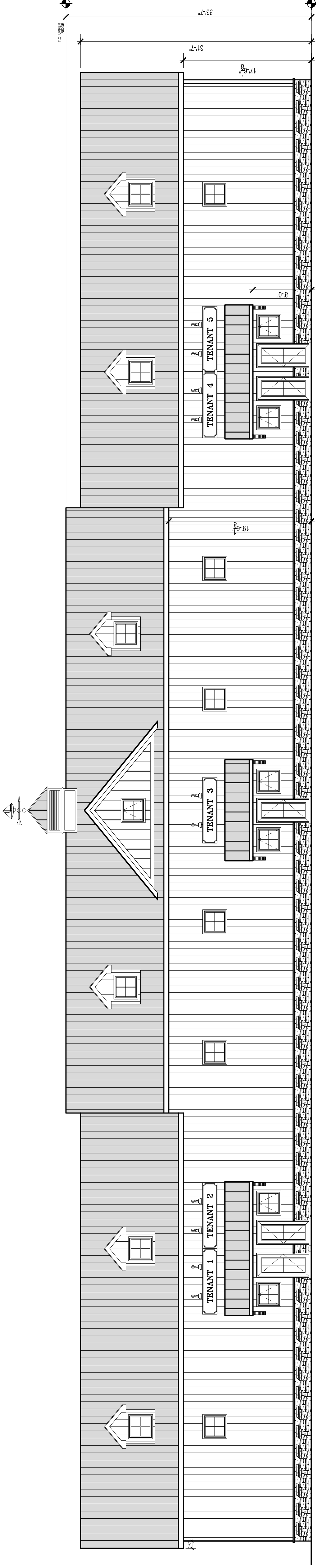
No. Date Revision Description



PROJECT TITLE:
**NEW WAREHOUSE
 BUILDING
 FOR
 PETER MOUTAFIS**
 MORICHES-MIDDLE ISLAND RD,
 SHIRLEY, N.Y., 11967
 SCTM#0200-644-02-
 14,15,16,17,18&19

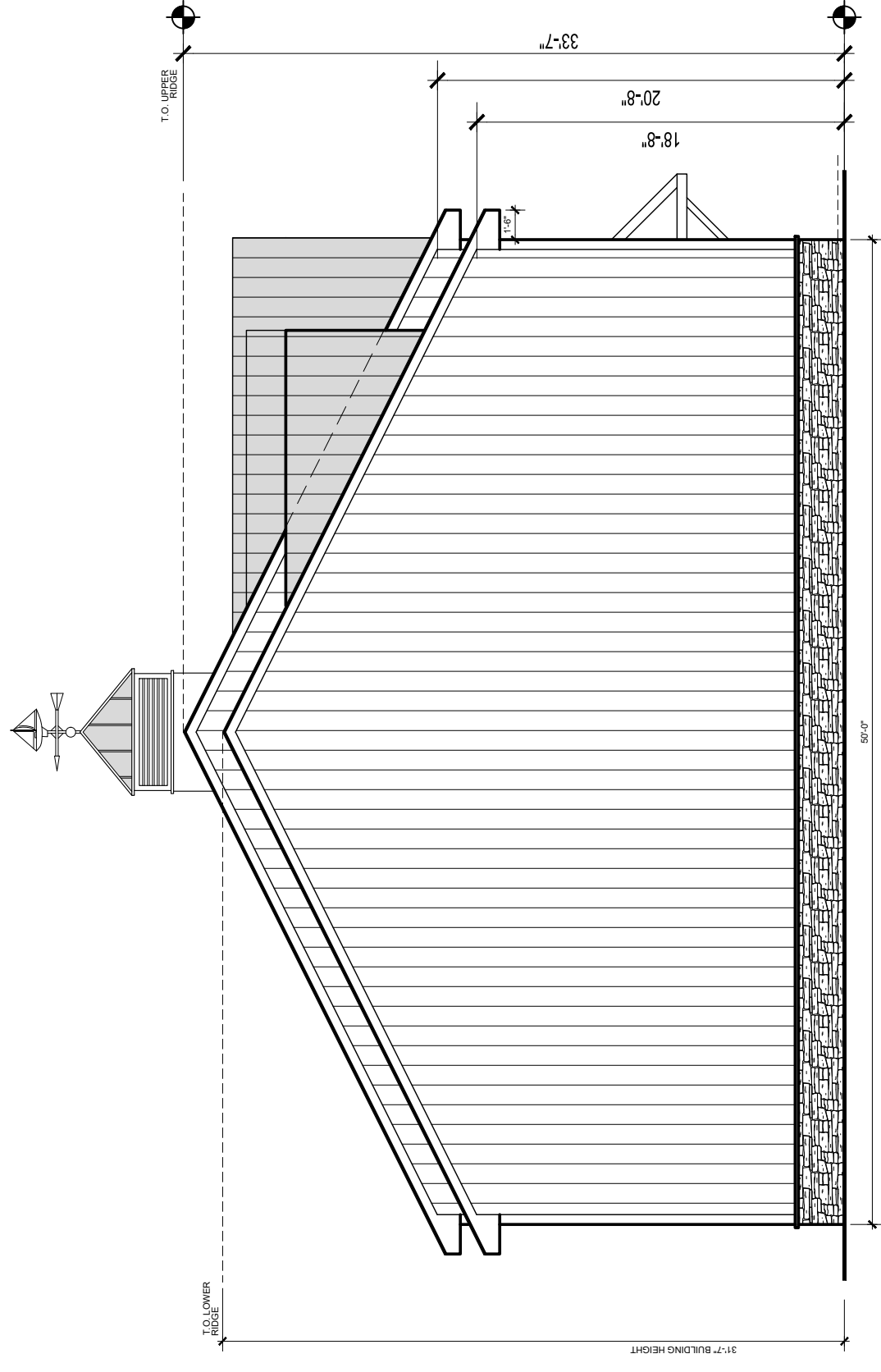
ELEVATIONS

PROJECT NO. 24-129 SHEET NO.
 DATE: 3-17-2026
 DESIGN BY: MICHAEL F. MORRILLO, AIA
 DRAWN BY: JAS
 CHECKED BY: MFM
 SCALE AS NOTED
A-2



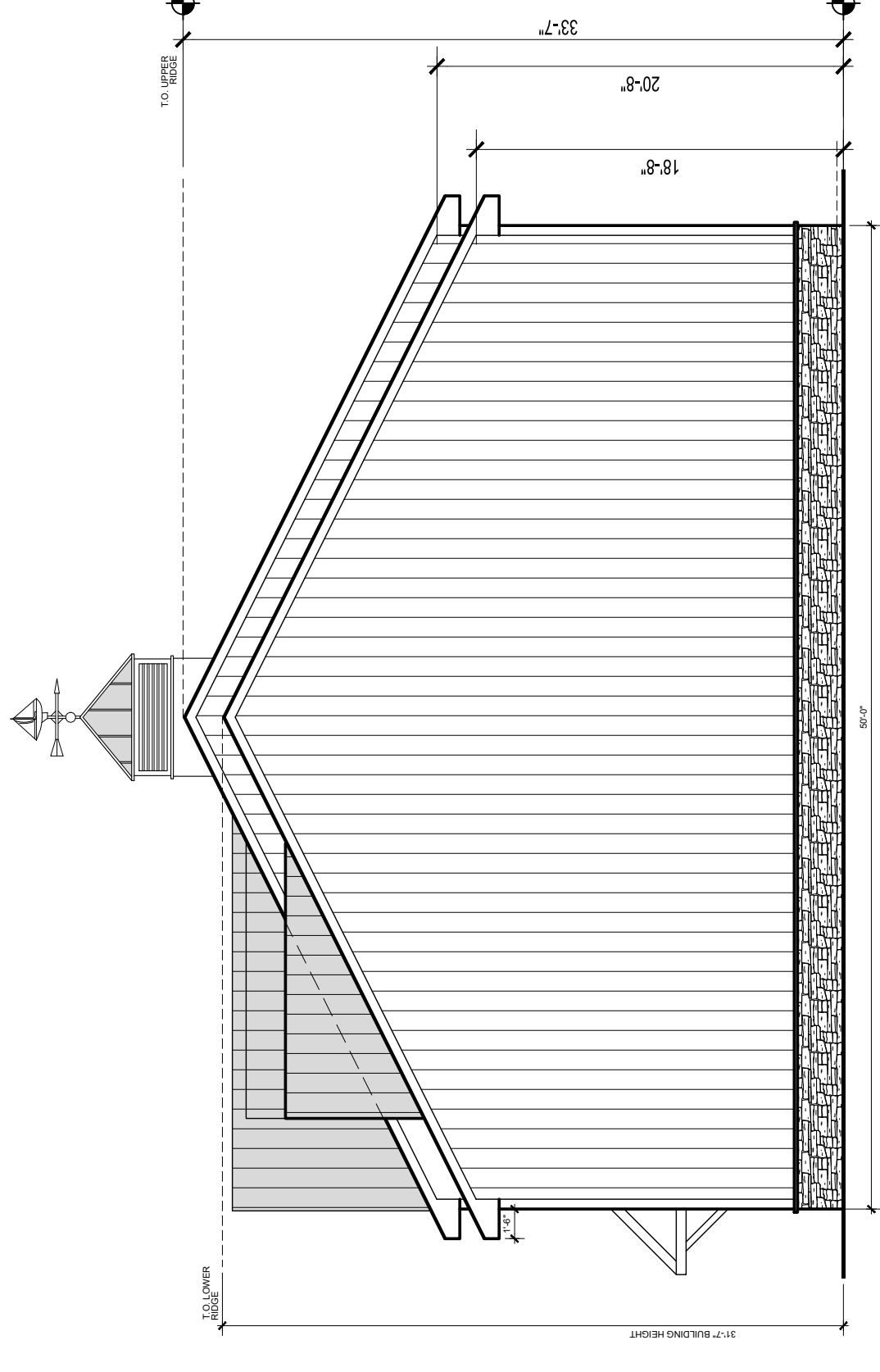
FRONT ELEVATION

SCALE: 1/8"=1'-0"



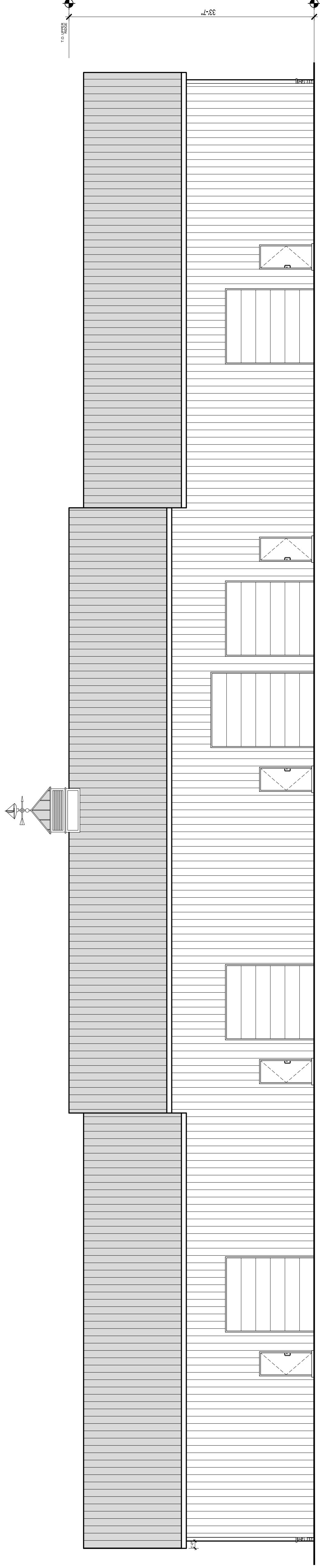
LEFT SIDE ELEVATION

SCALE: 1/8"=1'-0"



RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"



REAR ELEVATION

SCALE: 1/8"=1'-0"



May 20, 2026

Brooks R. Surgan
Planner
Town of Brookhaven Department of Planning Environment and Land Management
One Independence Hill
Farmingville, NY 11738

RE: Referral of Site Plan for Moutafis Warehouse
Town Log # PLNSTP2095; SCTM Numbers 200-644-2-15, 16, 17, 18 and 19
Compatible Growth Area of the Central Pine Barrens

Dear Mr. Surgan:

On April 21, 2026, the Central Pine Barrens Commission office received a referral of the subject proposal. The project site is in the Compatible Growth Area of the Central Pine Barrens.

Timothy C. Hubbard
Member

Ryan P. McGarry
Member

Maria Z. Moore
Member

Daniel J. Panico
Member

Edward P. Romaine
Member

Existing Conditions and the Proposed Project

The 0.9 acre (42,000 square foot) project site is located on the north side of Moriches Middle Island Road, east of North Street, in the Light Industrial Zoning District in Shirley. The site is undeveloped and contains a natural pine barrens ecosystem.

The project is the construction of a one-story, 10,000 square foot commercial/industrial warehouse use with five units and parking. An on site septic system is proposed. An area of natural vegetation is situated in the rear of the site. The layout is depicted in the Site Plan prepared by Enspire Design Group PLLC dated March 17, 2026.

Central Pine Barrens Status

The proposal constitutes development activity, pursuant to New York State Environmental Conservation Law Article 57 Section 57-0107(13)(b) and (c). Therefore, it must conform with the standards of the Central Pine Barrens Comprehensive Land Use Plan (the Plan), as implemented by the Brookhaven Town Code. If it does not conform to one or more standards, and is not revised to conform, then a CGA Hardship Waiver Application must be submitted, subject to Commission review and decision.

Comments

Please direct the applicant to submit for the Town’s review a demonstration of conformance with the Plan standards implemented by the Town Code.

Standard 5.3.3.1.1 Article 6 of the Suffolk County Sanitary Code

- The project must demonstrate conformance with this standard.
- The Site Plan lists 400 gallons per day of sanitary flow. The EAF Part I lists 600 gallons per day (gpd) of wastewater generated by the project. Please confirm the correct amount and provide it to the Town. If the flow exceeds the 300 gpd per acre limit in Groundwater Management Zone, indicate if the Health Department will require any excess flow to be achieved through the redemption of Pine Barrens Credits. Please clarify the amount and correct the application to the Town, as necessary.

624 Old Riverhead Road
Westhampton Beach, NY
11978

Phone (631) 288-1079
Fax (631) 288-1367
www.pb.state.ny.us

Standard 5.3.3.6.1 and 6.2 Vegetation Clearance Limits and Open Space requirements

- The project must demonstrate conformance with the standards for clearing and open space.
- The project proposes to clear 65% of the site’s natural vegetation and to retain 35% as natural open space. As per Figure 5-1, the Plan standard permits a maximum 60% clearing and minimum 40% natural. Please direct the Applicant to revise the Site Plan for the Town’s review to reduce the extent of clearing and increase the amount of natural open space to conform with the Plan. If the project is not revised to conform the applicant must submit a hardship waiver application to the Commission.
- The goal of the open space standard is to create a pattern of unfragmented open space in a site plan or subdivision to protect significant natural resources and environmental features of a site by concentrating development into compact areas. The Site Plan illustrates vegetated islands in the parking lot. This is considered landscaping as it fragments natural area from the bulk of open space and does not achieve the intent of this standard. The applicant should seek to place all of the required natural open space in a large unfragmented block. Retaining existing native trees in place to serve as buffers, street trees and landscaping is encouraged but such vegetation does not contribute to conformance with the open space standard.

Standard 5.3.3.6.3 Fertilizer Dependent Vegetation

- The project must demonstrate conformance with this standard. The maximum fertilizer dependent vegetation limit is 15%.
- Please have the maximum limit reflected in the Site Plan.

Standard 5.3.3.6.4 Native Plantings

- Please direct the applicant to replace the boxwood listed in the Landscape Plan Sheet SP3 with a native plant species such as bayberry, winterberry holly, inkberry or witch hazel. Please refer to recommended plant lists prepared by the Town and in the Plan to utilize native plants in landscaping to conform with this standard.
- Minimize clearing of natural vegetation and soil removal to protect existing native seed material and minimize erosion in the pine barrens ecosystem to the greatest extent possible.
- Utilize existing trees to serve as landscaping to support native pine barrens ecosystems, flora and fauna and to minimize irrigation, chemical fertilizers and herbicide applications on the project site.

The project must conform with all other involved agency jurisdictions and permit requirements in effect on the project site. Thank you for your attention, and if you have any questions, please do not hesitate to contact me at (631) 218-1192.

Sincerely,

Julie Hargrave
Pine Barrens Manager

cc: John C. Milazzo, Commission Counsel

DRAFT



May 20, 2026

Justin LaCorte
Senior Environmental Science and Planning Analyst
999 Stewart Avenue
Bethpage, NY 11714

RE: PSEGLI Utility Pole Replacement
Currans Road, Middle Island, Town of Brookhaven
Central Pine Barrens Compatible Growth Area

Dear Mr. LaCorte:

On April 14, 2026, the Central Pine Barrens Commission received materials on the referenced proposal. The Project is in the Compatible Growth Area on Currans Road in Middle Island.

Ryan P. McGarry
Chairman

The Project involves the replacement of one utility pole. The existing pole and new pole are timber. The existing pole is 35 feet tall and the replacement pole is 40 feet tall.

Jerome Halpin
Member

Maria Z. Moore
Member

The purpose of the activity is to remove the pole from inside the paved street to the maintained grass right of way. No trees or other natural vegetation will be removed.

Daniel J. Panico
Member

Edward P. Romaine
Member

As proposed, the activity appears to constitute “non-development” pursuant to New York State Environmental Conservation Law Article 57 Section 57-0107.13(ii) which states:

Work by any utility not involving substantial engineering redesign for the purpose of inspection, maintenance or renewal on established utility rights of way or the likes

No further review from this office is required. If the proposed activity changes, including the need to remove trees, please notify this office and forward the updated information for Commission review prior to implementation as the revised project may constitute development.

Thank you for your attention, and if you have any questions, please do not hesitate to contact me at (631) 218-1192.

624 Old Riverhead Road
Westhampton Beach, NY
11978

Sincerely,

Phone (631) 288-1079
www.pb.state.ny.us

Julie Hargrave
Interim Executive Director

cc: John C. Milazzo, Counsel
Glenn Knats, homeowner



April 14, 2026

Ms. Julie Hargrave
Principal Environmental Planner
Central Pine Barrens Joint Planning and Policy Commission
624 Old Riverhead Road
West Hampton Beach, New York 11978

**Re: PSEG Long Island Currans Road, Middle Island Pole Replacement Project
Notification Memo**

**Currans Road; hamlet of Middle Island, Town of Brookhaven, Suffolk County, New
York**

Dear Ms. Hargrave,

PSEG Long Island as agent for the Long Island Power Authority is notifying the Pine Barrens Commission regarding work proposed within the Compatible Growth Area (CGA) of the Pine Barrens.

The Proposed Action includes replacement of one (1) wood distribution pole and one (1) anchor with one (1) new wood distribution pole and one (1) new anchor. The new pole will be relocated 2 feet to the east of the original location. The new pole will be 5 feet taller (40 feet) than the old pole (35 feet) and will be in-kind with existing poles in the area.

The entire project is located within the CGA of the Pine Barrens. All work to be conducted within the CGA will occur within paved roadway right-of-ways, concrete sidewalks, or vegetated areas directly adjacent to the existing roadway and maintained roadside. Minimal vegetation removal and/or trimming may be required for the installation of overhead cable and utility poles. Any disturbed areas will be reseeded with appropriate native vegetation, consistent with native Pine Barrens vegetation.

The Proposed Action will not result in removal of trees or changes to existing land use. As per ECL 57-0107 (13)(i) and (v), the above described activities do not constitute development and no further review is required.

Should you have any questions or require additional information, please do not hesitate to contact the undersigned at (631) 428-2986 or via email at Justin.LaCorte@psegliny.com.

PSEG Long Island

175 E. Old Country Road
Hicksville, NY 11801



PSEG LONG
ISLAND

We make things work for you.

Regards,

A handwritten signature in blue ink that reads "Justin LaCorte".

Justin LaCorte

Licensing & Permitting, Senior Environmental Science and Planning Analyst

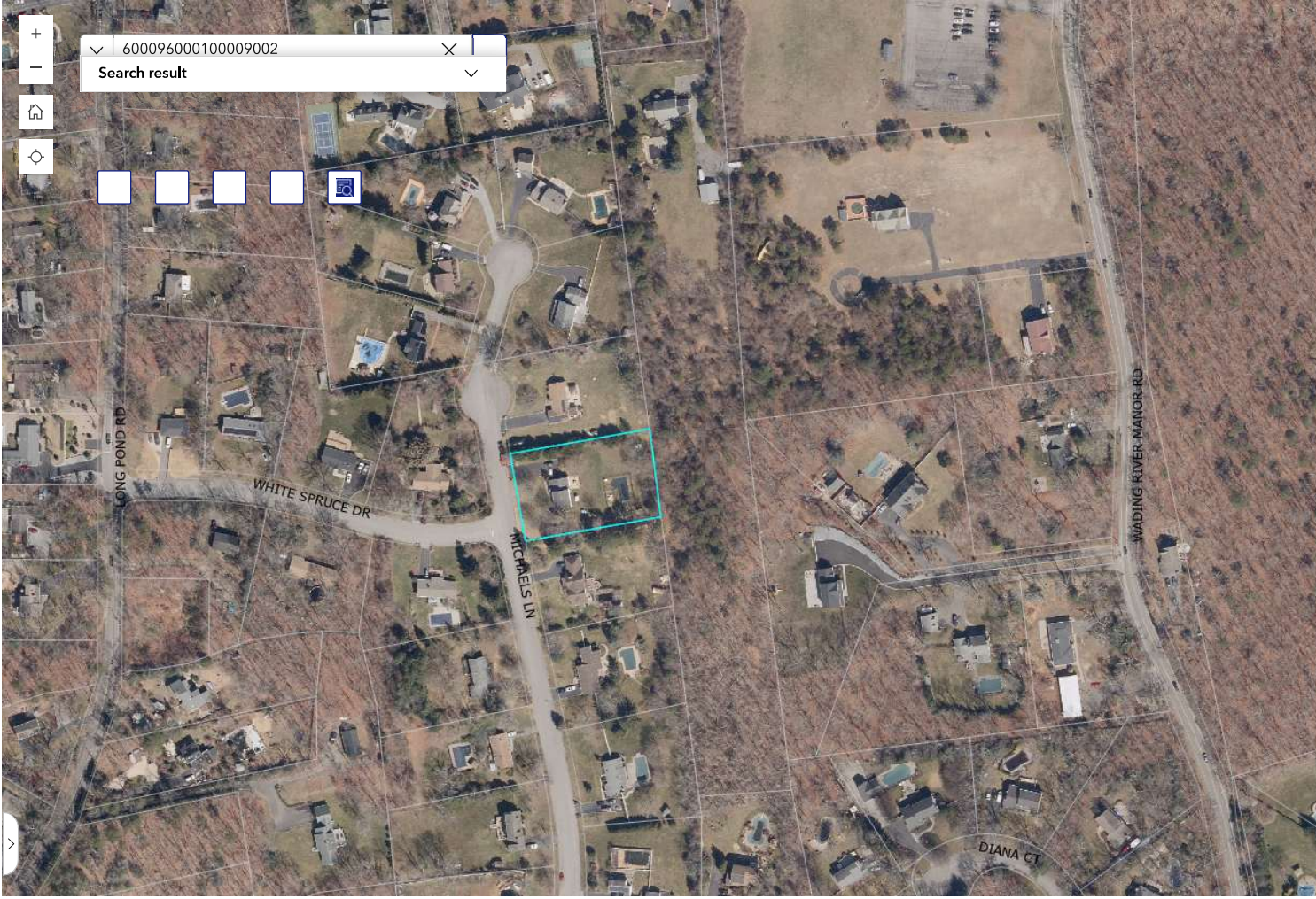
Encl.

Cc: Christopher Kiernan (PSEG Long Island)
Kara J. Krueger (PSEG Long Island)
Erin Gorman (PSEG Long Island)



Sent from my iPhone





Enable clicking...  

200 ft



DRAFT



May 20, 2026

George Foundas
24 Michaels Lane
Wading River, NY 11792

RE: Request for Determination of Jurisdiction
24 Michaels Lane, Wading River, Town of Riverhead
SCTM Number 600-96-1-9.2
Compatible Growth Area of the Central Pine Barrens

Dear Mr. Foundas:

On April 8, 2026, the Central Pine Barrens Commission office received your request to construct a garage as an accessory use to the existing single-family residence on the project site. The project site is in the Compatible Growth Area of the Central Pine Barrens.

The proposed activity does not constitute development, pursuant to New York State Environmental Conservation Law Article 57 Section 57-0107(13)(iv), which states:

(iv) the use of any structure or land devoted to dwelling uses for any purposes customarily incidental and otherwise lawful;

No further review from this office is required. If any activity related to the proposal changes, or if non-accessory uses are proposed in the garage, you must notify this office and forward the updated information for Commission review prior to implementation.

The proposal must conform to all other involved agency jurisdictions and permit requirements in effect on the project site. Thank you for your attention, and if you have any questions, please do not hesitate to contact me at (631) 218-1192.

Sincerely,

Julie Hargrave
Interim Executive Director

cc: John C. Milazzo, Commission Counsel

Ryan P. McGarry
Chairman

Jerome Halpin
Member

Maria Z. Moore
Member

Daniel J. Panico
Member

Edward P. Romaine
Member

624 Old Riverhead Road
Westhampton Beach, NY
11978

Phone (631) 288-1079
www.pb.state.ny.us

04/08/2026

Central Pine Barrens Commission

624 Old Riverhead Road
Westhampton Beach, NY 11978

To Whom It May Concern,

I am writing to respectfully request a determination of jurisdiction from the Central Pine Barrens Commission regarding a proposed detached garage at the property located at 24 Michaels Lane, Wading River, NY 11792 (SCTM #0600-096.00-01.00-009.002).

The project consists of the construction of a detached garage on an existing residential property. The detached garage has already been approved by the Town of Riverhead on a Zoning Board of Appeals hearing.

We kindly request your review and confirmation as to whether this proposed project falls within the Commission's jurisdiction.

Please let us know if any additional information, documentation, or application materials are required to process this request.

Thank you for your time and consideration. We look forward to your response.

Sincerely,
George Foundas

DRAFT



May 20, 2026

Joshua Smith
Airport Manager
Francis S. Gabreski Airport
Administration Building #1
Westhampton Beach, NY 11978

RE: Suffolk County Gabreski Airport – Southern Pine Beetle Dead Trees
Central Pine Barrens Compatible Growth Area

Dear Mr. Smith:

On May 7, 2026, the Central Pine Barrens Commission received your letter requesting to cut and leave in place dead pitch pine trees infested by Southern Pine Beetle (SPB) that pose a safety and security hazard to the Gabreski Airport property.

The letter explains that dead trees may be hazardous and fall on the existing fenceline, road or passersby on the southerly boundary of Gabreski Airport in the portion of the property that is in the Central Pine Barrens Compatible Growth Area. The Gabreski Airport Master Plan, included in the submission, illustrates areas to be developed and areas to remain natural. The SPB infested dead trees are in the area to remain natural. An estimated 1,160 trees were identified as infested and potentially hazardous. The Applicant will leave the cut trees in place to undergo natural degradation. A cost estimate was provided for the County to hire a contractor for this work.

Commission staff reviewed the proposal including photographs, and at its May 20, 2026 meeting, the Commission authorized the felling of the trees. Based on the information provided the proposed activity is consistent with past precedent of the Commission and authorizations on other properties where similar conditions exist. This determination is not an evaluation of the risks, if any, to the property posed by vegetation on the site. The Commission makes no representation as to the same as it only reviewed the areas identified in your submission. The Commission is not qualified to make such a determination.

Please be advised, despite the presence of hazardous condition, the timing of cutting and removing trees may be restricted to seasonal periods to protect the Northern Long-eared Bat, a New York State and Federal listed Endangered species. Please consult with NYSDEC to adhere to protective guidelines and requirements for this and other listed species and regulated habitats on the property. The Commission has no control over such requirements.

The proposal must conform to all other involved agency jurisdictions and permit requirements in effect on the project site. Thank you for your attention. Please contact this office if you have any questions.

Sincerely,

Julie Hargrave
Interim Executive Director

624 Old Riverhead Road
Westhampton Beach, NY
11978

Phone (631) 288-1079
www.pb.state.ny.us

cc: John C. Milazzo, Counsel to the Commission
Janice Scherer, Southampton Town Planning and Development Administrator
New York State Department of Environmental Conservation Region 1

COUNTY OF SUFFOLK



EDWARD P. ROMAINE
SUFFOLK COUNTY EXECUTIVE

DEPARTMENT OF ECONOMIC DEVELOPMENT AND PLANNING

SARAH LANSDALE
COMMISSIONER

MAUREEN GETCHELL
CHIEF DEPUTY COMMISSIONER

RORY WHELAN
DEPUTY COMMISSIONER

May 8, 2026

Central Pine Barrens Commission
624 Old Riverhead Road,
Westhampton Beach, NY 11978

Re: Suffolk County Gabreski Airport southern pine beetle damage and security fence protection

Dear Central Pine Barrens Commission members,

Suffolk County Gabreski Airport has seen a large portion of pine trees damaged by the southern pine beetle along the airports South Perimeter Road. There is a large section of dead pine trees along the fenceline that are posing a safety and security hazard. Gabreski Airport would like to request approval to cut and leave in place, the trees that are within falling distance of the fence, to protect the secure perimeter around the airport. This project will also enhance safety, as the Air National Guard and members of the community walk and/or jog along the South Road on occasion. Ensuring the trees and limbs do not fall in the road or along the edge of the road where people walk and jog is a critical safety measure.

The fenceline in question is shown via the attached image. We would like to cut the trees along the approximate 5,431ft fenceline section shown in the image.

Gabreski Airport has already contacted the Suffolk County Contracted Vendor (Integrity Tree Care, Inc.) and received a quote to cut and leave in place 1,160 dead pine trees along the fenceline. There are 626 trees in the 0 – 10 inch diameter range and 534 trees in the 11 – 20 inch diameter range.

If approved the airport could work to have this project completed by the end of the year.

Included with this request are a few pictures of the dead pine trees.

If anyone would like to see the trees in person, please let me know and we can set up a time to meet onsite.

I appreciate your time and consideration with this request, and if you have any questions or concerns, please feel free to contact me by phone or email

Sincerely,

Joshua Smith
Airport Manager
Francis S. Gabreski Airport
631-852-8095
Joshua.smith@suffolkcountyny.gov







STOP
GATE MUST BE
CLOSED BEFORE
LEAVING AREA

STOP
10/1/14









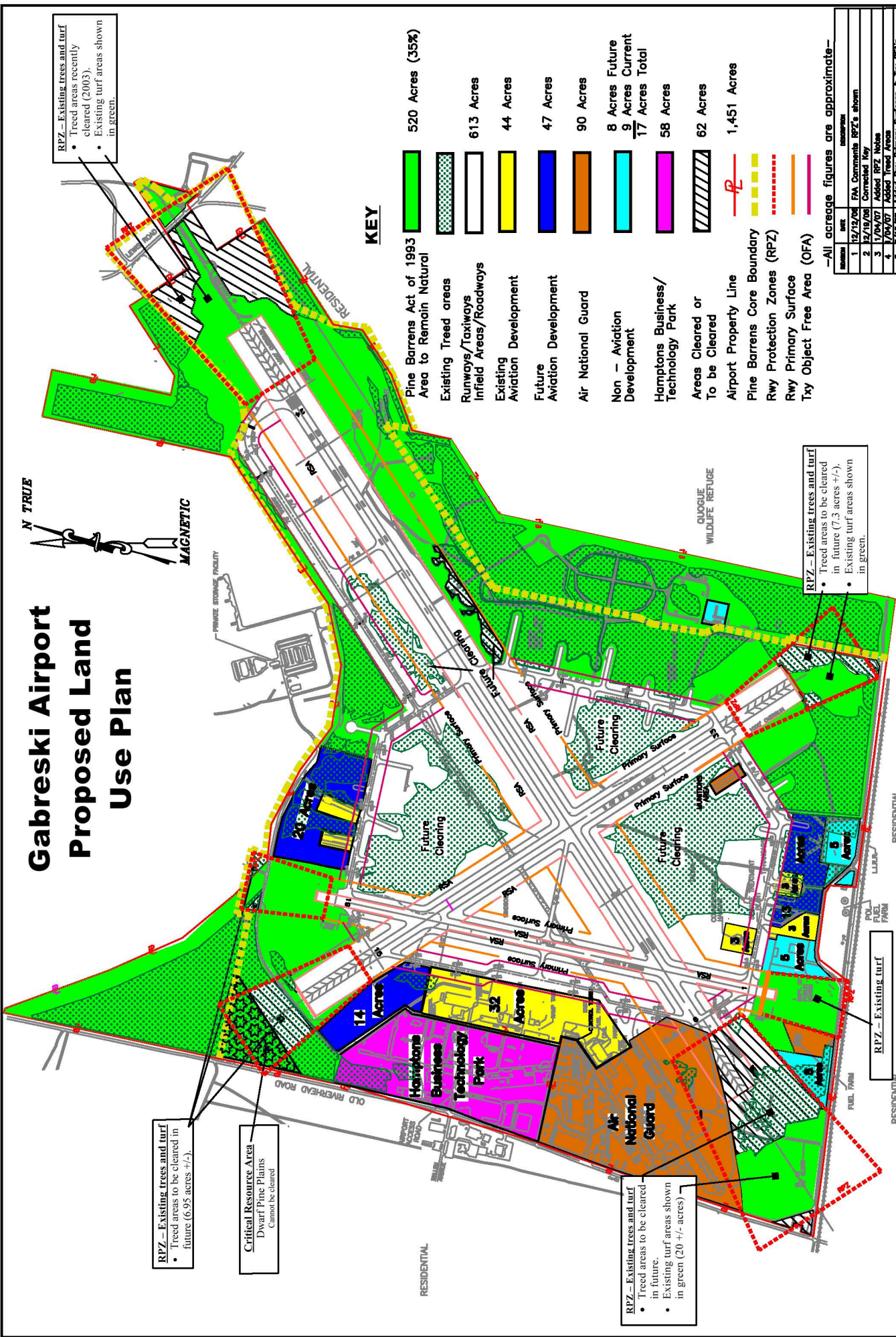
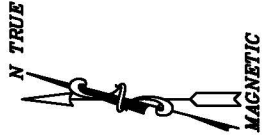


NO
SMOKING
OR
OPEN FLAMES





Gabreski Airport Proposed Land Use Plan



KEY

- Pine Barrens Act of 1993 Area to Remain Natural 520 Acres (35%)
- Existing Tread areas 613 Acres
- Runways/Taxiways Infield Areas/Roadways 44 Acres
- Existing Aviation Development 47 Acres
- Future Aviation Development 90 Acres
- Air National Guard 8 Acres Future Development 9 Acres Current 17 Acres Total
- Hamptons Business/Technology Park 58 Acres
- Areas Cleared or To be Cleared 62 Acres
- Airport Property Line 1,451 Acres
- Pine Barrens Core Boundary
- Rwy Protection Zones (RPZ)
- Rwy Primary Surface
- Txy Object Free Area (OFA)

RPZ - Existing trees and turf
 • Tread areas recently cleared (2003).
 • Existing turf areas shown in green.

RPZ - Existing trees and turf
 • Tread areas to be cleared in future (6.95 acres +/-).

Critical Resource Area
 Dwarf Pine Plains
 Cannot be cleared

RPZ - Existing trees and turf
 • Tread areas to be cleared in future.
 • Existing turf areas shown in green (20 +/- acres)

RPZ - Existing trees and turf
 • Tread areas to be cleared in future (7.3 acres +/-).
 • Existing turf areas shown in green.

--All acreage figures are approximate--

| REVISION | DATE | DESCRIPTION |
|----------|----------|---------------------------------------|
| 1 | 12/19/06 | FA Comments RPZ's shown |
| 2 | 12/19/06 | Corrected Map |
| 3 | 1/24/07 | Added RPZ Notes |
| 4 | 7/24/07 | Added Tread Areas |
| 5 | 8/19/07 | Added Rwy Primary Surface & Txy OFA's |

FRANCIS S. GABRESKI AIRPORT
SUFFOLK COUNTY
 Proposed Land Use Plan

| | | |
|---|--|--|
| <p>FEDERAL AVIATION ADMINISTRATION</p> <p>APPROVED _____ DATE _____</p> | <p>SUFFOLK COUNTY, NEW YORK</p> <p>APPROVED _____ DATE _____</p> | <p>NEW YORK STATE DEPARTMENT OF TRANSPORTATION</p> <p>APPROVED _____ DATE _____</p> |
|---|--|--|

SAVIK & MURRAY, LLP
 CONSULTING ENGINEERS
 2110 SHAWMUT AVENUE
 BROOKLYN, NY 11219
 (631) 467-7775

Note: 1) Dec 2006 - RPZ's added at each runway end. Areas within RPZ that are not already cleared are shown as "to be cleared" in the future. Areas within RPZ's that are currently turf are shown in green (to remain natural).
 2) Areas where trees are to be cleared will be replanted with native grass to meet requirements of the Pine Barrens Act of 1993.

Integrity Tree Care Inc
55 Crosby St
Sayville, NY 11782 US

Estimate

| ADDRESS |
|--|
| Suffolk County Parks po box 144 west sayville, new york 11796 usa |

| ESTIMATE # | DATE | |
|------------|------------|--|
| 1020 | 04/29/2026 | |

CONTRACT NO.
spbshtc121024

SERVICE ADDRESS
gabreski airport

| ITEM | DESCRIPTION | QTY | RATE | AMOUNT |
|----------|-----------------------------------|-----|-------|------------|
| Treework | 0-10 inch Trees cutting and leave | 626 | 45.00 | 28,170.00T |
| Treework | 11-20 inch Tree cutting and leave | 534 | 95.00 | 50,730.00T |

SUBTOTAL 78,900.00
TAX 0.00
TOTAL \$78,900.00

Accepted By

Accepted Date



May 20, 2026

Eric J. Helman, Esq.
 Amato Law Group
 666 Old Country Road, 9th Floor
 Garden City, NY 11530

Re: Verizon Wireless at Suffolk County STP Property
 2195 William Floyd Parkway, Ridge
 SCTM Number 200-242-1-1.2 and 1.4
 Compatible Growth Area of the Central Pine Barrens

Dear Mr. Helman:

On April 14, 2026, the Central Pine Barrens Commission office received revised material on the referenced project. The project site is in the Central Pine Barrens Compatible Growth Area.

Prior submissions were made and responses from the Commission were provided dated February 19, 2020 and April 22, 2020 and May 21, 2025.

Existing Conditions

The project site is 10.59 acres. It is owned by Suffolk County and developed with Suffolk County Sewer District #20 infrastructure. The property is in the A1 Residence Zoning District. It is located on the west side of William Floyd Parkway, north of Whiskey Road, in the hamlet of Ridge.

The facility is depicted in the survey dated October 22, 2014, last revised May 15, 2020, prepared by Carman-Dunne, P.C. The site contains a settlement basin, filtration area and one-story frame building and other accessory structures. Approximately 54% of the site is cleared, and 46% of the site is naturally vegetated.

Project Description

The project is to develop a 120-foot tall monopole with multiple exterior carriers at its peak and a leased area for a ground based equipment compound for five private carriers including Verizon and future carriers, as depicted in the Site Plan prepared by APT Engineers dated April 1, 2026 including:

- A fenced equipment compound with a concrete pad to support equipment cabinets and an emergency generator
- Concrete pad supporting one, 500 gallon propane tank
- No removal of trees or other vegetation

Ryan P. McGarry
Chairman

Jerome Halpin
Member

Maria Z. Moore
Member

Daniel J. Panico
Member

Edward P. Romaine
Member

624 Old Riverhead Road
 Westhampton Beach, NY
 11978

Phone (631) 288-1079
www.pb.state.ny.us

Central Pine Barrens Status

The proposal appears to constitute development activity pursuant to New York State Environmental Conservation Law (ECL) Article 57. Therefore, the proposal must conform to the standards for land use in Chapter 5 of the Central Pine Barrens Comprehensive Land Use Plan (the Plan). If the project does not conform, the application may be revised to conform or the applicant must apply for a CGA Hardship Waiver from the Commission, subject to review and decision.

No clearing of natural vegetation is proposed for the project. According to the project materials and proposed activity, the project will not adversely impact the natural ecosystem and habitats of endangered species as supported by information including:

- NYSDEC letter of non-jurisdiction dated September 14, 2023 indicating the project is more than 100 feet from the mapped and regulated freshwater wetland habitat.
- No trees will be removed therefore no adverse impacts will occur to the Endangered Northern Long-eared Bat and its habitat.
- The Project maintains a minimum of 50% of the upland habitat within 1,000 feet of the habitat of an Endangered amphibian species. No incidental take permit is required to protect endangered species and its habitat.

One of the goals of the Act is to protect the pine barrens ecosystem. Plan Section 5.3.3.7, Protection and conservation of species and communities, discusses that the pine barrens ecosystem hosts several species of rare, endangered or threatened animals, and species of special concern. This includes avian wildlife such as ospreys that may be attached to nest on the tower. If possible, although not required, consider construction of a pole and platform to accommodate nesting habitat not on the cell tower infrastructure.

The project appears to conform with the applicable standards of the Plan. No further review from this office is required. If any activity related to the proposal changes, please notify this office and forward the updated information for Commission review prior to implementation.

The proposal must conform to all other involved agency jurisdictions and permit requirements in effect on the project site. Thank you for your attention, and if you have any questions, please do not hesitate to contact me at (631) 218-1192.

Sincerely,

Julie Hargrave
Interim Executive Director

cc: John C. Milazzo, Commission Counsel

Hargrave, Julie

From: Eric Helman <ehelman@amatofirm.com>
Sent: Tuesday, April 14, 2026 10:26 AM
To: Hargrave, Julie
Subject: RE: Verizon at County STP response (2195 William Floyd Pkwy, Ridge, NY)
Attachments: Commission Review Letter 5-21-25.pdf; Response Ltr to Pine Barrens 4-14-26.pdf; Revised EAF 4-13-26.pdf; Revised Construction Drawings 4-1-26.pdf; BP App Submission Ltr to County 2-6-19.pdf

CAUTION: This email originated from outside of SCWA. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good morning Julie,

In connection with the above-referenced project, attached are the following materials for the Commission's review:

1. Copy of the Commission's May, 21, 2025 review letter;
2. Letter from Verizon Wireless with itemized responses to the Commission's May, 21, 2025 review letter;
3. Revised full environmental assessment form;
4. Revised construction drawings; and
5. Copy of Verizon Wireless' building permit application submission letter to the Suffolk County Department of Public Works.

The purpose of this submission is to provide responses to all comments in the Commission's May, 21, 2025 review letter. As noted in the enclosed materials, the project scope of work no longer involves the removal of any trees from the subject property.

Please let me know if hard copies of the attached materials should also be forwarded to your attention.

Please feel free to reach out with any questions or comments.

Thank you,

Eric

Eric J. Helman, Esq.



666 Old Country Road, Suite 901
Garden City, NY 11530

O. (516) 227-6363 x238

C. (516) 343-4666

F. (516) 227-6367

E. ehelman@amatofirm.com

www.amatolawgroup.com

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From: Hargrave, Julie <Julie.Hargrave@SCWA.com>

Sent: Wednesday, May 21, 2025 5:28 PM

To: Eric Helman <ehelman@amatofirm.com>

Subject: Verizon at County STP response

Dear Eric

Attached please find the letter authorized by the Commission today

Thank you

Julie Hargrave

631-218-1192

April 14, 2026

VIA ELECTRONIC MAIL

Central Pine Barrens Joint Planning & Policy Commission
624 Old Riverhead Road
Westhampton Beach, New York 11978
Attn.: Julie Hargrave, Policy and Planning Manager

Re: Demonstration of Conformance with the Standards and Guidelines for Land Use as set forth in the Central Pine Barrens Comprehensive Land Use Plan, Version of April 19, 2023 (the "Land Use Plan"), by New York SMSA Limited Partnership d/b/a Verizon Wireless ("Verizon Wireless") in connection with the proposed public utility wireless communications facility (the "Communications Facility") at 2195 William Floyd Parkway, Ridge, New York, as shown on the Suffolk County Tax Map as District 200, Section 242, Block 1, Lots 1.2 & 1.4 (the "Property")
NYSMSA Site Ref.: NY- Ridge 2 / Our File No.: 100-1694
Commission Site Ref.: Verizon Wireless at Suffolk County STP Property

Dear Ms. Hargrave:

In connection with the above-referenced matter, the following materials are transmitted herewith:

1. Copy of correspondence from the to the Central Pine Barrens Joint Planning & Policy Commission (the "Commission"), dated May 21, 2025 (the "Commission Review Letter");
2. Full Environmental Assessment Form, prepared by VHB Engineering, Surveying, Landscape Architecture and Geology, P.C., ("VHB"), last revised on April 13, 2026 (the "Revised EAF");
3. Construction drawings, prepared by APT Engineering, last revised on April 1, 2026 (the "Revised Drawings"); and
4. Copy of Verizon Wireless' building permit application submission letter to the Suffolk County Department of Public Works, dated February 6, 2019 (the "BP Application Submission Letter").

The purpose of this submission is to provide responses to all comments in the Commission Review Letter. Each comment is listed below followed by a response.

Comment 1: Please confirm the clearing limits are applied to the whole project site, not just the area occupied by the project.

Response: The Engineer of Record, APT Engineering, has confirmed that the clearing limits have been applied to the whole project site. Following the project completion, APT Engineering advised that 46% of the Property will have been cleared, and 54% will remain in its natural state. For additional information, please see Item E.1.b of the



Revised EAF, which provides the land uses and cover types for the whole project site both before and after project completion. It is also worth noting that the project scope of work no longer involves the removal of any trees. (The prior scope of work included the removal of three (3) trees along the fence line to the west of the Communications Facility area.)

Comment 2: Provide clearing data under existing conditions and the final amounts with the project including cleared and natural areas.

Response: Please see Item E.1.b of the Revised EAF, which provides the land uses and cover types for the whole project site both before and after project completion.

Comment 3: Confirm the project conforms with the A1 Residence zoning district limit of 53% limit, not the public corporation limit of 60%.

Response: As noted above, the Engineer of Record, APT Engineering, has confirmed that 46% of the Property will have been cleared following the project completion, and 54% will remain in its natural state.

Comment 4: The project site may be over cleared; more information is needed. In that case, no clearing may occur absent a hardship. Avoid cutting the three trees on the fence line. The trees are outside of the area of disturbance. Consider revising the project to utilize cleared areas such as shifting the fence to utilize a cleared area and avoid cutting trees.

Response: As noted above: (1) the project scope of work no longer involves the removal of any trees; (2) the Engineer of Record, APT Engineering, has confirmed that 46% of the Property will have been cleared following the project completion, and 54% will remain in its natural state; and (3) Item E.1.b of the Revised EAF provides the land uses and cover types for the whole project site both before and after project completion.

Comment 5: The changes and increases in the development activity are substantial enough to cause a new project. The structure height exceeds the tall structure limit and therefore if the project cannot be revised would require a hardship.

Response: Pursuant to § 5.3.3.11.1 of the Land Use Plan, the Tall Structure height limit of 75 feet does not apply to projects that are subject to local municipal review. This project is subject to local municipal review by the Suffolk County Department of Public Works (“SCDPW”). On February 6, 2019, Verizon Wireless filed a building permit application for this project with the SCDPW. Verizon Wireless is currently addressing application comments from the SCDPW’s wireless consultant. A copy of Verizon Wireless’ BP Application Submission Letter to the SCDPW is transmitted herewith for your reference. In light of the foregoing, Verizon Wireless respectfully asserts that § 5.3.3.11.1 of the Land Use Plan exempts this project from the Tall Structure height limit of 75 feet.



Comment 6: Coordinate review of the application with Suffolk County as the owner of the property and forward a copy of the County's decision and/or agreement.

Response: Verizon Wireless entered into a site license agreement with the County of Suffolk for this project. As indicated above, this project is currently under local municipal review by the SCDPW. Verizon Wireless will provide the Commission with a copy of the building permit for this project upon the issuance of same.

We respectfully submit that the proposed Communications Facility design conforms to the Standards and Guidelines for Land Use as set forth in Chapter 5 of the Land Use Plan. Accordingly, we respectfully request that the Commission issue a determination that Verizon Wireless' project conforms to the foregoing standards, and approve Verizon Wireless' proposal for its Communications Facility at the Property.

Upon your review of the foregoing, please feel free to contact me with any questions or comments.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Eric J. Helman', is written over the word 'Sincerely,'.

Eric J. Helman

Encls.

cc: Verizon Wireless (via email, w/out encls.)

SUFFOLK COUNTY
FULL ENVIRONMENTAL ASSESSMENT FORM
6 NYCRR Part 617
State Environmental Quality Review

Part 1 – Environment and Setting

Instructions: Part 1 is to be completed by the applicant or project sponsor. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information. If a question is not applicable to the proposed project indicate with “N/A”.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Sponsor Information

| |
|--|
| Name of Action/Project: |
| Project Location (specify Town, Village, Hamlet and attach general location map*): |
| Street Address: |
| Name of Property or Waterway: |

* Maps of Property and Project: Attach relevant available maps including a location map (note: use road map, Hagstrom Atlas, USGS topography map, tax map or equivalent) and preliminary site plans showing orientation, scale, buildings, roads, landmarks, drainage systems, area to be altered by project, etc.

Type of Project: New Expansion

Capital Program: Item # Date Adopted: Amount: \$

| |
|---|
| Brief Description of Proposed Action (include purpose or need/attach relevant design reports, plans, etc.): |
|---|

Project Status:

| | Start | Completion |
|----------------------|-------|------------|
| Proposal | | |
| Study | | |
| Preliminary Planning | | |
| Final Plans: Specs | | |
| Site Acquisition | | |
| Construction | | |
| Other | | |

Departments Involved:

Dept. Performing Design & Construction

Initiating Dept. (if different)

| | | |
|-----------------|--|--|
| Name: | | |
| Street/PO: | | |
| City, State: | | |
| Zip: | | |
| Contact Person: | | |
| Business Phone: | | |
| Email: | | |

B. Government Approvals, Funding or Sponsorship

("Funding" includes grants, loans, tax relief and any other forms of financial assistance)

| Government Entity | | | If "Yes": Identify Agency and Approval(s) Required | Application Date (Actual or Projected) |
|--|------------------------------|-----------------------------|--|--|
| <i>i.</i> City Council, Town Board or Village Board of Trustees | Yes <input type="checkbox"/> | No <input type="checkbox"/> | | |
| <i>ii.</i> City, Town or Village Planning Board or Commission | Yes <input type="checkbox"/> | No <input type="checkbox"/> | | |
| <i>iii.</i> City, Town or Village Zoning Board of Appeals | Yes <input type="checkbox"/> | No <input type="checkbox"/> | | |
| <i>iv.</i> Other local agencies | Yes <input type="checkbox"/> | No <input type="checkbox"/> | | |
| <i>v.</i> County agencies | Yes <input type="checkbox"/> | No <input type="checkbox"/> | | |
| <i>vi.</i> Regional agencies | Yes <input type="checkbox"/> | No <input type="checkbox"/> | | |
| <i>vii.</i> State agencies | Yes <input type="checkbox"/> | No <input type="checkbox"/> | | |
| <i>viii.</i> Federal agencies | Yes <input type="checkbox"/> | No <input type="checkbox"/> | | |
| <i>ix.</i> Coastal Resources Is the project site within a Coastal Area or the waterfront area of a Designated Inland Waterway? If YES, Is the project site located in a community with an approved Local Waterfront Revitalization Program? Is the project site within a Coastal Erosion Hazard Area? | | | Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> | Yes <input type="checkbox"/> No <input type="checkbox"/> |

C. Planning and Zoning

| | |
|--|--|
| C.1. Planning and Zoning Actions | |
| Will administrative or legislative adoption or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| C.2. Adopted Land Use Plans | |
| a. Do any municipally-adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? If Yes: Does the comprehensive plan include specific recommendations for the site where the proposed action would be located? Yes <input type="checkbox"/> No <input type="checkbox"/> | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| b. Is the site of the proposed action within any local or regional special planning district (i.e. Greenway Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; et. al)? If Yes, identify the plan(s): _____ | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? If Yes, identify the plan(s): _____ | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| C.3. Zoning | |
| a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance? If Yes, what is the zoning classification(s) including any applicable overlay district? _____ | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| b. Is the use permitted or allowed by a special or conditional use permit? | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| c. Is a zoning change requested as part of the proposed action? If Yes, what is the proposed new zoning for the site? _____ | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| C.4. Existing Community Services | |
| a. In what school district is the project site located? | |
| b. What police or other public protection forces serve the project site? | |
| c. Which fire protection and emergency medical services serve the project site? | |
| d. What parks serve the project site? | |

D. Project Details

| D.1. Proposed and Potential Development | | | | | | | |
|---|--|--|---|--|--|--|--|
| a. What is the general nature of the proposed action? (if mixed, include all components) Residential <input type="checkbox"/> ; Industrial <input type="checkbox"/> ; Commercial <input type="checkbox"/> ; Recreational <input type="checkbox"/> ; Other <input type="checkbox"/> : | | | | | | | |
| b. Total acreage of the site of the proposed action: | acres | | | | | | |
| c. Total acreage to be physically disturbed: | acres | | | | | | |
| d. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor: | acres | | | | | | |
| e. Is the proposed action an expansion of an existing project or use? If Yes , what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet, etc.)? <div style="border: 1px solid black; height: 20px; width: 100%; margin-top: 5px;"></div> | Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | |
| f. Is the proposed action a subdivision, or does it include a subdivision? If Yes: <i>i.</i> Purpose or type of subdivision? (if mixed, specify types) Residential <input type="checkbox"/> ; Industrial <input type="checkbox"/> ; Commercial <input type="checkbox"/> ; Recreational <input type="checkbox"/> ; Other <input type="checkbox"/> <i>ii.</i> <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <tr> <td style="padding: 2px;">Is a cluster/conservation layout proposed?</td> <td style="text-align: right; padding: 2px;">Yes <input type="checkbox"/> No <input type="checkbox"/></td> </tr> <tr> <td style="padding: 2px;">Number of lots proposed:</td> <td></td> </tr> <tr> <td style="padding: 2px;">Minimum and maximum proposed lot sizes:</td> <td></td> </tr> </table> | Is a cluster/conservation layout proposed? | Yes <input type="checkbox"/> No <input type="checkbox"/> | Number of lots proposed: | | Minimum and maximum proposed lot sizes: | | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| Is a cluster/conservation layout proposed? | Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | |
| Number of lots proposed: | | | | | | | |
| Minimum and maximum proposed lot sizes: | | | | | | | |
| g. Will proposed action be constructed in multiple phases? If No , What is the anticipated period of construction? <div style="border: 1px solid black; height: 20px; width: 100%; margin-top: 5px;"></div> If Yes: <table border="1" style="width: 100%; border-collapse: collapse; margin-top: 10px;"> <tr> <td style="padding: 2px;">Total number of phases anticipated:</td> </tr> <tr> <td style="padding: 2px;">Anticipated commencement date of phase I (including demolition):</td> </tr> <tr> <td style="padding: 2px;">Anticipated completion date of final phase:</td> </tr> <tr> <td style="padding: 2px;">Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases:</td> </tr> </table> | Total number of phases anticipated: | Anticipated commencement date of phase I (including demolition): | Anticipated completion date of final phase: | Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: | Yes <input type="checkbox"/> No <input type="checkbox"/> | | |
| Total number of phases anticipated: | | | | | | | |
| Anticipated commencement date of phase I (including demolition): | | | | | | | |
| Anticipated completion date of final phase: | | | | | | | |
| Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: | | | | | | | |

| <p>h. Does the project include new residential uses?</p> <p>If Yes, show number of units proposed.</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-left: 20px;"> <thead> <tr> <th style="width: 20%;"></th> <th style="width: 20%;">Single Family</th> <th style="width: 20%;">Two Family</th> <th style="width: 20%;">Three Family</th> <th style="width: 20%;">Multi-Family (4+)</th> </tr> </thead> <tbody> <tr> <td>Initial Phase</td> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td>At Completion</td> <td></td> <td></td> <td></td> <td></td> </tr> </tbody> </table> | | Single Family | Two Family | Three Family | Multi-Family (4+) | Initial Phase | | | | | At Completion | | | | | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> |
|--|--|--|---|--|---|---|---|--|--|--|---------------|--|--|--|--|---|
| | Single Family | Two Family | Three Family | Multi-Family (4+) | | | | | | | | | | | | |
| Initial Phase | | | | | | | | | | | | | | | | |
| At Completion | | | | | | | | | | | | | | | | |
| <p>i. Does the proposed action include new non-residential construction (including expansions)?</p> <p>If Yes:</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-left: 20px;"> <tr> <td style="padding: 2px;">Total Number of Structures:</td> </tr> <tr> <td style="padding: 2px;">Dimensions of largest proposed structure:</td> </tr> <tr> <td style="padding: 2px;">Approximate extent of building space to be heated or cooled:</td> </tr> </table> | Total Number of Structures: | Dimensions of largest proposed structure: | Approximate extent of building space to be heated or cooled: | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> | | | | | | | | | | | | |
| Total Number of Structures: | | | | | | | | | | | | | | | | |
| Dimensions of largest proposed structure: | | | | | | | | | | | | | | | | |
| Approximate extent of building space to be heated or cooled: | | | | | | | | | | | | | | | | |
| <p>j. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?</p> <p>If Yes:</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-left: 20px;"> <tr> <td style="padding: 2px;">Purpose of the impoundment:</td> </tr> <tr> <td style="padding: 2px;">If a water impoundment, the principal source of the water: Ground Water <input type="checkbox"/>; Surface Water Streams <input type="checkbox"/>; Other <input type="checkbox"/> (specify):</td> </tr> <tr> <td style="padding: 2px;">If other than water, identify the type of impounded/contained liquids and their source:</td> </tr> <tr> <td style="padding: 2px;">Approximate size of the proposed impoundment (include units): Volume: _____ Surface area: _____</td> </tr> <tr> <td style="padding: 2px;">Dimensions of the proposed dam or impounding structure:</td> </tr> <tr> <td style="padding: 2px;">Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock wood, concrete):</td> </tr> </table> | Purpose of the impoundment: | If a water impoundment, the principal source of the water: Ground Water <input type="checkbox"/> ; Surface Water Streams <input type="checkbox"/> ; Other <input type="checkbox"/> (specify): | If other than water, identify the type of impounded/contained liquids and their source: | Approximate size of the proposed impoundment (include units): Volume: _____ Surface area: _____ | Dimensions of the proposed dam or impounding structure: | Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock wood, concrete): | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> | | | | | | | | | |
| Purpose of the impoundment: | | | | | | | | | | | | | | | | |
| If a water impoundment, the principal source of the water: Ground Water <input type="checkbox"/> ; Surface Water Streams <input type="checkbox"/> ; Other <input type="checkbox"/> (specify): | | | | | | | | | | | | | | | | |
| If other than water, identify the type of impounded/contained liquids and their source: | | | | | | | | | | | | | | | | |
| Approximate size of the proposed impoundment (include units): Volume: _____ Surface area: _____ | | | | | | | | | | | | | | | | |
| Dimensions of the proposed dam or impounding structure: | | | | | | | | | | | | | | | | |
| Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock wood, concrete): | | | | | | | | | | | | | | | | |
| D.2. Project Operations | | | | | | | | | | | | | | | | |
| <p>a. Does the proposed action include any excavation, mining or dredging, during construction, operations or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)</p> <p>If Yes:</p> <table border="1" style="width: 100%; border-collapse: collapse; margin-left: 20px;"> <tr> <td style="padding: 2px;">What is the purpose of the excavation or dredging?</td> </tr> <tr> <td style="padding: 2px;">How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site? Volume: _____ Over what duration of time: _____</td> </tr> <tr> <td style="padding: 2px;">Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them:</td> </tr> </table> | What is the purpose of the excavation or dredging? | How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site? Volume: _____ Over what duration of time: _____ | Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them: | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> | | | | | | | | | | | | |
| What is the purpose of the excavation or dredging? | | | | | | | | | | | | | | | | |
| How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site? Volume: _____ Over what duration of time: _____ | | | | | | | | | | | | | | | | |
| Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them: | | | | | | | | | | | | | | | | |

D.2.a (cont.) – only answer following if checked “Yes” above

Will there be onsite dewatering or processing of excavated materials?

If Yes, describe:

What is the total area to be dredged or excavated?

What is the maximum area to be worked at any one time?

What would be the maximum depth of excavation or dredging?

Will the excavation require blasting?

Summarize site reclamation goals and plans:

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, water body, shoreline, beach or adjacent area?

If Yes:

Identify the wetland or water body which would be affected (by name, water index number, wetland map number or geographic description):

Describe how the proposed action would affect that water body or wetland, e.g. excavation, fill, placement of structures or creation of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

Will proposed action cause or result in disturbance to bottom sediments?

If Yes, describe:

Will proposed action cause or result in the destruction or removal of aquatic vegetation?

Yes No

If Yes:

Area of vegetation proposed to be removed:

Expected acreage of aquatic vegetation remaining after project completion:

Purpose of proposed removal (e.g., beach clearing, invasive control, boat access):

Proposed method of plant removal:

If chemical/herbicide treatment will be used, specify product(s):

Describe any proposed reclamation/mitigation following disturbance:

c. Will the proposed action use or create a new demand for water?

If Yes:

Total anticipated water usage/demand per day:

Will the proposed action obtain water from an existing public water supply?

If Yes:

Name of district/service area:

Does the existing public water supply have capacity to serve the proposal?

Yes No

Is the project site in the existing district?

Yes No

Is expansion of the district needed?

Yes No

Do existing lines serve the project site?

Yes No

Will line extension within an existing district be necessary to supply the project?

If Yes:

Describe extensions or capacity expansions proposed to serve this project:

Source(s) of supply for the district:

Yes No

Is a new water supply district or service area proposed to be formed to serve the project site?

If Yes:

Applicant/sponsor for new district:

Date application submitted or anticipated:

Proposed source(s) of supply for new district:

If a public water supply will not be used, describe plans to provide water supply for the project:

If water supply will be from wells (public or private), what will be the maximum pumping capacity?

d. Will the proposed action generate liquid wastes?

If Yes:

Total anticipated liquid waste generation per day:

Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each):

If sanitary wastewater identify proposed disinfection technology and treatment goals for the following:

- Disinfection technology:
- Nitrogen:
- Phosphorus:
- Total Suspended Solids (TSS):
- Biological Oxygen Demand (BOD):

Will the proposed action use any existing public wastewater treatment facilities?

If Yes:

Name of wastewater treatment plant to be used:

Name of district:

Does the existing wastewater treatment plant have capacity to serve the project?

Yes No

Is the project site in the existing district?

Yes No

Is expansion of the district needed?

Yes No

Do existing sewer lines serve the project site?

Yes No

Will line extension within an existing district be necessary to serve the project?

If Yes:

Describe extensions or capacity expansions proposed to serve this project:

Will a new wastewater (sewage) treatment district be formed to serve the project site?

If Yes:

Applicant/Sponsor for new district:

Date application submitted or anticipated:

What is the receiving water for the wastewater discharge?

If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge, or describe subsurface disposal plans):

Describe any plans or designs to capture, recycle or reuse liquid waste:

Yes No

| | | | | | | | |
|--|---|--|--|--|---|--|---|
| <p>e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?</p> <p>If Yes:</p> <table border="1"> <tr> <td data-bbox="155 302 1287 401"> How much impervious surface will the project create in relation to total size of project parcel? Area of Impervious Surface: Area of Parcel: </td> </tr> <tr> <td data-bbox="155 401 1287 470"> Describe types of new point sources: </td> </tr> <tr> <td data-bbox="155 470 1287 604"> Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? </td> </tr> <tr> <td data-bbox="155 604 1287 674"> If to surface waters, identify receiving water bodies or wetlands: </td> </tr> <tr> <td data-bbox="155 674 1287 743"> Will stormwater runoff flow to adjacent properties? Yes <input type="checkbox"/> No <input type="checkbox"/> </td> </tr> <tr> <td data-bbox="155 743 1287 877"> Does proposed plan minimize impervious surfaces use pervious materials or collect and re-use stormwater? Yes <input type="checkbox"/> No <input type="checkbox"/> </td> </tr> </table> | How much impervious surface will the project create in relation to total size of project parcel? Area of Impervious Surface: Area of Parcel: | Describe types of new point sources: | Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? | If to surface waters, identify receiving water bodies or wetlands: | Will stormwater runoff flow to adjacent properties? Yes <input type="checkbox"/> No <input type="checkbox"/> | Does proposed plan minimize impervious surfaces use pervious materials or collect and re-use stormwater? Yes <input type="checkbox"/> No <input type="checkbox"/> | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> |
| How much impervious surface will the project create in relation to total size of project parcel? Area of Impervious Surface: Area of Parcel: | | | | | | | |
| Describe types of new point sources: | | | | | | | |
| Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? | | | | | | | |
| If to surface waters, identify receiving water bodies or wetlands: | | | | | | | |
| Will stormwater runoff flow to adjacent properties? Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | |
| Does proposed plan minimize impervious surfaces use pervious materials or collect and re-use stormwater? Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | |
| <p>f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?</p> <p>If Yes, identify:</p> <table border="1"> <tr> <td data-bbox="155 1052 1287 1121"> Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles): </td> </tr> <tr> <td data-bbox="155 1121 1287 1190"> Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers): </td> </tr> <tr> <td data-bbox="155 1190 1287 1260"> Stationary sources during operations (e.g., process emissions, large boilers, electric generation): </td> </tr> </table> | Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles): | Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers): | Stationary sources during operations (e.g., process emissions, large boilers, electric generation): | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> | | | |
| Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles): | | | | | | | |
| Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers): | | | | | | | |
| Stationary sources during operations (e.g., process emissions, large boilers, electric generation): | | | | | | | |
| <p>g. Will any air emission sources named in D.2.f (above) require a NY State Air Registration, Air Facility Permit or Federal Clean Air Act Title IV or Title V Permit?</p> <p>If Yes:</p> <table border="1"> <tr> <td data-bbox="155 1430 1287 1528"> Is the project site located in an Air Quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes <input type="checkbox"/> No <input type="checkbox"/> </td> </tr> <tr> <td data-bbox="155 1528 1287 1766"> In addition to emissions as calculated in the application, the project will generate: <ul style="list-style-type: none"> - Tons/year (metric) of Carbon Dioxide (CO₂) - Tons/year (metric) of Nitrous Oxide (N₂O) - Tons/year (metric) of Perfluorocarbons (PFCs) - Tons/year (metric) of Sulfur Hexafluoride (SF₆) - Tons/year (metric) of Carbon Dioxide equivalent of Hydroflorocarbons (HFCS) - Tons/year (metric) of Hazardous Air Pollutants (HAPs) </td> </tr> </table> | Is the project site located in an Air Quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes <input type="checkbox"/> No <input type="checkbox"/> | In addition to emissions as calculated in the application, the project will generate: <ul style="list-style-type: none"> - Tons/year (metric) of Carbon Dioxide (CO₂) - Tons/year (metric) of Nitrous Oxide (N₂O) - Tons/year (metric) of Perfluorocarbons (PFCs) - Tons/year (metric) of Sulfur Hexafluoride (SF₆) - Tons/year (metric) of Carbon Dioxide equivalent of Hydroflorocarbons (HFCS) - Tons/year (metric) of Hazardous Air Pollutants (HAPs) | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> | | | | |
| Is the project site located in an Air Quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | |
| In addition to emissions as calculated in the application, the project will generate: <ul style="list-style-type: none"> - Tons/year (metric) of Carbon Dioxide (CO₂) - Tons/year (metric) of Nitrous Oxide (N₂O) - Tons/year (metric) of Perfluorocarbons (PFCs) - Tons/year (metric) of Sulfur Hexafluoride (SF₆) - Tons/year (metric) of Carbon Dioxide equivalent of Hydroflorocarbons (HFCS) - Tons/year (metric) of Hazardous Air Pollutants (HAPs) | | | | | | | |

| | | | | | | | | | | |
|--|---|--|---|---|--|---|--|--|---|--|
| <p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?</p> <p>If Yes:</p> <table border="1" style="width: 100%;"> <tr> <td>Estimate methane generation in tons/year (metric):</td> </tr> <tr> <td>Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring):</td> </tr> </table> | Estimate methane generation in tons/year (metric): | Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): | Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | |
| Estimate methane generation in tons/year (metric): | | | | | | | | | | |
| Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): | | | | | | | | | | |
| <p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes such as quarry or landfill operations?</p> <p>If Yes, describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust):</p> <table border="1" style="width: 100%; height: 20px;"> <tr> <td></td> </tr> </table> | | Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | | |
| | | | | | | | | | | |
| <p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?</p> <p>If Yes:</p> <table border="1" style="width: 100%;"> <tr> <td>When is the peak traffic expected? (check all that apply)</td> </tr> <tr> <td>Morning <input type="checkbox"/>; Evening <input type="checkbox"/>; Weekend <input type="checkbox"/>; Randomly <input type="checkbox"/> between the hours of _____ to _____</td> </tr> <tr> <td>For commercial activities only, projected number of semi-trailer truck trips/day:</td> </tr> <tr> <td>Parking spaces: Existing: _____ Proposed: _____ Net Increase/Decrease: _____</td> </tr> <tr> <td>Does the proposed action include any shared use parking? Yes <input type="checkbox"/> No <input type="checkbox"/></td> </tr> <tr> <td>If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe:</td> </tr> <tr> <td>Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes <input type="checkbox"/> No <input type="checkbox"/></td> </tr> <tr> <td>Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes <input type="checkbox"/> No <input type="checkbox"/></td> </tr> <tr> <td>Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes <input type="checkbox"/> No <input type="checkbox"/></td> </tr> </table> | When is the peak traffic expected? (check all that apply) | Morning <input type="checkbox"/> ; Evening <input type="checkbox"/> ; Weekend <input type="checkbox"/> ; Randomly <input type="checkbox"/> between the hours of _____ to _____ | For commercial activities only, projected number of semi-trailer truck trips/day: | Parking spaces: Existing: _____ Proposed: _____ Net Increase/Decrease: _____ | Does the proposed action include any shared use parking? Yes <input type="checkbox"/> No <input type="checkbox"/> | If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: | Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? Yes <input type="checkbox"/> No <input type="checkbox"/> | Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? Yes <input type="checkbox"/> No <input type="checkbox"/> | Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes <input type="checkbox"/> No <input type="checkbox"/> | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| When is the peak traffic expected? (check all that apply) | | | | | | | | | | |
| Morning <input type="checkbox"/> ; Evening <input type="checkbox"/> ; Weekend <input type="checkbox"/> ; Randomly <input type="checkbox"/> between the hours of _____ to _____ | | | | | | | | | | |
| For commercial activities only, projected number of semi-trailer truck trips/day: | | | | | | | | | | |
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| Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | | | | |
| <p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?</p> <p>If Yes:</p> <table border="1" style="width: 100%;"> <tr> <td>Estimate annual electricity demand during operation of the proposed action:</td> </tr> <tr> <td>Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility or other):</td> </tr> <tr> <td>Will the proposed action require a new, or an upgrade to, an existing substation? Yes <input type="checkbox"/> No <input type="checkbox"/></td> </tr> </table> | Estimate annual electricity demand during operation of the proposed action: | Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility or other): | Will the proposed action require a new, or an upgrade to, an existing substation? Yes <input type="checkbox"/> No <input type="checkbox"/> | Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | |
| Estimate annual electricity demand during operation of the proposed action: | | | | | | | | | | |
| Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility or other): | | | | | | | | | | |
| Will the proposed action require a new, or an upgrade to, an existing substation? Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | | | | |

| <p>l. Hours of operation (Answer all items which apply)</p> <table border="1" data-bbox="142 128 1287 304"> <thead> <tr> <th data-bbox="142 128 727 163">During Construction</th> <th data-bbox="727 128 1287 163">During Operations</th> </tr> </thead> <tbody> <tr> <td data-bbox="142 163 727 199">Monday-Friday:</td> <td data-bbox="727 163 1287 199">Monday-Friday:</td> </tr> <tr> <td data-bbox="142 199 727 235">Saturday:</td> <td data-bbox="727 199 1287 235">Saturday:</td> </tr> <tr> <td data-bbox="142 235 727 270">Sunday:</td> <td data-bbox="727 235 1287 270">Sunday:</td> </tr> <tr> <td data-bbox="142 270 727 304">Holidays:</td> <td data-bbox="727 270 1287 304">Holidays:</td> </tr> </tbody> </table> | During Construction | During Operations | Monday-Friday: | Monday-Friday: | Saturday: | Saturday: | Sunday: | Sunday: | Holidays: | Holidays: | N/A <input type="checkbox"/> |
|--|---|--|--|--|-----------|-----------|---------|---------|-----------|-----------|------------------------------|
| During Construction | During Operations | | | | | | | | | | |
| Monday-Friday: | Monday-Friday: | | | | | | | | | | |
| Saturday: | Saturday: | | | | | | | | | | |
| Sunday: | Sunday: | | | | | | | | | | |
| Holidays: | Holidays: | | | | | | | | | | |
| <p>m. Does the proposed action produce noise that will exceed existing ambient noise levels during construction, operation or both?</p> <p>If Yes:</p> <table border="1" data-bbox="142 472 1287 646"> <tr> <td data-bbox="142 472 1287 541">Provide details including sources, time of day and duration:</td> </tr> <tr> <td data-bbox="142 541 1287 646"> Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes <input type="checkbox"/> No <input type="checkbox"/> Describe: </td> </tr> </table> | Provide details including sources, time of day and duration: | Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes <input type="checkbox"/> No <input type="checkbox"/> Describe: | Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | | |
| Provide details including sources, time of day and duration: | | | | | | | | | | | |
| Will proposed action remove existing natural barriers that could act as a noise barrier or screen? Yes <input type="checkbox"/> No <input type="checkbox"/> Describe: | | | | | | | | | | | |
| <p>n. Will the proposed action have outdoor lighting?</p> <p>If Yes:</p> <table border="1" data-bbox="142 781 1287 919"> <tr> <td data-bbox="142 781 1287 850">Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</td> </tr> <tr> <td data-bbox="142 850 1287 919"> Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes <input type="checkbox"/> No <input type="checkbox"/> Describe: </td> </tr> </table> | Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: | Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes <input type="checkbox"/> No <input type="checkbox"/> Describe: | Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | | |
| Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures: | | | | | | | | | | | |
| Will proposed action remove existing natural barriers that could act as a light barrier or screen? Yes <input type="checkbox"/> No <input type="checkbox"/> Describe: | | | | | | | | | | | |
| <p>o. Does the proposed action have the potential to produce odors for more than one hour per day?</p> <p>If Yes:</p> <table border="1" data-bbox="142 1054 1287 1123"> <tr> <td data-bbox="142 1054 1287 1123">Describe possible sources, potential frequency and duration of odor emissions and proximity to nearest occupied structures:</td> </tr> </table> | Describe possible sources, potential frequency and duration of odor emissions and proximity to nearest occupied structures: | Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | | | |
| Describe possible sources, potential frequency and duration of odor emissions and proximity to nearest occupied structures: | | | | | | | | | | | |
| <p>p. Will the proposed action include any bulk storage of petroleum (over 1,100 gallons) or chemical products (over 550 gallons)?</p> <p>If Yes:</p> <table border="1" data-bbox="142 1291 1287 1501"> <tr> <td data-bbox="142 1291 1287 1360">Product(s) to be stored:</td> </tr> <tr> <td data-bbox="142 1360 1287 1430">Volume(s): per unit time: (e.g., month, year)</td> </tr> <tr> <td data-bbox="142 1430 1287 1501">Generally describe proposed storage facilities:</td> </tr> </table> | Product(s) to be stored: | Volume(s): per unit time: (e.g., month, year) | Generally describe proposed storage facilities: | Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | |
| Product(s) to be stored: | | | | | | | | | | | |
| Volume(s): per unit time: (e.g., month, year) | | | | | | | | | | | |
| Generally describe proposed storage facilities: | | | | | | | | | | | |
| <p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?</p> <p>If Yes:</p> <table border="1" data-bbox="142 1669 1287 1808"> <tr> <td data-bbox="142 1669 1287 1738">Describe proposed treatment(s):</td> </tr> <tr> <td data-bbox="142 1738 1287 1808"> Will the proposed action use Integrated Pest Management Practices? Yes <input type="checkbox"/> No <input type="checkbox"/> </td> </tr> </table> | Describe proposed treatment(s): | Will the proposed action use Integrated Pest Management Practices? Yes <input type="checkbox"/> No <input type="checkbox"/> | Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | | |
| Describe proposed treatment(s): | | | | | | | | | | | |
| Will the proposed action use Integrated Pest Management Practices? Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | | | | | |

| | | | | | | | | | | | | | | | | | | | |
|---|---|--|---|--|--|--|---|--|---------------|-------|------------|-------|---|--|---------------|-------|------------|-------|--|
| <p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?</p> <p>If Yes:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2">Describe any solid waste(s) to be generated during construction or operation of the facility:</td> </tr> <tr> <td style="width: 20%;">Construction:</td> <td>tons per _____ (unit of time)</td> </tr> <tr> <td>Operation:</td> <td>tons per _____ (unit of time)</td> </tr> </table> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2">Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</td> </tr> <tr> <td style="width: 20%;">Construction:</td> <td>_____</td> </tr> <tr> <td>Operation:</td> <td>_____</td> </tr> </table> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2">Proposed disposal methods/facilities for solid waste generated on-site:</td> </tr> <tr> <td style="width: 20%;">Construction:</td> <td>_____</td> </tr> <tr> <td>Operation:</td> <td>_____</td> </tr> </table> | Describe any solid waste(s) to be generated during construction or operation of the facility: | | Construction: | tons per _____ (unit of time) | Operation: | tons per _____ (unit of time) | Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste: | | Construction: | _____ | Operation: | _____ | Proposed disposal methods/facilities for solid waste generated on-site: | | Construction: | _____ | Operation: | _____ | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| Describe any solid waste(s) to be generated during construction or operation of the facility: | | | | | | | | | | | | | | | | | | | |
| Construction: | tons per _____ (unit of time) | | | | | | | | | | | | | | | | | | |
| Operation: | tons per _____ (unit of time) | | | | | | | | | | | | | | | | | | |
| Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste: | | | | | | | | | | | | | | | | | | | |
| Construction: | _____ | | | | | | | | | | | | | | | | | | |
| Operation: | _____ | | | | | | | | | | | | | | | | | | |
| Proposed disposal methods/facilities for solid waste generated on-site: | | | | | | | | | | | | | | | | | | | |
| Construction: | _____ | | | | | | | | | | | | | | | | | | |
| Operation: | _____ | | | | | | | | | | | | | | | | | | |
| <p>s. Does the proposed action include construction or modification of a solid waste management facility?</p> <p>If Yes:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill or other disposal activities):</td> </tr> <tr> <td>Anticipated rate of disposal/processing:</td> </tr> <tr> <td style="padding-left: 20px;">tons/month, if transfer or other non-combustion/thermal treatment, or</td> </tr> <tr> <td style="padding-left: 20px;">tons/hour, if combustion or thermal treatment</td> </tr> <tr> <td>If landfill, anticipated site life: _____ years</td> </tr> </table> | Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill or other disposal activities): | Anticipated rate of disposal/processing: | tons/month, if transfer or other non-combustion/thermal treatment, or | tons/hour, if combustion or thermal treatment | If landfill, anticipated site life: _____ years | Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | | | | | | | |
| Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill or other disposal activities): | | | | | | | | | | | | | | | | | | | |
| Anticipated rate of disposal/processing: | | | | | | | | | | | | | | | | | | | |
| tons/month, if transfer or other non-combustion/thermal treatment, or | | | | | | | | | | | | | | | | | | | |
| tons/hour, if combustion or thermal treatment | | | | | | | | | | | | | | | | | | | |
| If landfill, anticipated site life: _____ years | | | | | | | | | | | | | | | | | | | |
| <p>t. Will proposed action at the site involve the commercial generation, treatment, storage or disposal of hazardous waste?</p> <p>If Yes:</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td>Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility:</td> </tr> <tr> <td>Generally describe processes or activities involving hazardous wastes or constituents:</td> </tr> <tr> <td>Specify amount to be handled or generated: tons/month</td> </tr> <tr> <td>Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents:</td> </tr> <tr> <td>Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes <input type="checkbox"/> No <input type="checkbox"/></td> </tr> <tr> <td>If Yes: Provide name and location of facility: _____</td> </tr> <tr> <td>If No: Describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:</td> </tr> </table> | Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: | Generally describe processes or activities involving hazardous wastes or constituents: | Specify amount to be handled or generated: tons/month | Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: | Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes <input type="checkbox"/> No <input type="checkbox"/> | If Yes: Provide name and location of facility: _____ | If No: Describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: | Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | | | | | |
| Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: | | | | | | | | | | | | | | | | | | | |
| Generally describe processes or activities involving hazardous wastes or constituents: | | | | | | | | | | | | | | | | | | | |
| Specify amount to be handled or generated: tons/month | | | | | | | | | | | | | | | | | | | |
| Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: | | | | | | | | | | | | | | | | | | | |
| Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? Yes <input type="checkbox"/> No <input type="checkbox"/> | | | | | | | | | | | | | | | | | | | |
| If Yes: Provide name and location of facility: _____ | | | | | | | | | | | | | | | | | | | |
| If No: Describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: | | | | | | | | | | | | | | | | | | | |

| | |
|---|--|
| u. Will proposed action adhere to Leadership in Energy and Environmental Design (LEED) or any other green building principals? If Yes: <input style="width: 90%;" type="text" value="Describe proposed green building methods and attempted level of certification, if any:"/> | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| v. Does the project sponsor propose the use of energy benchmarking to monitor and adjust project energy needs? If Yes, explain: <input style="width: 90%;" type="text"/> | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| w. Will the proposed action use native plants for all landscaping needs? Identify species to be used and method of irrigation: <input style="width: 90%;" type="text"/> | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| x. Does the proposed action promote local tourism? If Yes, explain: <input style="width: 90%;" type="text"/> | Yes <input type="checkbox"/> No <input type="checkbox"/> |

E. Site and Setting of Proposed Action

| | | | |
|--|-----------------|----------------------------------|--------------------|
| E.1. Land Uses on and Surrounding the Project Site | | | |
| a. Existing land uses (Check all uses the occur on, adjoining and near the project site): (include map) Urban <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input type="checkbox"/> Residential <input type="checkbox"/> Rural <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other <input type="checkbox"/> Specify: | | | |
| If mix of uses, generally describe: | | | |
| b. Land uses and cover types on the project site: | | | |
| | | | |
| Land Use or Cover Type | Current Acreage | Acreage After Project Completion | Change (Acres +/-) |
| Roads, buildings and other paved or impervious surfaces | | | |
| Forested | | | |
| Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural) | | | |
| Agricultural (includes active orchards, fields, greenhouse, etc.) | | | |
| Surface water features (lakes, ponds, streams, rivers, etc.) | | | |
| Wetlands (freshwater or tidal) | | | |
| Non-Vegetated (bare rock, earth or fill) | | | |
| Other Describe: | | | |
| TOTAL: | | | |

| | |
|--|---|
| <p>c. Is the project site presently used by members of the community for public recreation?</p> <p>If Yes, explain:</p> <div style="border: 1px solid black; height: 30px; width: 100%;"></div> | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> |
| <p>d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers or group homes) within 1,500 feet of the project site?</p> <p>If Yes, identify facilities:</p> <div style="border: 1px solid black; height: 30px; width: 100%;"></div> | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> |
| <p>e. Does the project site contain an existing dam?</p> <p>If Yes:</p> <div style="border: 1px solid black; padding: 5px;"> <p>Dimensions of the dam and impoundment:</p> <ul style="list-style-type: none"> - Dam height: feet - Dam length: feet - Surface area: acres - Volume impounded: gallons or acre-feet </div> <div style="border: 1px solid black; padding: 5px; margin-top: 5px;"> <p>Dam's existing hazard classification:</p> </div> <div style="border: 1px solid black; padding: 5px; margin-top: 5px;"> <p>Provide date and summarize results of last inspection:</p> </div> | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> |
| <p>f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?</p> <p>If Yes:</p> <div style="border: 1px solid black; padding: 5px;"> <p>Has the facility been formally closed? Yes <input type="checkbox"/> No <input type="checkbox"/></p> <p>If Yes, cite sources/documentation:</p> </div> <div style="border: 1px solid black; padding: 5px; margin-top: 5px;"> <p>Describe the location of the project site relative to the boundaries of the solid waste management facility:</p> </div> <div style="border: 1px solid black; padding: 5px; margin-top: 5px;"> <p>Describe any development constraints due to the prior solid waste activities:</p> </div> | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> |
| <p>g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?</p> <p>If Yes:</p> <div style="border: 1px solid black; padding: 5px;"> <p>Describe waste(s) handled and waste management activities, including approximate time when activities occurred:</p> </div> | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> |

h. Has there been a reported contamination spill at the proposed project site or have any remedial actions been conducted at or adjacent to the proposed site?

If Yes:

Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? (Check all that apply)

Yes – Spills Incidents database Provide DEC ID number(s):

Yes – Environmental Site Remediation database Provide DEC ID number(s):

Neither database

If site has been subject to RCRA corrective activities, describe control measures:

Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? Yes No

If Yes:

DEC ID number(s):

Describe current status of site(s):

Yes No

E.1.h. (cont.) – only answer following if checked “Yes” above

Is the project site subject to an institutional control limiting property uses?

If Yes:

DEC site ID number(s):

Describe the type of institutional control (e.g., deed restriction or easement):

Describe any use limitations:

Describe any engineering controls:

Will the project affect the institutional or engineering controls in place? Yes No

Explain:

E.2. Natural Resources On or Near Project Site

a. What is the average depth to bedrock on the project site:
feet

b. Are there bedrock outcroppings on the project site?

If Yes:

What proportion of the site is comprised of bedrock outcroppings?
%

Yes No

c. Predominant soil type(s) present on project site: (include map)

| | |
|----|-----------|
| 1. | % of site |
| 2. | % of site |
| 3. | % of site |
| 4. | % of site |

| | | |
|---|--|-----------------|
| d. What is the average depth to the water table on the project site? | | |
| e. Drainage status of project site soils: | | |
| 1. <input type="checkbox"/> Well Drained | % of site | |
| 2. <input type="checkbox"/> Moderately Well Drained | % of site | |
| 3. <input type="checkbox"/> Poorly Drained | % of site | |
| f. Approximate proportion of proposed action site with slopes: (include topographic map) | | |
| 1. <input type="checkbox"/> 0-10% | % of site | |
| 2. <input type="checkbox"/> 11-15% | % of site | |
| 3. <input type="checkbox"/> 16% or greater | % of site | |
| g. Are there any unique geologic features on the project site? | Yes <input type="checkbox"/> No <input type="checkbox"/> | |
| If Yes, describe: <div style="border: 1px solid black; height: 30px; width: 100%; margin-top: 5px;"></div> | | |
| h. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)? | Yes <input type="checkbox"/> No <input type="checkbox"/> | |
| i. Do any wetlands or other waterbodies adjoin the project site? | Yes <input type="checkbox"/> No <input type="checkbox"/> | |
| If Yes to either E.2.h or E.2.i, continue. If No, skip to E.2.m | | |
| j. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency? (include map) | Yes <input type="checkbox"/> No <input type="checkbox"/> | |
| k. For each identified wetland and waterbody on the project site, provide the following information: | | |
| Streams: | Name: | Classification: |
| Lakes or Ponds: | Name: | Classification: |
| Wetlands: | Name: | Approx. Size: |
| Wetland No. (if regulated by DEC): | | |
| l. Are any of the above waterbodies listed in the most recent compilation of NYS water quality-impaired waterbodies? | Yes <input type="checkbox"/> No <input type="checkbox"/> | |
| If Yes, name of impaired water body/bodies and basis for listing as impaired: <div style="border: 1px solid black; height: 20px; width: 100%; margin-top: 5px;"></div> | | |
| m. Is the project site in a designated floodway? | Yes <input type="checkbox"/> No <input type="checkbox"/> | |
| n. Is the project site in the 100 year floodplain? | Yes <input type="checkbox"/> No <input type="checkbox"/> | |
| o. Is the project site in the 500 year floodplain? | Yes <input type="checkbox"/> No <input type="checkbox"/> | |
| p. Is the project site located over or immediately adjoining a primary, principal or sole source aquifer? | Yes <input type="checkbox"/> No <input type="checkbox"/> | |
| If Yes: <div style="border: 1px solid black; padding: 2px; margin-top: 5px;">Name of aquifer:</div> <div style="border: 1px solid black; padding: 2px; margin-top: 5px;">Source of information:</div> | | |

| | |
|--|--|
| q. Identify the predominant wildlife species that occupy or use the project site: | |
| | |
| | |
| r. Does the project site contain a designated significant natural community? | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| If Yes: Describe the habitat/community (composition, function and basis for designation): <hr/> Source(s) of description or evaluation: <hr/> Extent of community/habitat: - Currently: acres - Following completion of project as proposed: acres - Gain or loss (indicate + or -): acres | |
| s. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| If Yes: Species and listing (endangered or threatened): <hr/> Nature of use of site by the species (e.g., resident, seasonal, transient): <hr/> | |
| t. Does project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| If Yes: Species and listing: <hr/> Nature of use of site by the species (e.g., resident, seasonal, transient): <hr/> | |
| u. Is the project site or adjoining area currently used for hunting, trapping, fishing or shellfishing? | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| If Yes, give a brief description of how the proposed action may affect that use: <hr/> | |
| E.3. Designated Public Resources On or Near Project Site | |
| a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| If Yes, provide county plus district name/number: <hr/> | |
| b. Are agricultural lands consisting of highly productive soils present? | Yes <input type="checkbox"/> No <input type="checkbox"/> |
| If Yes: Acreage(s) on project site: <hr/> Source(s) of soil rating(s): <hr/> | |

| | |
|---|---|
| <p>c. Does the project site contain all or part of, or is it substantially contiguous to a registered National Natural Landmark?</p> <p>If Yes:</p> <p>Nature of the natural landmark: <input type="checkbox"/> Biological Community; <input type="checkbox"/> Geological Feature</p> <p>Provide brief description of landmark, including values behind designation and approximate size/extent:</p> | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> |
| <p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area, including Special Groundwater Protection Areas?</p> <p>If Yes:</p> <p>CEA name:</p> <p>Basis for designation:</p> <p>Designating agency and date:</p> | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> |
| <p>e. Does the project site contain, or is it substantially contiguous to, a building, archeological site, or district which is listed on, or has been nominated by the NYS Board of Historic Preservation for inclusion on the State or National Register of Historic Places?</p> <p>If Yes:</p> <p>Nature of historic/archaeological resource: <input type="checkbox"/> Archeological Site; <input type="checkbox"/> Historic Building or district</p> <p>Name:</p> <p>Brief description of attributes on which listing is based:</p> | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> |
| <p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?</p> | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> |
| <p>g. Have additional archaeological or historic site(s) or resources been identified on the project site?</p> <p>If Yes:</p> <p>Describe possible resource(s):</p> <p>Basis for identification:</p> | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> |
| <p>h. Would the project site be visible from any officially designated and publicly assessable federal, state or local scenic or aesthetic resource?</p> <p>If Yes:</p> <p>Identify resource:</p> <p>Nature of, or basis for designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.):</p> <p>Distance between project and resource:</p> | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> |
| <p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR Part 666?</p> <p>If Yes:</p> <p>Identify the name of the river and its designation:</p> <p>Is the activity consistent with development restrictions contained in 6 NYCRR Part 666? Yes <input type="checkbox"/> No <input type="checkbox"/></p> | <p>Yes <input type="checkbox"/> No <input type="checkbox"/></p> |

F. Additional Information

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name:

Date:

Signature: Christiana Kastalak

Title:

verizon

WEST NYACK, NEW YORK

WIRELESS SERVICES FACILITY PROJECT# 2011620082 "SEWER DISTRICT #20" 2195 WILLIAM FLOYD PARKWAY RIDGE, NY 11961

SITE INFORMATION

VZ SITE NAME: "RIDGE 2 (SD #20)"
VZ SITE PROJECT CODE: 2011620082

LOCATION CODE: 173177
LOCATION: 2195 WILLIAM FLOYD PARKWAY
RIDGE, NY 11961

SITE TYPE/DESCRIPTION: RAWLAND SITE W/ GROUND EQUIPMENT IN
1,650± SF TELECOMMUNICATIONS
COMPOUND W/ NEW 120± AGL MONOPOLE

GENERATOR INFORMATION: KOHLER
50KW LPG-POWERED GENERATOR

SITE OWNER: COUNTY OF SUFFOLK
100 VETERANS MEMORIAL PARKWAY
HAUPPAUGE, NY 11788

SITE CONTACT: MICHAEL JOHNSON (631) 853-8092

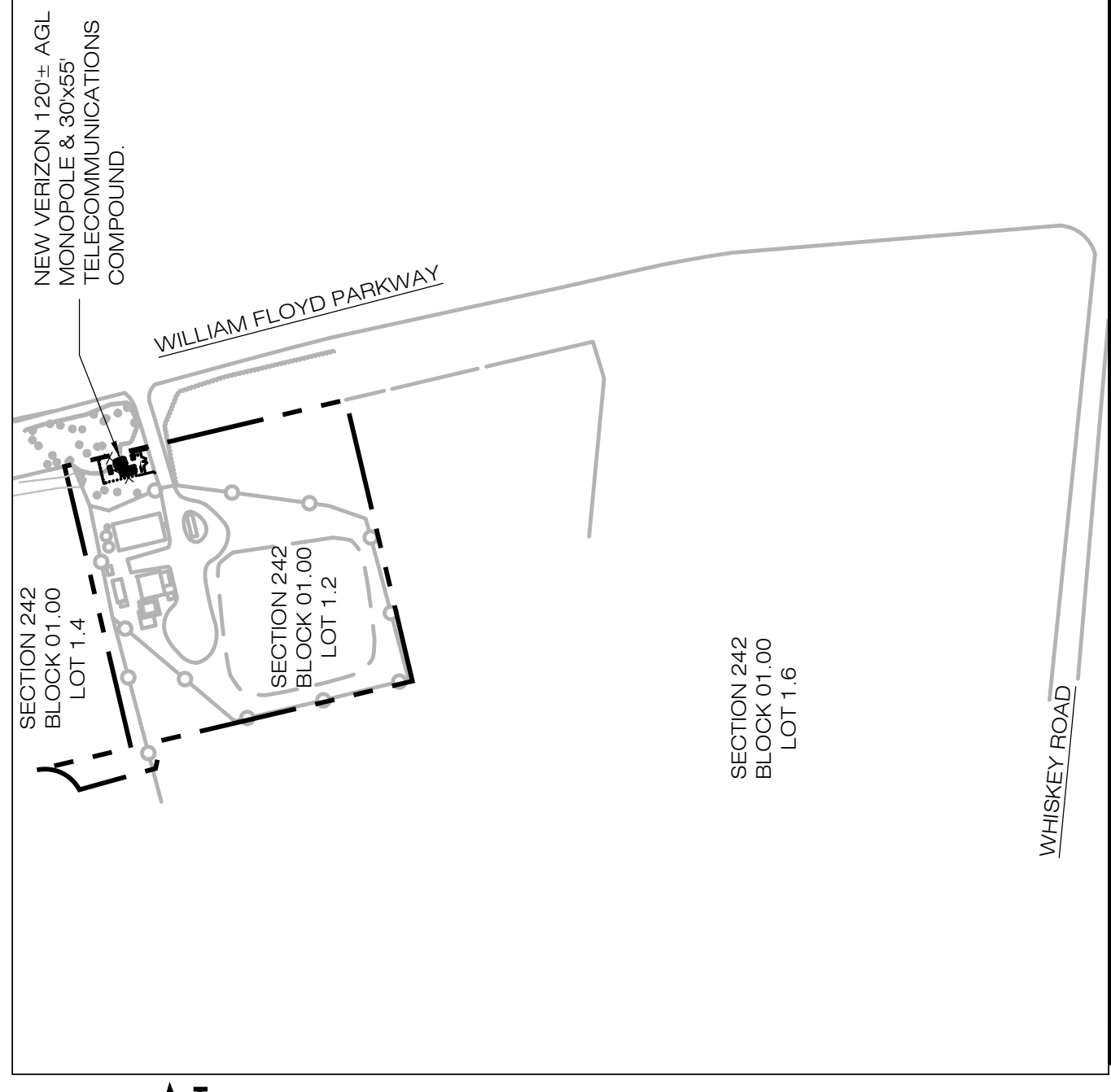
LEASING CONTACT: ROBERT MONTELEONE (516) 316-4626

ENGINEER CONTACT: ROBERT BURNS
(860) 552-2036

LATITUDE: 40° 54' 58.17" N
LONGITUDE: 72° 52' 51.08" W
ELEVATION: 86' AMSL

DISTRICT: 200
SECTION: 242
BLOCK: 01.00
LOT: 1.2

ZONING JURISDICTION: SUFFOLK COUNTY, NY
ZONING DISTRICT: WASTE HANDLING/MGMT



LIST OF DRAWINGS

T-1 TITLE SHEET & INDEX

CR-1 - CR-4 SUFFOLK COUNTY BUILDING CODE REVIEW
1 OF 1 SURVEY OF PROPERTY AT RIDGE

SP-1 SITE PLAN

SP-2 PARTIAL SITE PLAN

A-1 COMPOUND PLAN & TOWER ELEVATION

EC-1 EROSION CONTROL NOTES

C-1 EQUIPMENT AREA PLAN & DETAILS

C-2 ANTENNA PLAN & DETAILS

C-3 SITE DETAILS

M-1 MECHANICAL PLAN & DETAILS

S-1 STRUCTURAL PLAN & DETAILS

E-1 ELECTRICAL RISER & DETAILS

E-2 ELECTRICAL PLAN, ONE LINE DIAGRAM & DETAILS

E-3 GROUNDING PLANS

E-4 GROUNDING DETAILS

N-1 NOTES & SPECIFICATIONS

TOWER & TOWER FOUNDATION DRAWINGS
PREPARED BY: VALMONT STRUCTURES,
(ATTACHED HERETO AT END OF THE CD SET)

APPLICANT:

VERIZON
4 CENTEROCK ROAD,
WEST NYACK, NY 10994

VERIZON PROJECT ATTORNEY:

AMATO LAW GROUP, PLLC
666 OLD COUNTRY ROAD
SUITE 901
GARDEN CITY, NY 11530
(516) 227-6363

POWER PROVIDER:

PSEG LI: (800) 490-0025

TELCO PROVIDER:

VERIZON (914) 890-0200

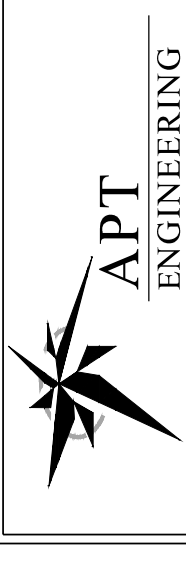
DIG SAFELY NEW YORK:

(800) 962-7962

GOVERNING CODES:

2025 BUILDING & UNIFORM CODE OF NEW YORK
NATIONAL ELECTRIC CODE
TIA-222-I

verizon
4 CENTEROCK ROAD
WEST NYACK, NY 10994



567 MADRILL STREET EXTENSION, SUITE 214
WATERFORD, CT 06385 PH: (860) 463-1887
WWW.ALLPOINTSTECH.COM FAX: (860) 463-0935

| NO. | DATE | REVISION |
|-----|----------|-----------------------|
| 0 | 06/10/20 | FOR REVIEW: RCB |
| 1 | 01/14/21 | REV. GENERATOR: RCB |
| 2 | 10/10/24 | COUNTY REVISIONS: RCB |
| 3 | 11/25/24 | ENV. COMMENTS: RCB |
| 4 | 12/03/24 | ENV. COMMENTS: RCB |
| 5 | 05/14/25 | COUNTY COMMENTS: RCB |
| 6 | 04/01/26 | CLIENT REVISIONS: RCB |

CONSTRUCTION DOCUMENTS

DESIGN PROFESSIONALS OF RECORD

PROF. SCOTT M. CHASSE P.E.
COMP. APT ENGINEERING
ADD: 567 VANDERHALL STREET
EXTENSION - SUITE 211
WATERFORD, CT 06385

OWNER: SUFFOLK COUNTY
100 VETERANS MEMORIAL PKWY
HAUPPAUGE, NY 11788

NOTE:
IT IS A VIOLATION OF NEW YORK STATE
EDUCATION LAW ARTICLE 148, SECTION
7209 (2) FOR ANY PERSON, UNLESS
ACTING UNDER THE DIRECTION OF A
LICENSED PROFESSIONAL ENGINEER OR
LAND SURVEYOR, TO SEAL OR AFFIX HIS
ANY WAY, IF AFTER BEARING THE SEAL
OF AN ENGINEER OR LAND SURVEYOR IS
ALTERED, THE ALTERING ENGINEER OR
LAND SURVEYOR SHALL AFFIX TO THE
ITEM HIS SEAL AND THE NOTATION
"ALTERED BY [NAME] ON [DATE] OF SUCH
SIGNATURE AND THE DATE OF SUCH
ALTERATION AND A SPECIFIC
DESCRIPTION OF THE ALTERATION."

VERIZON AT

"SEWER DISTRICT #20"

SITE: 2195 WILLIAM FLOYD PARKWAY

ADDRESS: RIDGE, NY

APT FILING NUMBER: NY141N81610

VZ FUZE ID: 19803989

LOCATION CODE:

VZ CM: 02

DATE: 06/10/20

DRAWN BY: GSHELZ

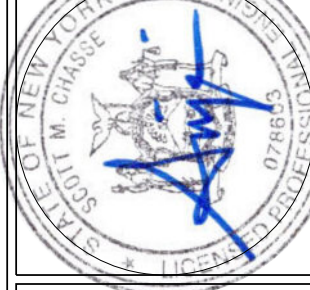
CHECKED BY: RCB

SHEET TITLE:

TITLE SHEET
& INDEX

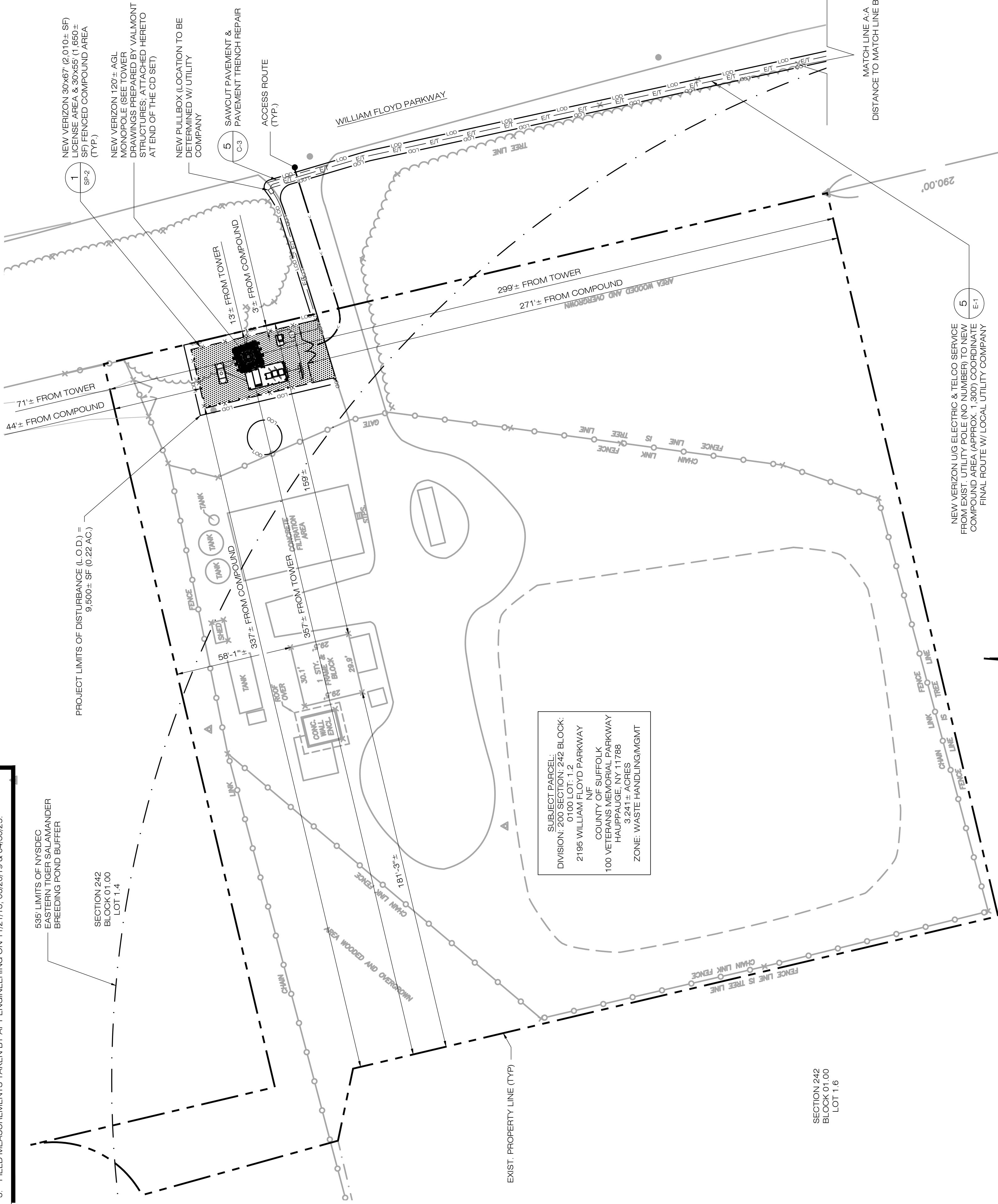
SHEET NUMBER:

T-1



MAP REFERENCES:
 1. "SURVEY OF PROPERTY AT RIDGE, SUFFOLK COUNTY, NEW YORK", SHEET 1 OF 1, PREPARED BY CARMAN/DUNNE P.C. CONSULTING ENGINEERS & SURVEYORS, 2 LAKEVIEW AVENUE, LYNBROOK, NEW YORK, 11563, DATED OCTOBER 22, 2014; REVISED: 5/15/2020.
 2. "SUFFOLK COUNTY GIS VIEWER", DEPARTMENT OF INFORMATION TECHNOLOGY, SUFFOLK COUNTY, NEW YORK, TAX MAP NUMBER: 020024200100001002.
 3. FIELD MEASUREMENTS TAKEN BY APT ENGINEERING ON 11/27/13, 03/20/19 & 04/30/25.

535' LIMITS OF NYSDEC EASTERN TIGER SALAMANDER BREEDING POND BUFFER
 SECTION 242 BLOCK 01.00 LOT 1.4



SUBJECT PARCEL:
 DIVISION: 200 SECTION: 242 BLOCK:
 0100 LOT: 1.2
 2195 WILLIAM FLOYD PARKWAY
 COUNTY OF SUFFOLK
 100 VETERANS MEMORIAL PARKWAY
 HAUPPAUGE, NY 11788
 3.241± ACRES
 ZONE: WASTE HANDLING/MGMT

APPLICABLE BUILDING CODES AND STANDARDS:

CONTRACTORS WORK SHALL COMPLY WITH ALL APPLICABLE NATIONAL, STATE, AND LOCAL CODES AS ADOPTED BY THE LOCAL AUTHORITY HAVING JURISDICTION (A.H.J.) FOR THE LOCATION. THE EDITION OF THE A.H.J. ADOPTED CODES AND STANDARDS IN EFFECT ON THE DATE OF THE CONTRACT AWARD SHALL GOVERN THE DESIGN.

2025 BUILDING & UNIFORM CODE OF NEW YORK
 2025 FIRE CODE OF NEW YORK STATE
 2025 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE
 2025 MECHANICAL CODE OF NEW YORK STATE
 2025 PLUMBING CODE OF NEW YORK STATE
 2025 NATIONAL ELECTRICAL CODE (NFPA 70E)
 2024 LIQUIDATED PETROLEUM GAS CODE (NFPA 58)

THE SUBJECT DESIGN/DRAWINGS ARE IN COMPLIANCE WITH THE 2025 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE.

CONTRACTORS WORK SHALL COMPLY WITH THE LATEST APPROVED EDITION OF THE STANDARDS REFERENCED IN ABOVE CODES.

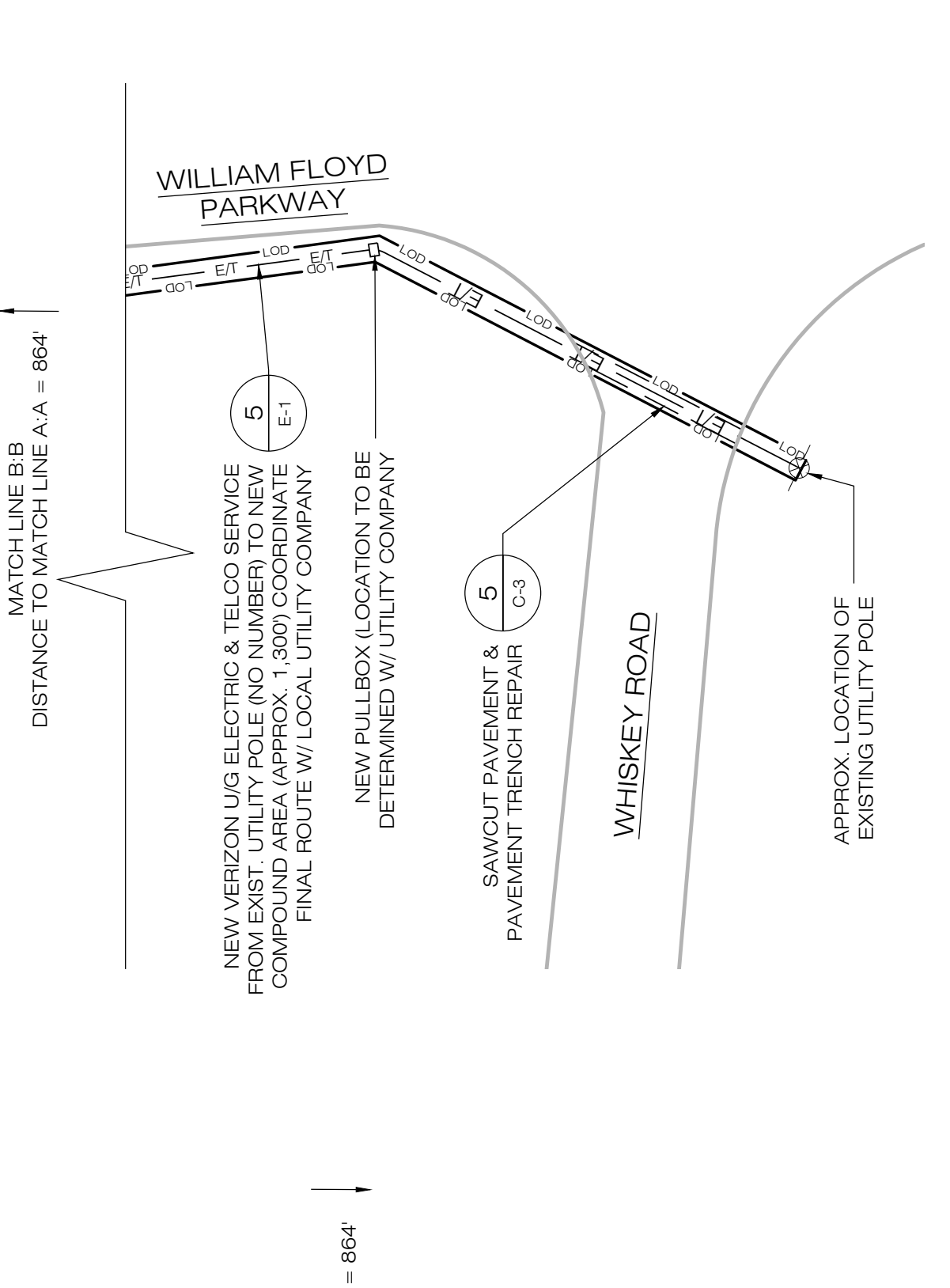
AMERICAN CONCRETE INSTITUTE (ACI-318), BUILDING CODE REQUIREMENT FOR STRUCTURAL CONCRETE;
 AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC-360), MANUAL OF STEEL CONSTRUCTION, 16TH EDITION;
 TELECOMMUNICATIONS INDUSTRY ASSOCIATION (TIA) 222-1, STRUCTURAL STANDARD FOR ANTENNA SUPPORTING STRUCTURES AND ANTENNAS;
 TIA 607, COMMERCIAL BUILDING GROUNDING AND BONDING REQUIREMENTS FOR TELECOMMUNICATIONS.
 IEEE 1100 (1999) RECOMMENDED PRACTICE FOR POWERING & GROUNDING OF ELECTRONIC EQUIPMENT
 IEEE 682.41, RECOMMENDED PRACTICES ON SURGE VOLTAGES IN LOW VOLTAGE AC POWER CIRCUITS (FOR LOCATION CATEGORY C3 AND HIGH SYSTEM EXPOSURE);
 MOTOROLA GR-1275 GENERAL INSTALLATION REQUIREMENTS
 TELECORDIA GR-1503 COAXIAL CABLE CONNECTIONS
 ANSII T1.311, FOR TELECOM: DC POWER SYSTEMS - TELECOM, ENVIRONMENTAL PROTECTION

SPECIAL INSPECTIONS (SSI) AVAILABLE UNDER SEPARATE COVER, CASE FORM 101:

CAST-IN-PLACE CONCRETE - 2025 BONVS, TABLE 1705.3
 REINFORCEMENT: INSPECT SIZE, SPACING, COVER, POSITIONING, BAR LAPS/SPLICES AND GRADE OF REINFORCEMENT
 ANCHORS CAST IN CONC.: INSPECT SIZE, POSITIONING, EMBEDMENT AND CONCRETE PLACEMENT AROUND OR BOLSTERS
 ANCHORS HARDENED CONC.: VERIFY ANCHORS INSTALL COMPLY WITH DRAWINGS, INCLUDING SIZE, EMBEDMENT & CONDITIONS
 CONCRETE MIX: REVIEW CONCRETE BATCH TICKETS & VERIFY COMPLIANCE WITH APPROVED MIX DESIGN. VERIFY THAT WATER ADDED AT THE SITE DOES NOT EXCEED THAT ALLOWED BY MIX DESIGN.
 CONCRETE TESTING: TEST CONCRETE COMPRESSIVE STRENGTH (ASTM C31 & C89), SLUMP (ASTM C143), AND TEMPERATURE (ASTM C1064) AT THE TIME OF POURING AND AT THE TIME OF CURING.
 CONCRETE PLACEMENT: CONTINUOUSLY VERIFY CONCRETE IS PROPERLY CONSOLIDATED.
 CURING: INSPECT CURING, COLD WEATHER PROTECTION AND HOT WEATHER PROTECTION PROCEDURES.

STRUCTURAL STEEL - AISC 360-10 CHAPTER 10
 FAB. CERT. / COI PROCEDURES: REVIEW SHOP FABRICATION AND QUALITY CONTROL PROCEDURES.
 MATERIAL CERTIFICATION: REVIEW CERTIFIED MILL TEST REPORTS AND IDENTIFICATION MARKINGS ON WIDE-FLANGE SHAPES, HIGH-STRENGTH BOLTS, NUTS AND WELDING ELECTRODES.
 BOLTING: VERIFY ALL BOLTS ARE PROPERLY TIGHTENED TO THE CORRECT TORQUE THAT SPRINGS H.A. SEPARATED FROM THE BOLTS. VERIFY PROPER TIGHTENING SEQUENCE. CONTINUOUS INSPECTION OF BOLTS IN SLIP-CRITICAL CONNECTIONS.
 STRUCTURAL DETAILS: INSPECT STEEL FRAME FOR COMPLIANCE WITH STRUCTURAL DRAWINGS, INCLUDING BRACING, MEMBER CONFIGURATION AND CONNECTION DETAILS.
 TOWER ERECTION: INSPECT SLIP JOINT POLES, LAP LENGTHS, JACKING SEQUENCE, SAFETY CLIMB ACCESSORIES, ETC. ARE PERFORMED IN CONFORMANCE WITH TOWER MANUFACTURER.
 GROUNDING/BONDING: VERIFY GROUND/BONDING INSTALLATION

NOTES:
 1. PURSUANT TO THE NYSDEC'S SEPTEMBER 14, 2023 LETTER OF NO JURISDICTION/NO PERMIT NECESSARY DETERMINATION TO AVOID INCIDENTAL TAKE OF NORTHERN LONG-EARED BAT, TREE CLEARING FOR THE PROJECT IS PROHIBITED BETWEEN SEPTEMBER 1 AND JULY 31 OF CALLED/NOTED PERMIT NECESSARY PERIODS TO AVOID INCIDENTAL TAKE OF NORTHERN LONG-EARED BAT. PERMIT NECESSARY FOR TREE REMOVAL AND CLEARING.
 2. DETERMINATION TO AVOID INCIDENTAL TAKE OF EASTERN TIGER SALAMANDER, CLEARING, GRADING OR GROUND DISTURBANCE IS PROHIBITED WITHIN 535 FEET OF EASTERN TIGER SALAMANDER BREEDING POND BUFFER SHOWN ON SHEETS SP-1 AND SP-2.



| NO. | DATE | REVISION |
|-----|----------|-----------------------|
| 0 | 06/10/20 | FOR REVIEW: RCB |
| 1 | 01/14/21 | REV. GENERATOR: RCB |
| 2 | 10/10/24 | COUNTY REVISIONS: RCB |
| 3 | 11/25/24 | ENV. COMMENTS: RCB |
| 4 | 12/03/24 | ENV. COMMENTS: RCB |
| 5 | 05/14/25 | COUNTY COMMENTS: RCB |
| 6 | 04/01/26 | CLIENT REVISIONS: RCB |

DESIGN PROFESSIONALS OF RECORD
 PROF. SCOTT M. CHASSE P.E.
 COMP. APT ENGINEERING
 ADDR: 567 VAUXHALL STREET
 EXTENSION - SUITE 214
 WATERFORD, CT 06585
 OWNER: SUFFOLK COUNTY
 ADDRESS: VETERANS MEMORIAL PKWY
 HAUPPAUGE, NY 11788

NOTE:
 IT IS A VIOLATION OF NEW YORK STATE EDUCATION LAW ARTICLE 145, SECTION 7209 (2) FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER OR ANY WAY, IF ANY ITEM BEARING THE SEAL OF AN ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY [NAME], [DATE]". THE SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

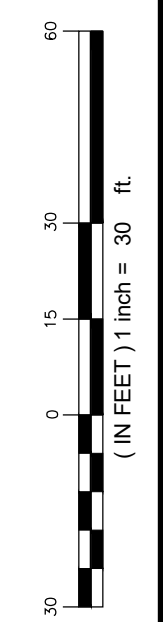
"SEWER DISTRICT #20"
 SITE: 2195 WILLIAM FLOYD PARKWAY
 ADDRESS: RIDGE, NY
 APT FILING NUMBER: NY141N81610
 VZ FUZE ID: 19803989
 LOCATION CODE:
 VZ CM: 02 | DRAWN BY: GSHELZ
 DATE: 06/10/20 | CHECKED BY: RCB

SHEET TITLE: **SITE PLAN**

SHEET NUMBER: **SP-1**

NOTE: CONTRACTOR TO HAVE A GPR SURVEY PERFORMED AND ALL UNDERGROUND UTILITIES & STRUCTURES MARKED OUT PRIOR TO CONSTRUCTION.

1 SITE PLAN
 SP-1 SCALE: 1" = 30'-0"



NOTE:
 * CONTRACTOR TO VERIFY IN FIELD. STAKEOUT
 TO BE PERFORMED BY LICENSED SURVEYOR
 RETAINED BY THE CONTRACTOR PRIOR TO
 CONSTRUCTION COMMENCING.

verizon
 4 CENTERCROK ROAD
 WEST NYACK, NY 10994



567 HANNAH STREET EXTENSION, SUITE 214
 WATERFORD, CT 06385 PH: (860) 463-1887
 WWW.ALLPOINTSTECH.COM FAX: (860) 463-0935

| NO. | DATE | REVISION |
|-----|----------|-----------------------|
| 0 | 06/10/20 | FOR REVIEW: RCB |
| 1 | 01/14/21 | REV. GENERATOR: RCB |
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| 5 | 05/14/25 | COUNTY COMMENTS: RCB |
| 6 | 04/01/26 | CLIENT REVISIONS: RCB |

| CONSTRUCTION DOCUMENTS | |
|------------------------|----------|
| NO. | DATE |
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| 1 | 01/14/21 |
| 2 | 10/10/24 |
| 3 | 11/25/24 |
| 4 | 12/03/24 |
| 5 | 05/14/25 |
| 6 | 04/01/26 |

DESIGN PROFESSIONALS OF RECORD

PROF. SCOTT M. CHASSE P.E.
 COMP. APT ENGINEERING
 ADD: 567 VAUXHALL STREET
 EXTENSION - SUITE 211
 WATERFORD, CT 06385

OWNER: VERIZON
 ADDRESS: 2185 WILLIAM FLOYD PARKWAY
 RIDGE, NY

NOTE:
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 EDUCATION LAW ARTICLE 145, SECTION
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 ANY WAY, IF AN ITEM BEARING THE SEAL
 OF AN ENGINEER OR LAND SURVEYOR IS
 ALTERED, THE ALTERING ENGINEER OR
 LAND SURVEYOR SHALL AFFIX TO THE
 ITEM HIS SEAL AND THE NOTATION
 "ALTERED BY [NAME], [DATE] OF SUCH
 SIGNATURE AND THE DATE OF SUCH
 ALTERATION AND A SPECIFIC
 DESCRIPTION OF THE ALTERATION.

"SEWER DISTRICT #20"

SITE: 2185 WILLIAM FLOYD PARKWAY
 ADDRESS: RIDGE, NY

APT FILING NUMBER: NY141NB1610

VZ FUZE ID: 19893989

LOCATION CODE:

VZ CM: 02

DATE: 06/10/20

DRAWN BY: GSHELZ

CHECKED BY: RCB

SHEET TITLE:

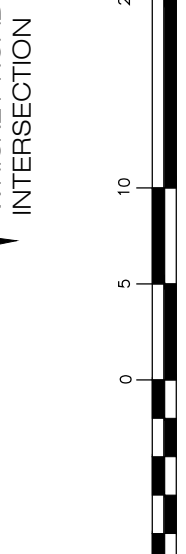
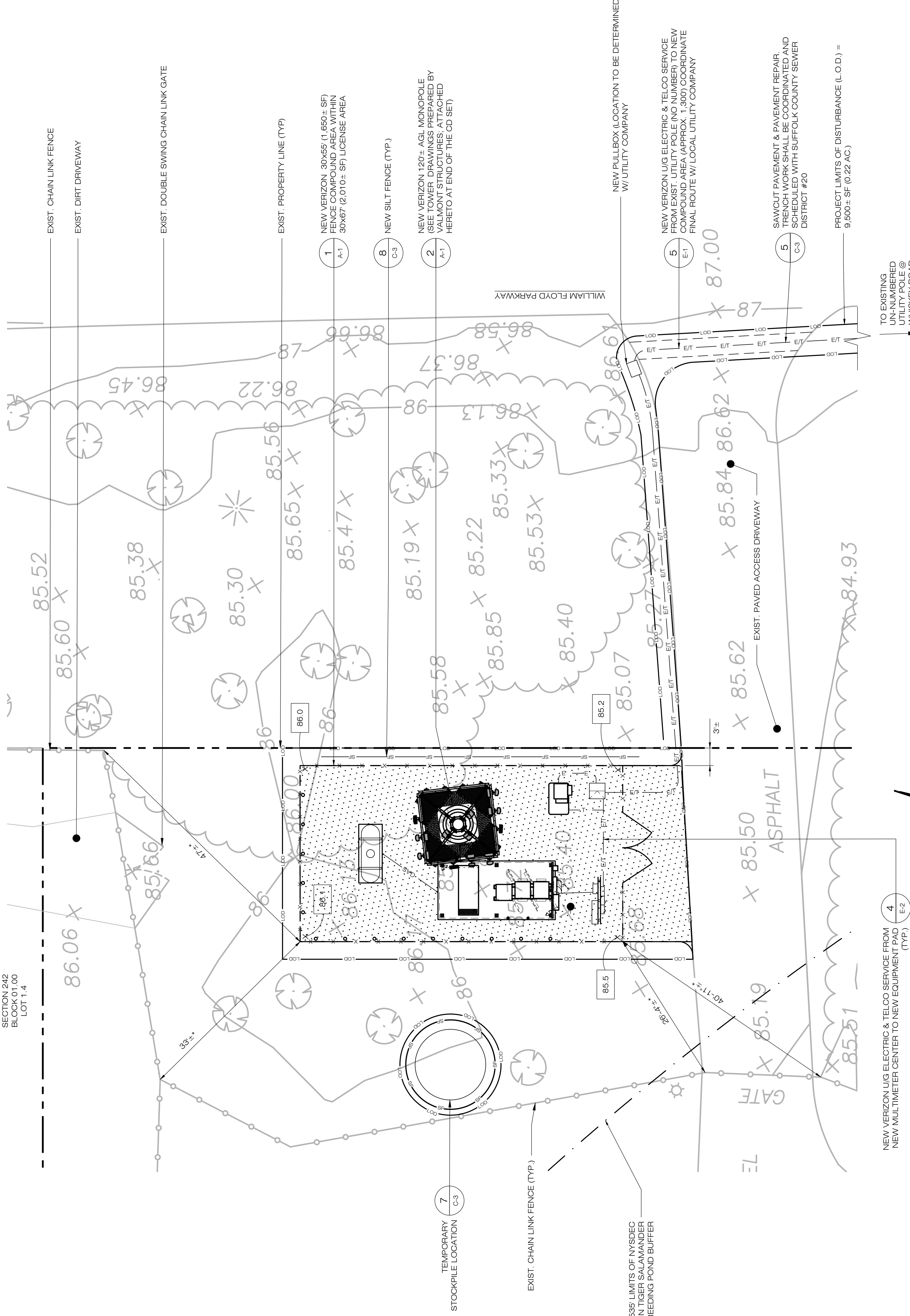
PARTIAL SITE PLAN

SHEET NUMBER:

SP-2



SECTION 242
 BLOCK 1100
 LOT 114



1 PARTIAL SITE PLAN
 SP-2 SCALE: 1" = 10'-0"

NOTES:
 1. PURSUANT TO THE NYSDEC'S SEPTEMBER 14, 2023 LETTER OF NO JURISDICTION AND PERMIT NECESSARY DETERMINATION TO AVOID INCIDENTAL TAKE OF NORTHERN LONG-EARED BAT, TREE CLEARING FOR THE PROJECT IS PROHIBITED BETWEEN JUNE 1 AND JULY 30 OF ANY CALENDAR YEAR. JURISDICTIONARY PERMIT NECESSARY.
 2. DETERMINATION TO AVOID INCIDENTAL TAKE OF EASTERN TIGER SALAMANDER CLEARING, GRADING, OR GROUND DISTURBANCE IS PROHIBITED WITHIN 535 FEET OF EASTERN TIGER SALAMANDER BREEDING POND BUFFER SHOWN ON SHEETS SP-1 AND SP-2.

SITE AREAS & VOLUMES OF EARTHWORK
 THE COMPOUND AND PARKING AREA WILL IMPORT APPROXIMATELY 40 CUBIC YARDS OF CLEAN BROKEN STONE. THE UTILITY TRENCH FROM THE DEMARC TO THE COMPOUND WILL EXCAVATE APPROXIMATELY 720 CUBIC YARDS OF MATERIAL THAT WILL BE USED TO BACKFILL THE TRENCH.
 COMPOUND AREA SLOPES:
 EXISTING - 0%-1%
 PROPOSED - 0%-1%

TOTAL AREA OF DISTURBANCE = 9,500± SF (0.22 AC.)
 STORMWATER VELOCITY:
 PRIOR TO GROUND COVER < 3.0 FT/SEC
 FOLLOWING GROUND COVER < 3.0 FT/SEC
 STORMWATER VOLUME:
 PROPOSED IMPERVIOUS AREA = 2,010 SF
 WATER QUALITY STD VOLUME (V) = 168 CF
 STORAGE VOLUME (6" DEPTH, 40% Voids) = 330 CF
 GROUND COVER TO BE ESTABLISHED AS FOLLOWS (U.O.N):
 - WHITE CLOVER @ 0.20#/- SF
 - TALL FESCUE @ 0.45#/- SF
 - RYEGRASS @ 0.10#/- SF

| NO. | DATE | REVISION |
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| 0 | 06/10/20 | FOR REVIEW: RCB |
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| 3 | 11/25/24 | ENV. COMMENTS: RCB |
| 4 | 12/03/24 | ENV. COMMENTS: RCB |
| 5 | 05/14/25 | COUNTY COMMENTS: RCB |
| 6 | 04/01/26 | CLIENT REVISIONS: RCB |

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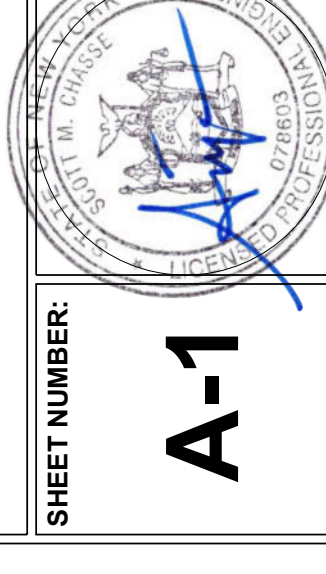
DESIGN PROFESSIONALS OF RECORD
PROF. SCOTT M. CHASSE P.E.
COMP. APT ENGINEERING
ADD: 567 VAUXHALL STREET
EXTENSION - SUITE 314
WATERFORD, CT 06385
OWNER: SUFFOLK COUNTY
100 WILSON MEMORIAL PKWY
ADDRESS: HAUPPAUGE, NY 11788

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"SEWER DISTRICT #20"
SITE: 2185 WILLIAM FLOYD PARKWAY
ADDRESS: RIDGE, NY
APT FILING NUMBER: NY141NB1610
VZ FUZE ID: 15083989
LOCATION CODE:
VZ CM: 02
DRAWN BY: GSHELZ
DATE: 06/10/20
CHECKED BY: RCB

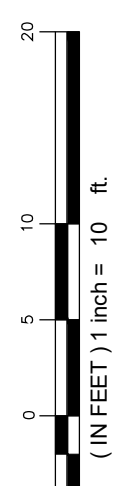
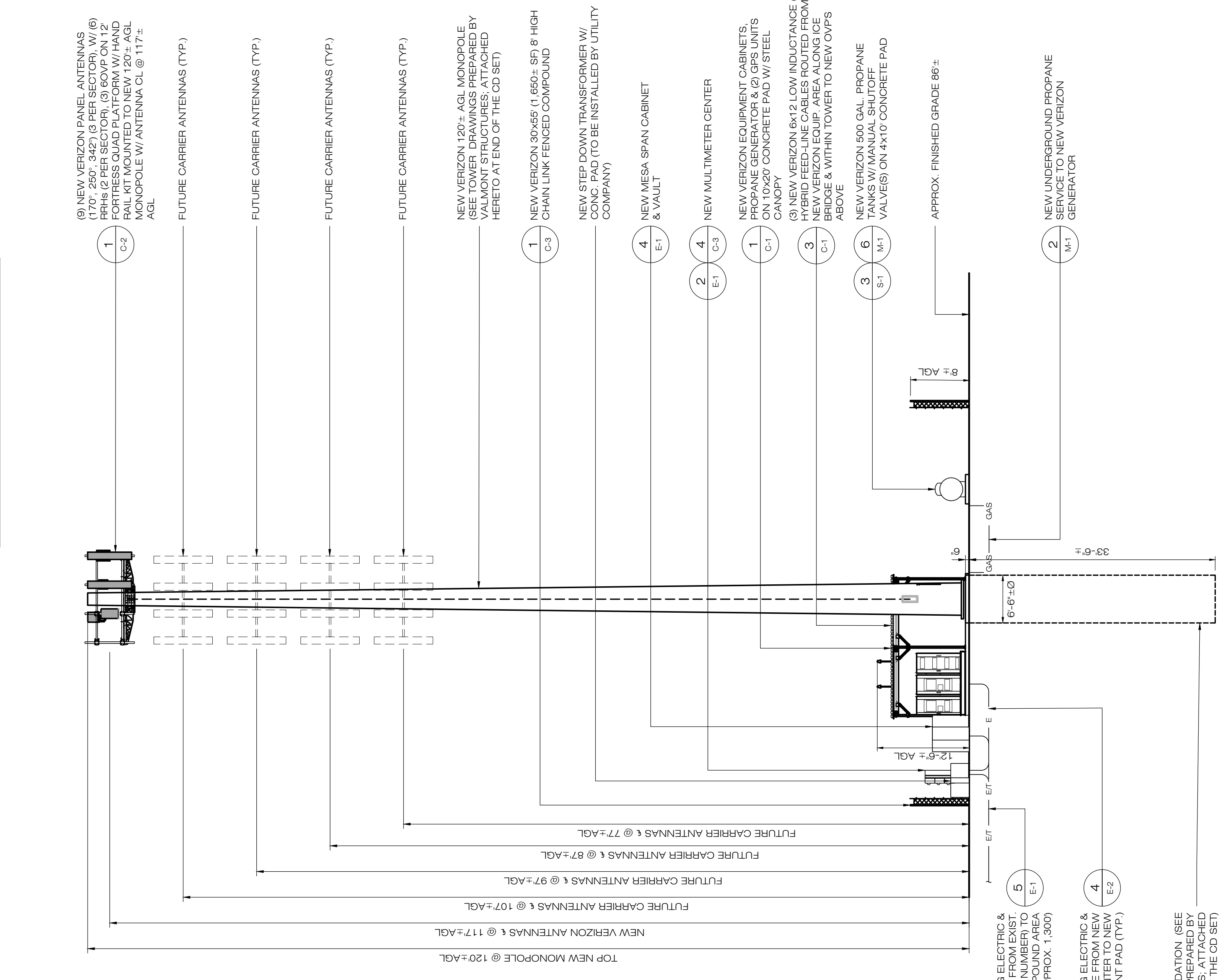
SHEET TITLE:

COMPOUND PLAN & TOWER ELEVATION

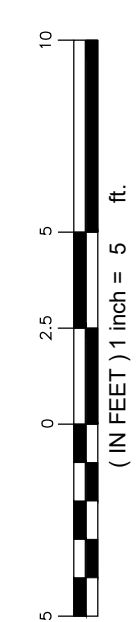
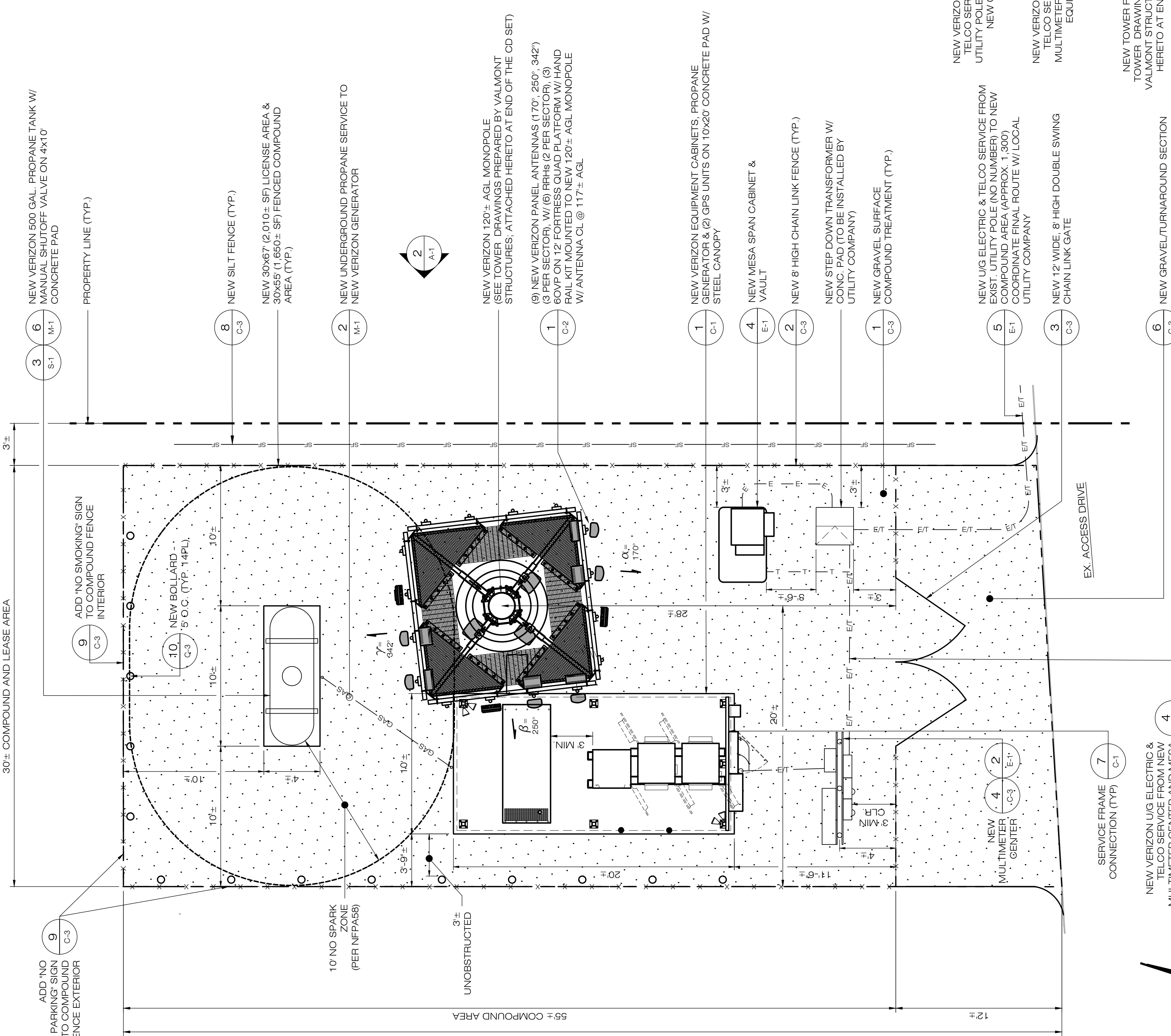


SHEET NUMBER:
A-1

MOUNT ANALYSIS NOTE:
REFER TO NEW ANTENNA MOUNT ANALYSIS REPORT AND TOWER FOUNDATION REPORT FOR MOUNT ANALYSIS. ENGINEERING DEPT. PROJECT # 100893. DATED 03/31/26 AVAILABLE UNDER SEPARATE COVER.



2 EAST ELEVATION
A-1 SCALE: 1" = 10'-0"



1 COMPOUND PLAN
A-1 SCALE: 1" = 5'-0"

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| CONSTRUCTION DOCUMENTS | |
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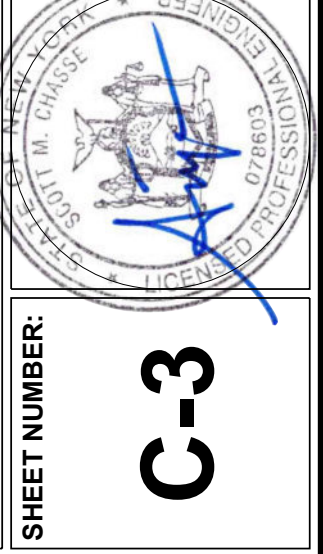
DESIGN PROFESSIONALS OF RECORD
PROF. SCOTT M. CHASSE P.E.
COMP. APT ENGINEERING
ADD: 567 VAUXHALL STREET
EXTENSION - SUITE 311
WATERFORD, CT 06385

OWNER: SUFFOLK COUNTY
100 W. WASHINGTON MEMORIAL PKWY
ADDRESS: HAUPPAUGE, NY 11788

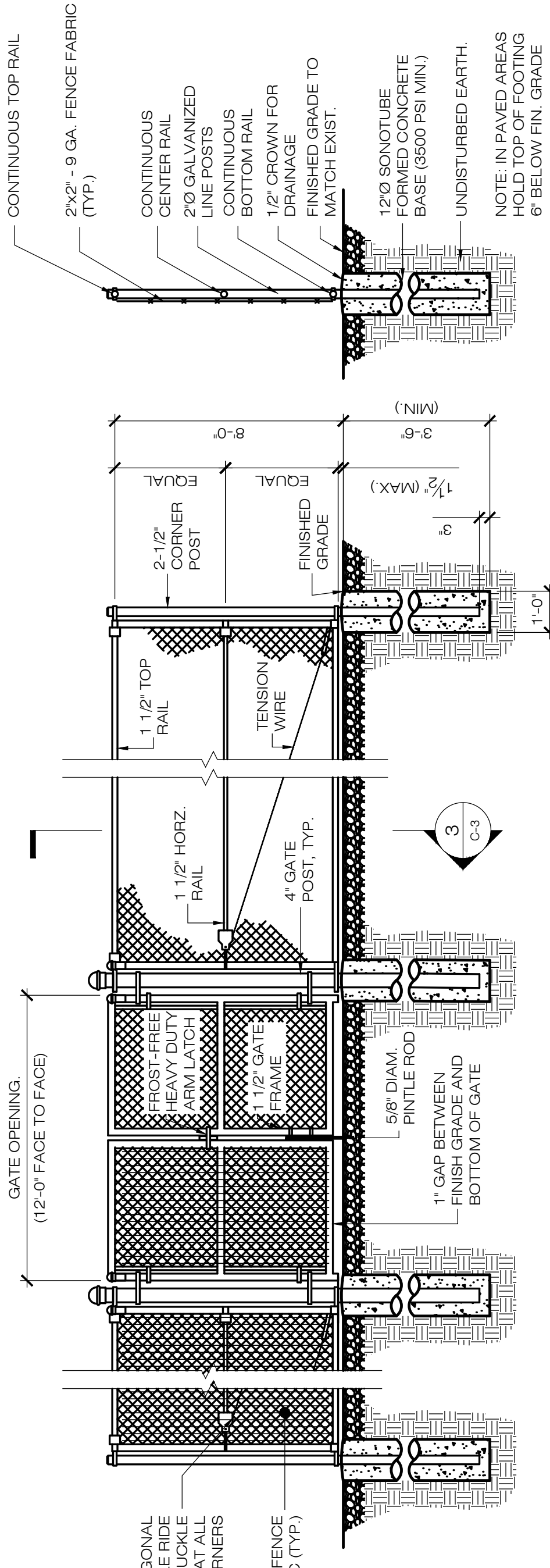
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"SEWER DISTRICT #20"
SITE: 2185 WILLIAM FLOYD PARKWAY
ADDRESS: RIDGE, NY
APT FILING NUMBER: NY141NB1610
VZ FUZE ID: 15803989
LOCATION CODE:
VZ CM: 02
DRAWN BY: GSHELZ
DATE: 06/10/20
CHECKED BY: RCB

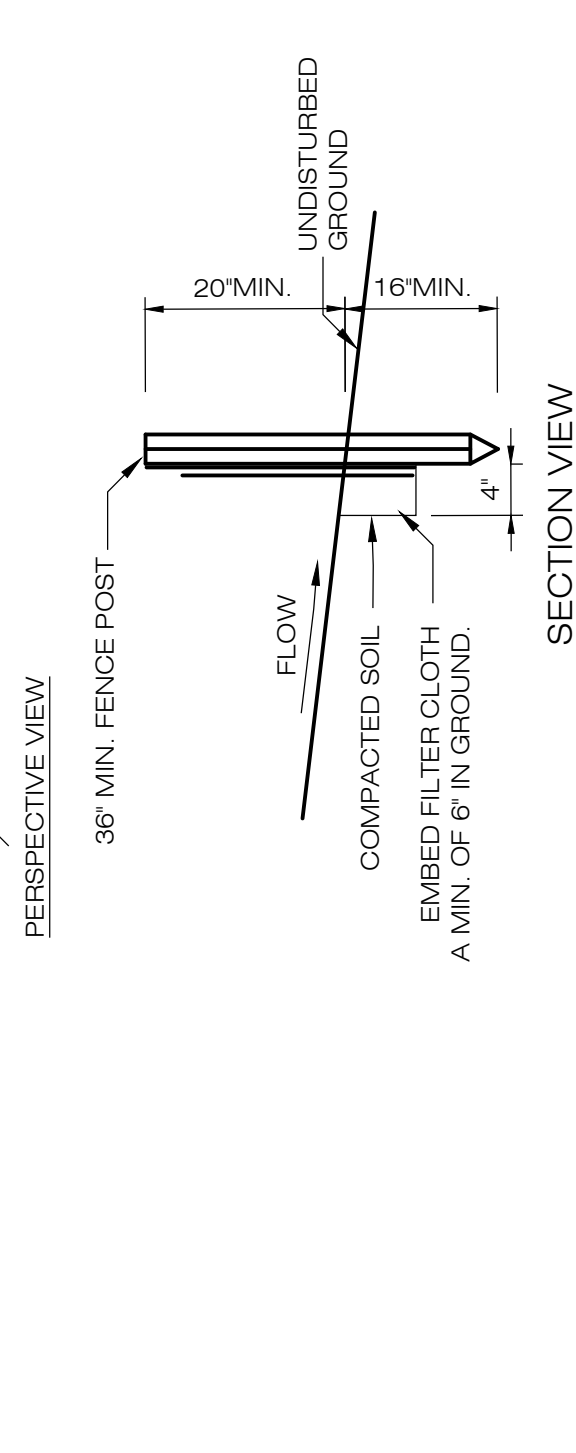
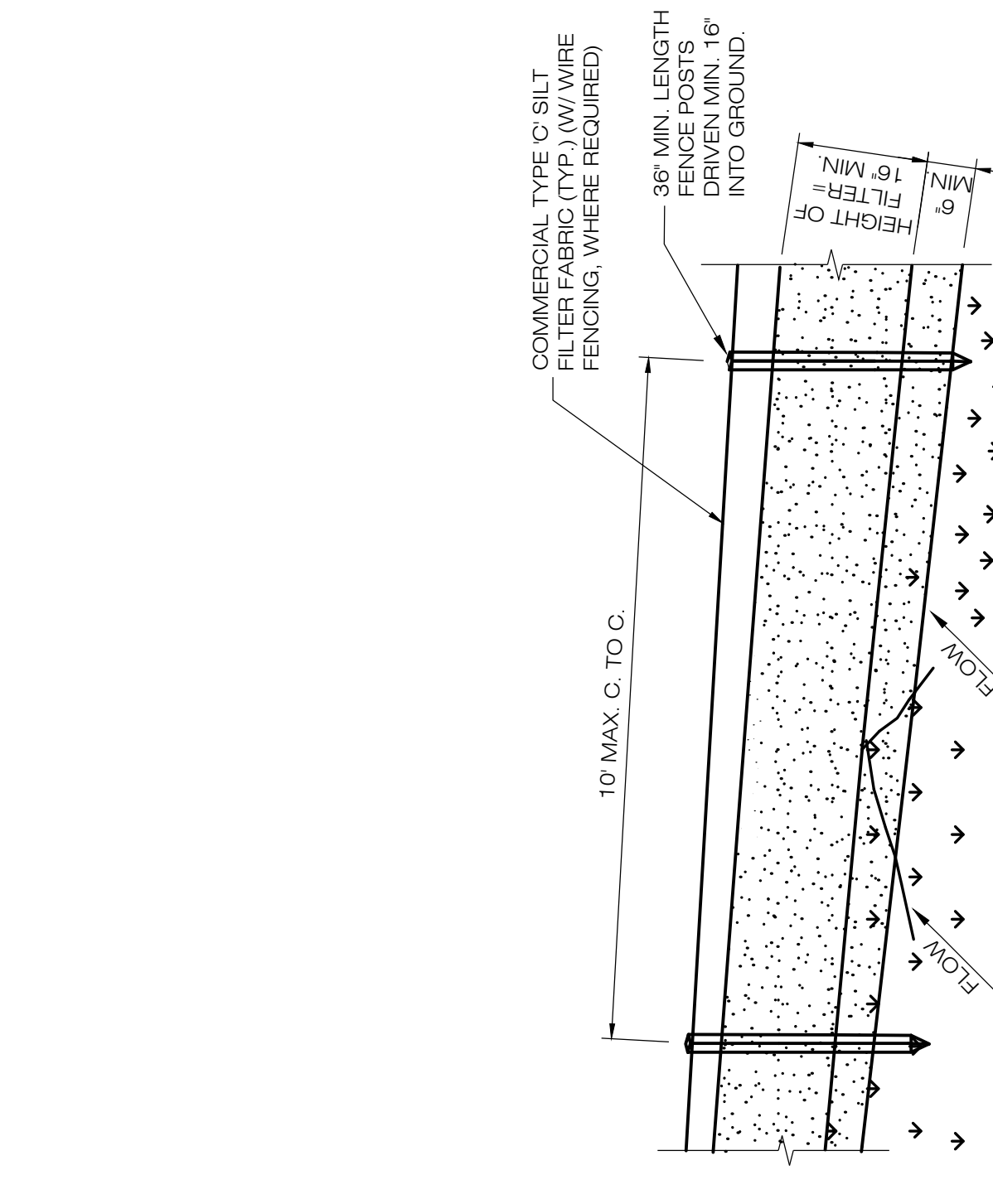
SHEET TITLE:
SITE DETAILS



FENCE NOTES:
1. ATTACH EACH GATE WITH 1-1/2" PAIR OF NON-LIFT-OFF TYPE, MALLEABLE IRON FORGING PIN-TYPE HINGES ASSEMBLIES.
2. SHALL ALLOW FOR 180° OF GATE TRAVEL.
3. FENCE POST SPACING NOT TO EXCEED 8'-0" O.C.
4. ALL POSTS TO BE SCH 40 AND PIPE SIZES SHOWN HEREIN ARE NOMINAL UNLESS OTHERWISE NOTED.

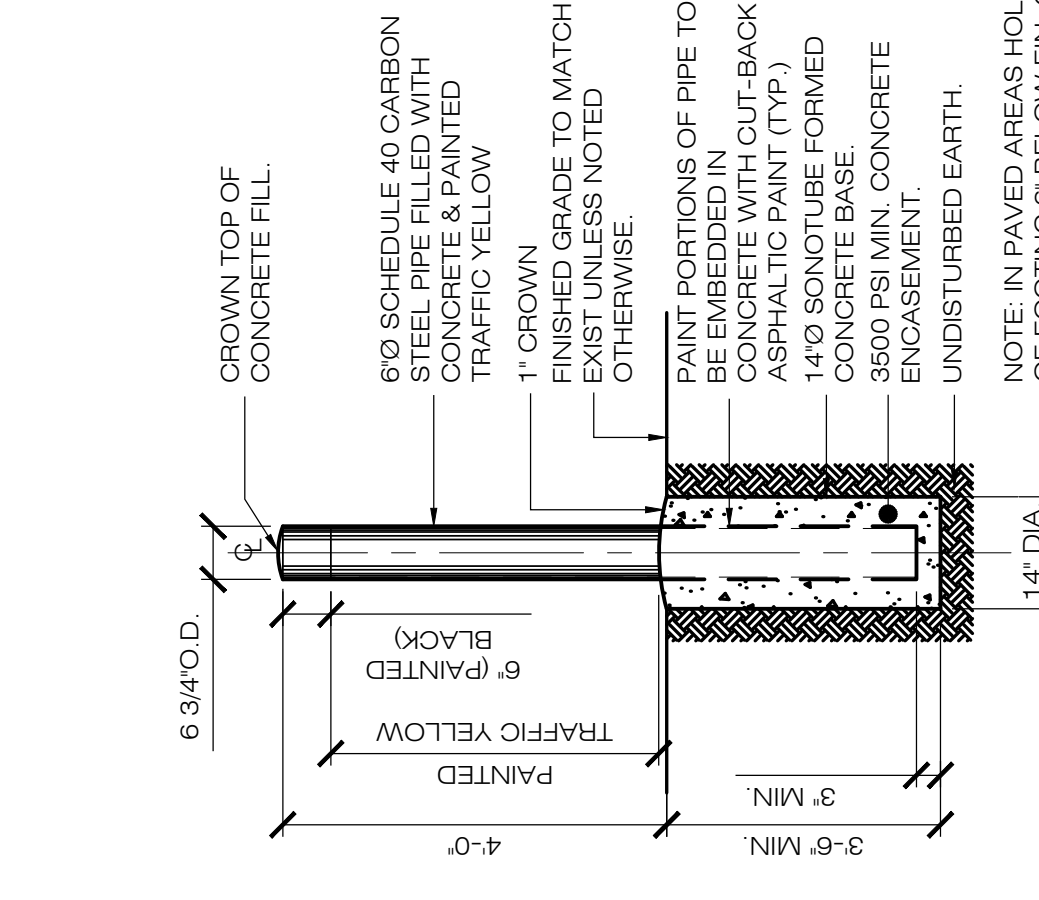
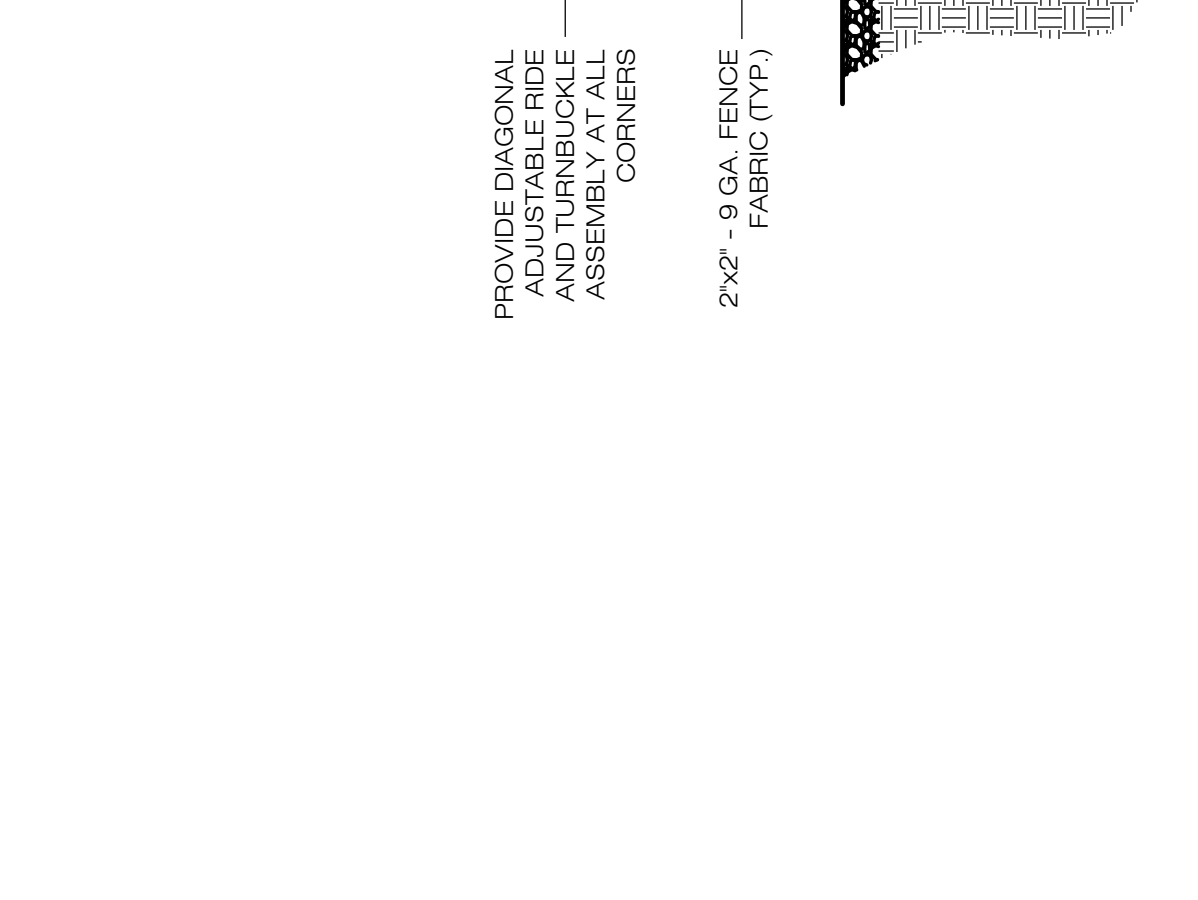


2 CHAIN-LINK FENCING DETAIL
C-3 SCALE: N.T.S.

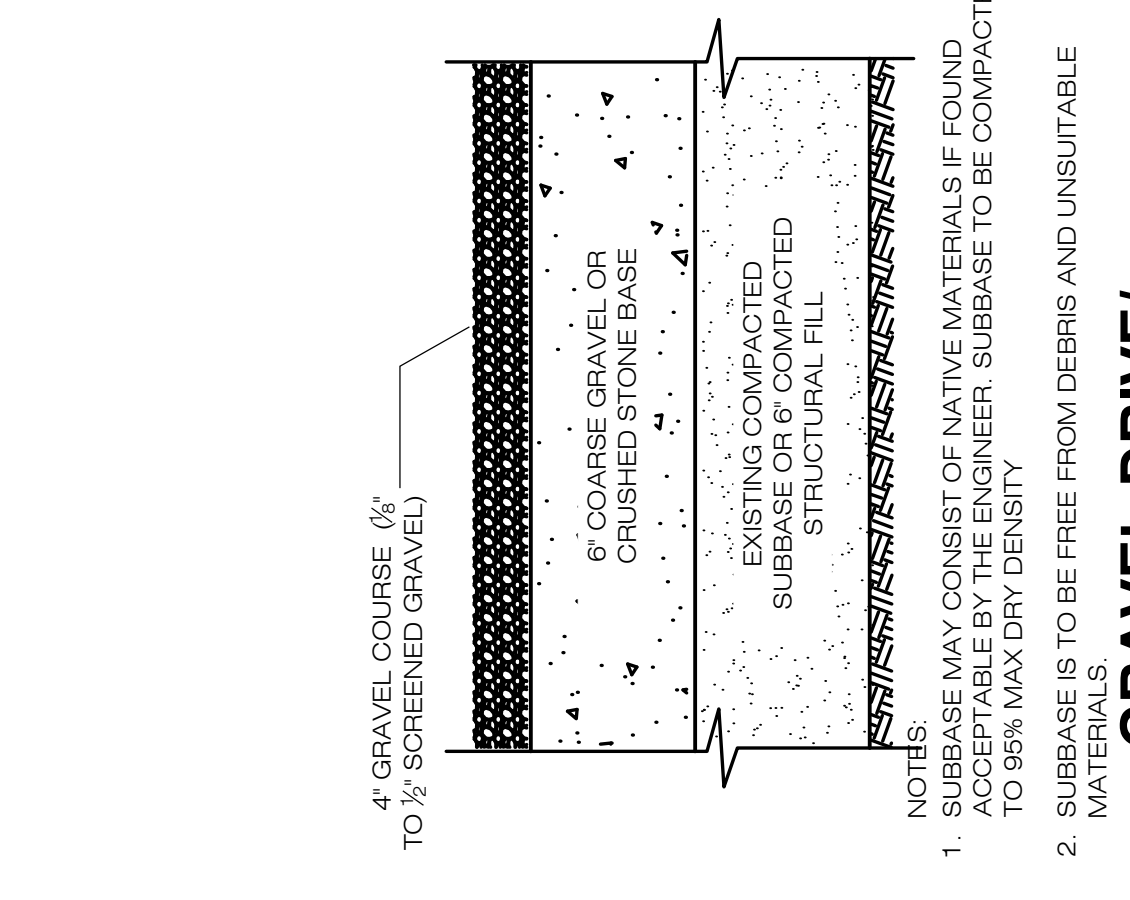


NOTES:
1. ALL EXISTING EXCAVATED MATERIAL THAT IS NOT TO BE REUSED IN THE WORK IS TO BE IMMEDIATELY REMOVED FROM THE SITE AND PROPERLY DISPOSED OF.
2. SOIL AGGREGATE STOCKPILE SITES TO BE WHERE SHOWN ON THE DRAWINGS.
3. RESTORE STOCKPILE SITES TO PRE-EXISTING PROJECT CONDITION AND RESEED AS REQUIRED.
4. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
5. ANY SOIL IN STOCKPILES IN EXCESS OF SEVEN (7) DAYS SHALL BE RESEED AND MULCHED OR COVERED.

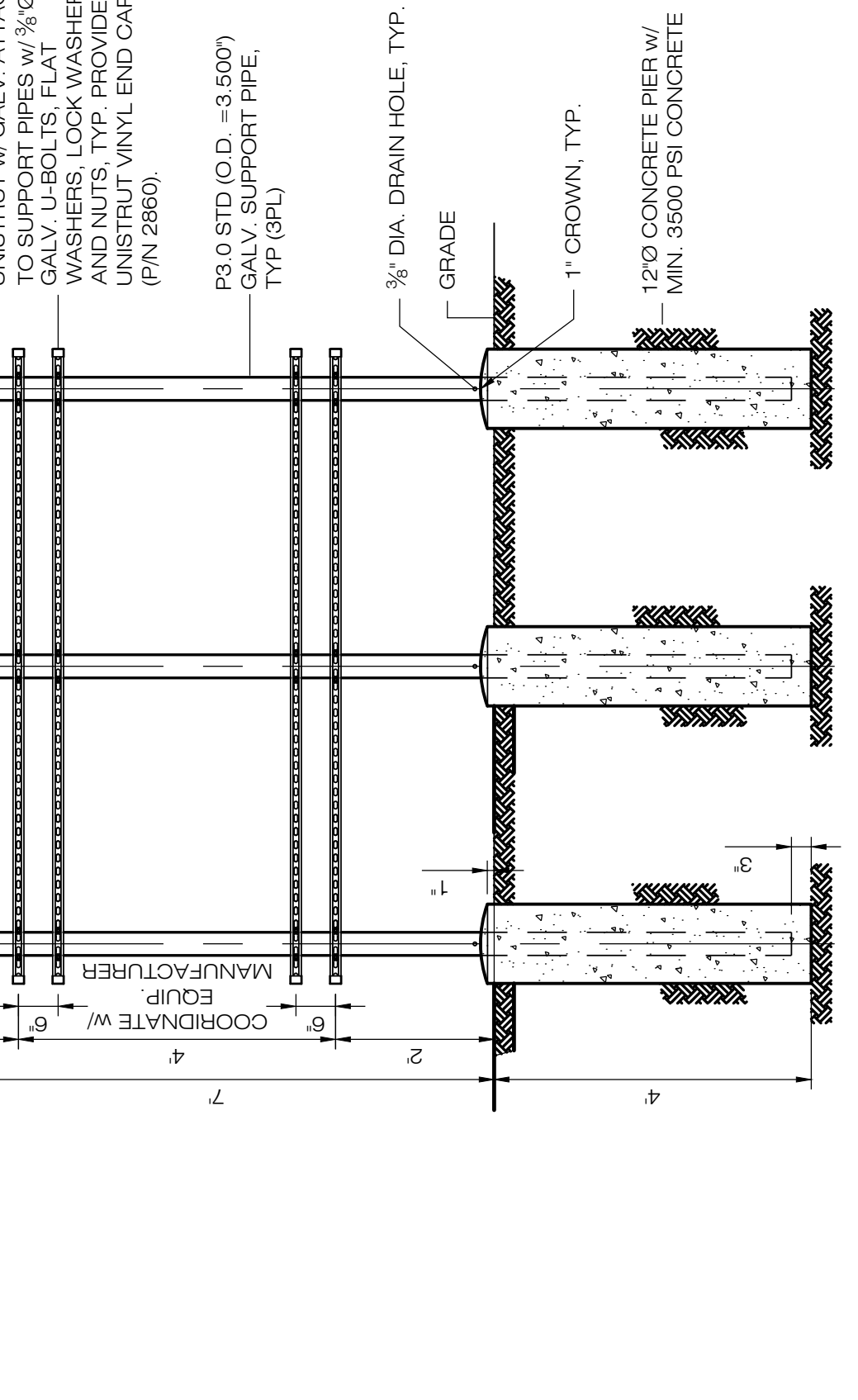
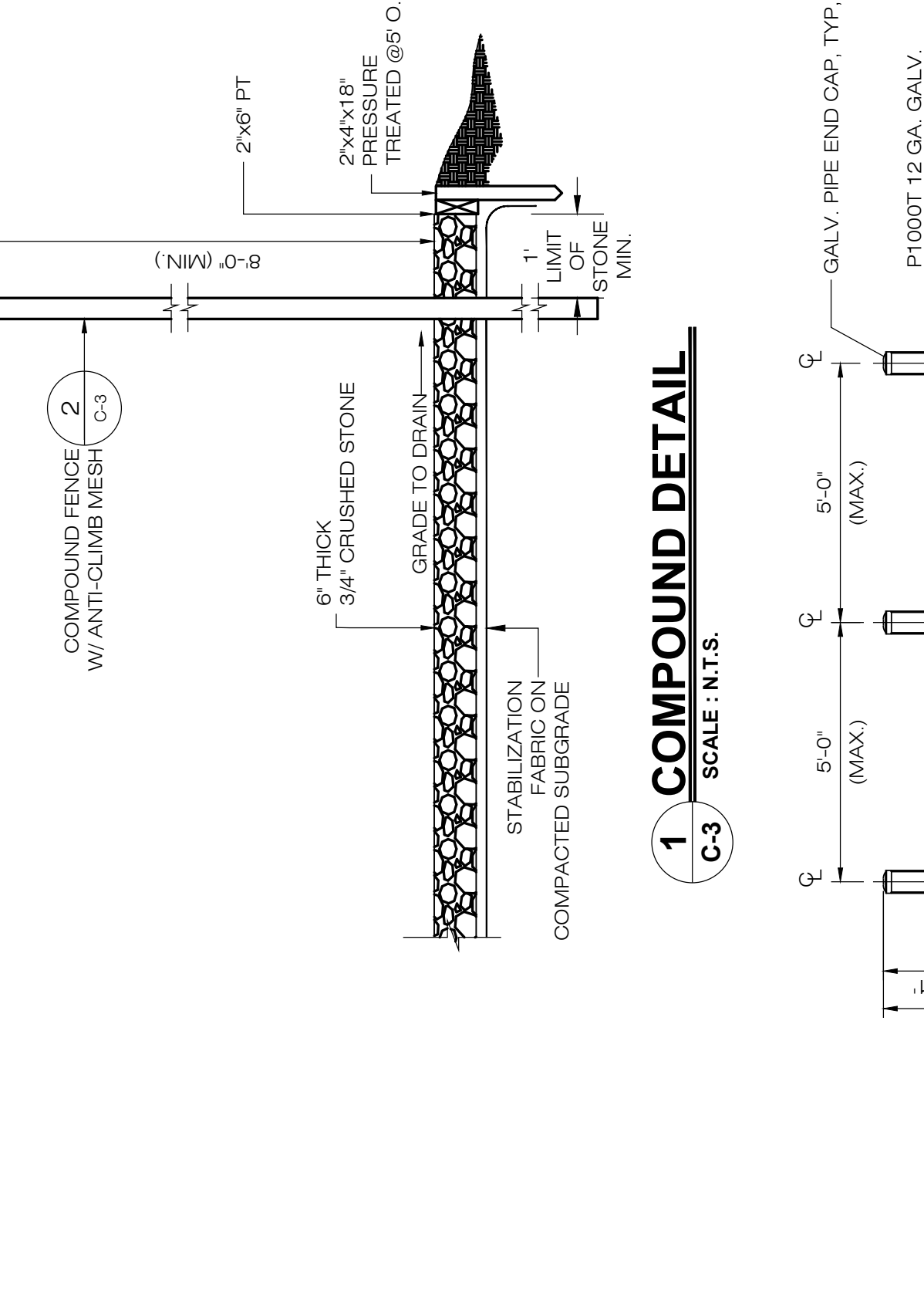
7 TEMPORARY STOCKPILE DETAIL
C-3 SCALE: N.T.S.



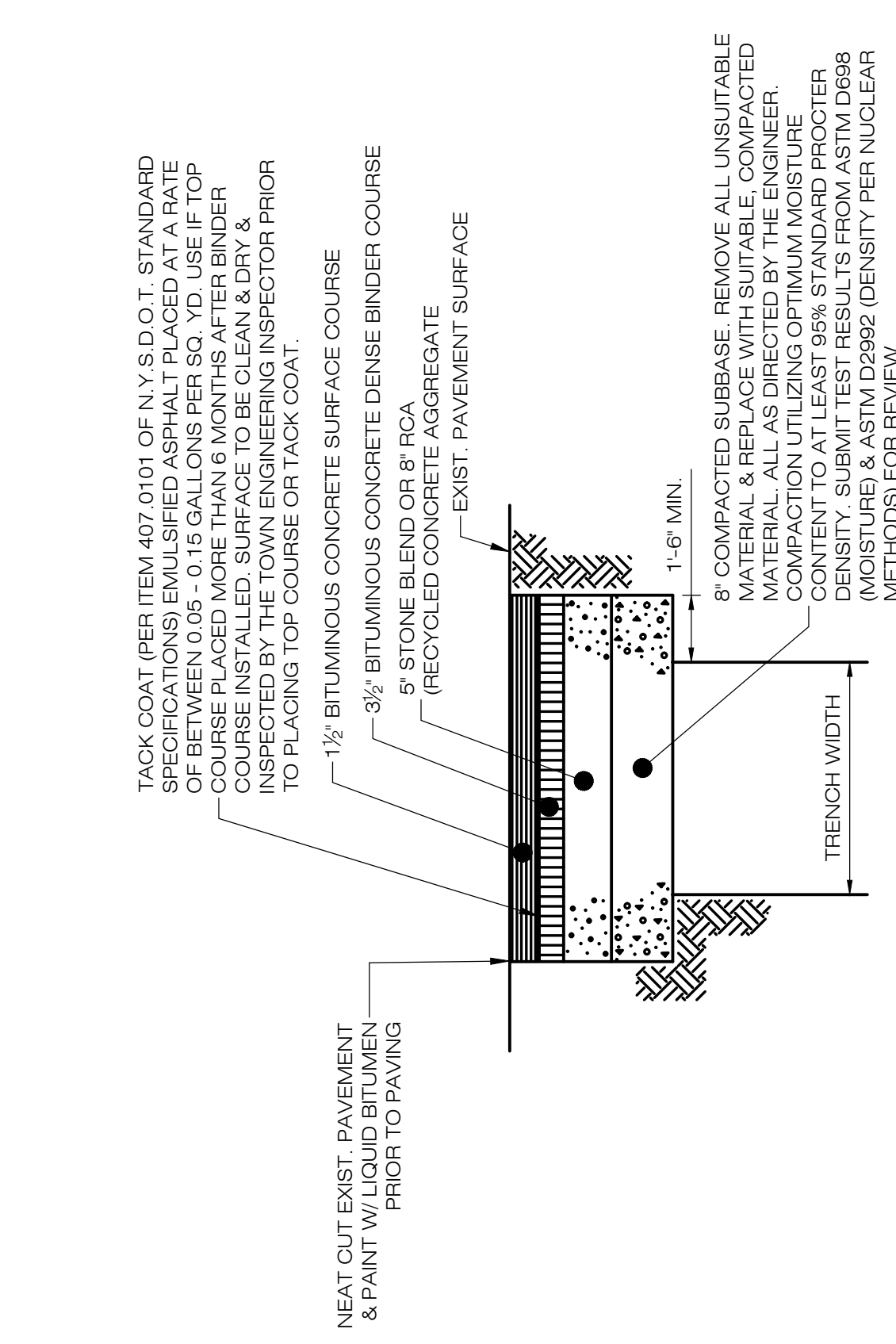
4 UTILITY BACKBOARD FRAME DETAIL
C-3 SCALE: N.T.S.



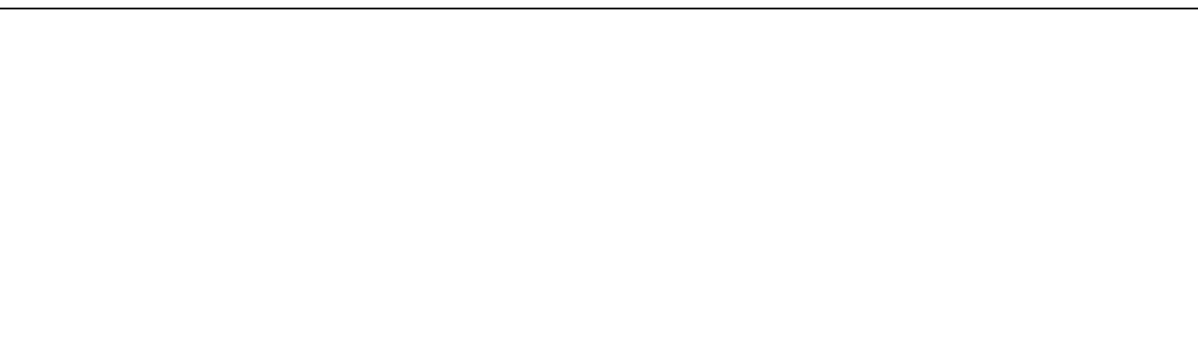
6 GEOTEXTILE SILT FENCE DETAIL
C-3 SCALE: N.T.S.



8 GRAVEL DRIVE/TURNAROUND SECTION
C-3 SCALE: N.T.S.



5 PAVEMENT REPAIR OVER TRENCH
C-3 SCALE: N.T.S.



4 UTILITY BACKBOARD FRAME DETAIL
C-3 SCALE: N.T.S.



8 GRAVEL DRIVE/TURNAROUND SECTION
C-3 SCALE: N.T.S.

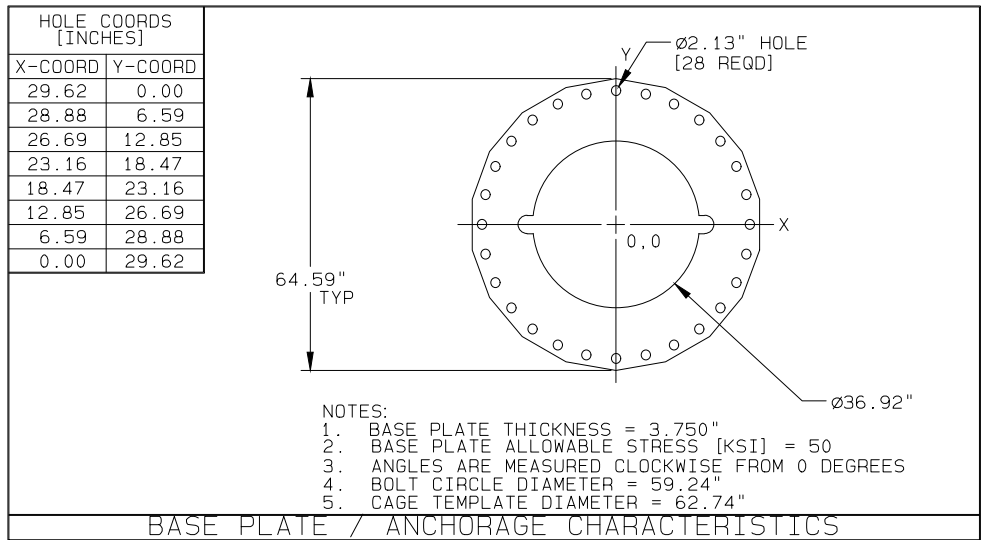
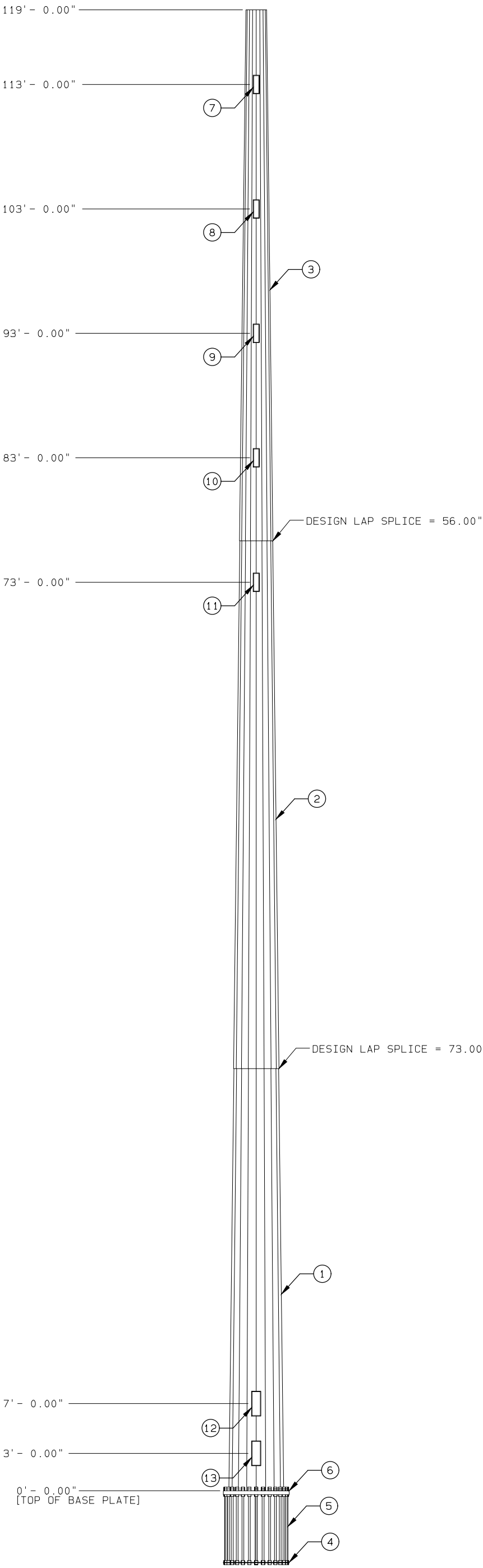


4 UTILITY BACKBOARD FRAME DETAIL
C-3 SCALE: N.T.S.



8 GRAVEL DRIVE/TURNAROUND SECTION
C-3 SCALE: N.T.S.

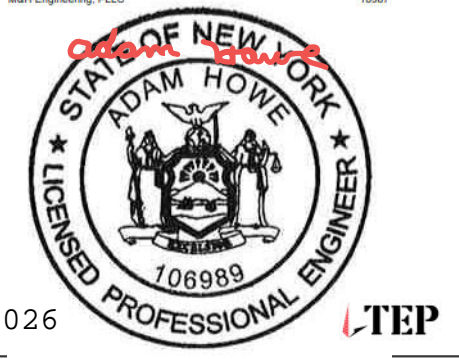
| ITEM ID | NO. REQD | FEATURES | UNIT WEIGHT (LBS) | WEIGHT (LBS) |
|---------|----------|---|-------------------|--------------|
| 1 | 1 | SECTION A VALMONT S-22 0.438" THK (A572 GR65) | 8,784 | 8,784 |
| 2 | 1 | SECTION B VALMONT S-22 0.313" THK (A572 GR65) | 5,813 | 5,813 |
| 3 | 1 | SECTION C VALMONT S-22 0.250" THK (A572 GR65) | 2,960 | 2,960 |
| 4 | 1 | BOTTOM CAGE PLATE | 115 | 115 |
| 5 | 28 | 1.75" ANCHOR BOLT, LENGTH=6.00' A615 GR75 | 68 | 1,894 |
| 6 | 1 | BASE PLATE VALMONT S-56 3.75" THK (A572 GR50) | 2,157 | 2,157 |
| | 1 | TOP CAGE PLATE (REMOVE BEFORE SETTING POLE) | 115 | 115 |
| | 1 | SAFETY CLIMBING CABLE (LENGTH = 109.00') | 88 | 88 |
| | 3 | GROUNDING LUG | 2 | 6 |
| | | GALVANIZING | 360 | 360 |
| | 147 | STEP AND CLIP (VALMONT STANDARD) | 1 | 147 |
| 7 | 3 | HAND HOLE STD (6" x 18") | 18 | 54 |
| 8 | 3 | HAND HOLE STD (6" x 18") | 18 | 54 |
| 9 | 3 | HAND HOLE STD (6" x 18") | 18 | 54 |
| 10 | 3 | HAND HOLE STD (6" x 18") | 18 | 54 |
| 11 | 3 | HAND HOLE STD (6" x 18") | 18 | 54 |
| 12 | 3 | HAND HOLE HVY (9" x 24") | 66 | 198 |
| 13 | 2 | HAND HOLE HVY (9" x 24") | 66 | 132 |
| | 1 | POLE CAP | 22 | 22 |



- NOTES:
- FACTORED BASE REACTIONS
MOMENT = 43,889 IN-KIPS
SHEAR = 41,077 #
VERTICAL = 48,170 #
 - GALVANIZED PER ASTM A-123.
 - DESIGN CRITERIA: TIA-222-I
 - THIS STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING LOADING:
EXPOSURE CATEGORY = C
RISK CATEGORY = II
SITE ELEVATION = 83 FT
ADJUSTED RESPONSE ACCEL. AT SHORT PERIODS, SMS = 0.23
ADJUSTED RESPONSE ACCEL. AT ONE SECOND, SM1 = 0.09
RESPONSE ACCEL. AT ONE SECOND FOR SITE BC, S1 = 0.04
EARTHQUAKE SITE CLASS = D
WIND LOAD CASES ARE BASED ON 3 SECOND GUST AND 700 YEAR MRI
A. CASE 1: WIND = 126 MPH WIND SPEED, DL. FACTOR = 1.2
B. CASE 2: WIND = 126 MPH WIND SPEED, DL. FACTOR = 0.9
C. CASE 3: WIND = 47 MPH ICE AND WIND SPEED, DL. FACTOR = 1.2
DESIGN ICE THICKNESS = 1.00 IN
D. CASE 4: WIND = 60 MPH WIND SPEED, DL. FACTOR = 1.0
E. CASE 5: SEISMIC
F. CASE 6: SEISMIC
G. CASE 7: ALONG-WIND GUST
H. EQUIPMENT

| DESCRIPTION | ABP MTG (FT) | ABP CENTROID (FT) | WITHOUT ICE EPA (FT**2) | ICE WT (LBS) | WITH ICE EPA (FT**2) | WT (LBS) |
|--------------------------------|--------------|-------------------|-------------------------|--------------|----------------------|----------|
| 1-F4P-12[W] W/ HRK12 | 114.50 | 116.00 | 44.27 | 3143 | 69.29 | 5410 |
| 6-MT6407-77A (W/PM) | 114.50 | 116.00 | 20.44 | 630 | 27.75 | 1176 |
| 3-XXDWM-12.5-65 (W/PM) | 114.50 | 116.00 | 5.11 | 147 | 8.18 | 294 |
| 3-RF4439D-25A | 114.50 | 116.00 | 4.62 | 225 | 5.91 | 339 |
| 3-RF4440D-13A | 114.50 | 116.00 | 4.44 | 219 | 5.70 | 327 |
| 3-RT4401-48A | 114.50 | 116.00 | 2.58 | 240 | 3.57 | 306 |
| 3-RAYCAP RXXDC-3315-PF-48 | 114.50 | 116.00 | 4.67 | 96 | 5.95 | 210 |
| 4-VACANT PIPE MOUNTS ON PLATFO | 114.50 | 116.00 | 3.74 | 104 | 6.38 | 240 |
| 1-RMQP-496-HK FOR FUTURE CARRI | 104.50 | 106.00 | 23.14 | 1945 | 33.23 | 2845 |
| 1-RMQP-496-HK FOR FUTURE CARRI | 94.50 | 96.00 | 23.14 | 1945 | 33.23 | 2845 |
| 1-RMQP-496-HK FOR FUTURE CARRI | 84.50 | 86.00 | 23.14 | 1945 | 33.23 | 2845 |
| 1-RMQP-496-HK FOR FUTURE CARRI | 74.50 | 76.00 | 23.14 | 1945 | 33.23 | 2845 |
| 1-1/2" X 4' LIGHTNING ROD | 119.00 | 121.00 | 0.20 | 14 | 0.95 | 24 |
| 12-PANEL (8' X 1' X 7") | 104.50 | 106.00 | 94.25 | 1308 | 110.22 | 3624 |
| 12-RRU (24"X18"X12") | 104.50 | 106.00 | 27.00 | 420 | 31.07 | 1332 |
| 3-RAYCAP DC6-48-60-0-8C-EV | 104.50 | 106.00 | 7.14 | 78 | 8.13 | 333 |
| 12-PANEL (8' X 1' X 7") | 94.50 | 96.00 | 94.25 | 1308 | 110.09 | 3600 |
| 12-RRU (24"X18"X12") | 94.50 | 96.00 | 27.00 | 420 | 31.03 | 1320 |
| 3-RAYCAP DC6-48-60-0-8C-EV | 94.50 | 96.00 | 7.14 | 78 | 8.14 | 336 |
| 12-PANEL (8' X 1' X 7") | 84.50 | 86.00 | 94.25 | 1308 | 109.94 | 3576 |
| 12-RRU (24"X18"X12") | 84.50 | 86.00 | 27.00 | 420 | 30.98 | 1308 |
| 3-RAYCAP DC6-48-60-0-8C-EV | 84.50 | 86.00 | 7.14 | 78 | 8.13 | 333 |
| 12-PANEL (8' X 1' X 7") | 74.50 | 76.00 | 94.25 | 1308 | 109.78 | 3540 |
| 12-RRU (24"X18"X12") | 74.50 | 76.00 | 27.00 | 420 | 30.93 | 1296 |
| 3-RAYCAP DC6-48-60-0-8C-EV | 74.50 | 76.00 | 7.14 | 78 | 8.12 | 330 |
| 6-NHH-65B-R2B NHH-65B-R2B (W/P | 114.50 | 116.00 | 34.27 | 582 | 40.82 | 1500 |

- FEEDLINES ARE PLACED INTERIOR TO THE POLE SHAFT (UNLESS NOTED OTHERWISE)
- TOTAL POLE HEIGHT IS 120 FT AGL
- ELEVATIONS ARE MEASURED FROM TOP OF BASE PLATE (APPROX. 1 FT AGL)
- 18 SIDED SHAFT
- DESIGNED NOT TO EXCEED MAXIMUM STRESS RATIO OF 90%
- DESIGN MEETS NSTD447 REQUIREMENTS
- DESIGN COMPLIES WITH 2025 NEW YORK BUILDING CODE
- ALTHOUGH RARE, VIBRATIONS SEVERE ENOUGH TO CAUSE DAMAGE CAN OCCASIONALLY OCCUR IN STRUCTURES OF ALL TYPES. BECAUSE THEY ARE INFLUENCED BY MANY INTERACTING VARIABLES, VIBRATIONS ARE GENERALLY UNPREDICTABLE. THE USER'S MAINTENANCE PROGRAM SHOULD INCLUDE OBSERVATION FOR EXCESSIVE VIBRATION AND EXAMINATION FOR ANY STRUCTURAL DAMAGE OR BOLT LOOSENING. THE VALMONT WARRANTY SPECIFICALLY EXCLUDES FATIGUE FAILURE OR SIMILAR PHENOMENA RESULTING FROM INDUCED VIBRATION, HARMONIC OSCILLATION OR RESONANCE ASSOCIATED WITH MOVEMENT OF AIR CURRENTS AROUND THE PRODUCT.



03-09-2026

| REV ID | DATE | CR | DESCRIPTION |
|--------|-----------|----|----------------------|
| 1 | 2-12-2026 | CR | UPDATED TO TIA-222-I |

| ORDER | PROJECT | FILE ID | SCALE | DATE | ENGR |
|--------|---------|-----------|-------|----------|------|
| 427223 | 427223 | 427223-P4 | NONE | 03/05/26 | ND71 |

DESCRIPTION: VZW 119.0' POLE, SITE: RIDGE 2 - SUFFOLK COUNTY, NY

| SECTION INFORMATION | | | | | |
|---------------------|-------------|---------|--------|--------|-------------|
| ITEM ID | LENGTH | BASE OD | TOP OD | THK | MATL |
| 1 | 40' - 0.00" | 52.80" | 41.40" | 0.438" | A572 65 KSI |
| 2 | 47' - 1.00" | 43.76" | 30.33" | 0.313" | A572 65 KSI |
| 3 | 42' - 8.00" | 32.16" | 20.00" | 0.250" | A572 65 KSI |



Site Location

Proposed Verizon Wireless Communications Facility - Ridge 2
Vicinity of 2195 William Floyd Parkway, Hamlet of Ridge, Town of Brookhaven, Suffolk County



Path: \\vhb.com\gis\proj\Hauptpaue\22460.00 VZW-Amato-Woodmere\Project\VZW Ridge 2.aprx (kroninella, 11/11/2024)

Subject Property (boundaries are approximate)

Proposed Verizon Wireless Communications Facility – Ridge 2
Hamlet of Ridge, Town of Brookhaven, Suffolk County

Suffolk County Full Environmental Assessment Form

Attachment

Page 1. Item A. Project and Sponsor Information

The Proposed Action involves the installation of a 120±-foot above grade level (agl) monopole and associated ground-based equipment compound on the eastern portion of the Suffolk County Sewer District #20 property (the “Subject Property”) located on the west side of William Floyd Parkway (County Road 46), north of Whiskey Road, in the hamlet of Ridge, Town of Brookhaven, Suffolk County, New York 11961. Specifically, the Proposed Action involves the installation of nine (9) antennas and six (6) Remote Radio Head (RRH) units in three sectors (three [3] antennas and two [2] RRH units per sector) on a 12-foot fortress quad platform at a centerline height of 117±-feet agl. Three (3) Main Distribution Boxes (MDB) would be mounted to the new equipment platform within the alpha sector. The monopole would be designed to accommodate the future installation of panel antenna arrays of up to four (4) additional carriers. Additionally, the Proposed Action involves the installation a 1,650±-square-foot (sf) fenced equipment compound within a 2,010± sf Verizon Wireless lease area (collectively, the “Proposed Facility”). The proposed equipment compound would include the installation of equipment cabinets, two (2) proposed GPS units and a 50kW propane emergency back-up generator to be installed atop a 200±-sf concrete pad with steel canopy. One (1) 500-gallon propane tank would be installed atop a 40±-sf concrete pad adjacent to the proposed generator. LED service light fixtures would be installed on the underside of the proposed canopy for safety and security purposes. The proposed lighting fixtures would be downward facing and shielded to prevent off-site light spill. Electric and telecommunications (telco) service would be routed from an existing utility pole located along William Floyd Parkway to the proposed compound area; associated cabling would be routed above-grade via a proposed cable bridge from the equipment compound to the proposed monopole.

Page 16. Item E.2.k. For each identified wetland and waterbody on the Project site.

NYSDEC Freshwater Wetland MD-16 occurs in the vicinity of the Subject Property. Pursuant to the NYSDEC’s September 14, 2023, Letter of No Jurisdiction/No Permit Necessary determination (see attached), the Proposed Action, including associated disturbance, is located more than 100 feet from NYSDEC Freshwater Wetland MD-16. Therefore, the Proposed Action is located beyond the jurisdiction of Article 24 (Freshwater Wetlands Act) and a Freshwater Wetlands Permit is not required.

Page 17. Item E.2.s. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?

According to the New York Natural Heritage Program (NYNHP), records for the endangered species Eastern Tiger Salamander (ETS) and Northern Long-eared Bat (NLEB) exist for the Subject Property vicinity. A summary of the NYSDEC’s project impact determinations for each species is provided below.

ETS

In a No Jurisdiction/No Permit Necessary letter dated September 14, 2023 (see attached), the NYSDEC determined that the Proposed Action would occur greater than 535 feet from two ETS breeding ponds located in the vicinity of the Proposed Facility location and that greater than 50 percent of existing upland habitat within 1,000 feet of the ETS breeding ponds would be maintained. Accordingly, the NYSDEC determined that the Proposed Action would not result in incidental take of ETS and does not require an Incidental Take Permit. As such, no adverse impacts to ETS are expected.

NLEB

Based on the original project plans for the Proposed Action, which included the removal of three trees located adjacent to the existing wastewater facility driveway, the NYSDEC issued a Letter of No Jurisdiction/No Permit Necessary determination in September 2023 (see attached). To avoid incidental take of NLEB, the determination indicated that tree clearing at the Proposed Facility location is prohibited between June 1 and July 31 of any calendar year. However, under the project plans most recently revised on April 1, 2026, tree removal is no longer proposed as part of the Proposed Action. Therefore, no additional coordination with the NYSDEC is required, and no adverse impacts to NLEB are anticipated.

NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION

Division of Environmental Permits, Region 1

SUNY @ Stony Brook, 50 Circle Road, Stony Brook, NY 11790

P: (631) 444-0365 | F: (631) 444-0360

www.dec.ny.gov

Letter of No-Jurisdiction / No Permit Necessary

September 14, 2023

New York SMSA Limited Partnership
Db a Verizon Wireless
4 Centerock Road
West Nyack, NY 10994

**Re: Application # 1-4722-06882/00002
Verizon Monopole Tower
William Floyd Parkway
West side, 1,000' n/o Whiskey Road
Ridge
Leased portion of SCTM # 200-242-1-1.2**

Dear Applicant:

Based on the information your agent submitted for your client's proposal to install a monopole communications tower and associated ground equipment the referenced parcel, as shown on the site plan by APT Engineering last revised 03/03/233, the NYS Department of Environmental Conservation (DEC) has made the following determinations.

The proposed project, including clearing and disturbance, is more than 100 feet from NYS regulated freshwater wetland MD-16. Therefore, the project is beyond the jurisdiction of Article 24 Freshwater Wetlands and no permit is required pursuant to the Freshwater Wetlands Act (Article 24) and its implementing regulations (6 NYCRR Part 663).

The proposed project, including clearing and disturbance, is more than 535 linear feet from an existing tiger salamander breeding pond to the southwest and more than 1,000 feet from the tiger salamander breeding pond to the north. Since there will be no clearing within 535 feet of the breeding pond and more than 50 percent of the upland habitat within 1,000 feet is being maintained, an Incidental Take Permit is not necessary. The term "take" is defined in part as the direct killing or injury of individual members of a protected species, interference with critical breeding, foraging, migratory or other essential behaviors, or the adverse modification of the species' habitat within the meaning of Environmental Conservation Law (ECL) §11-535.

Please be advised that DEC has documented the summer occurrence of the Northern Long Eared Bat (NLEB) (*Myotis septentrionalis*) within 3 miles of the project location. Therefore, to avoid the "take" of an endangered / threatened species and protect pup raising, no clear cutting of trees may occur at the project site between the June 1st and July 31st of each calendar year.



Department of
Environmental
Conservation

Be advised, any additional work occurring beyond the clearing and disturbance, may require DEC authorization. Please contact this office if such activities are contemplated.

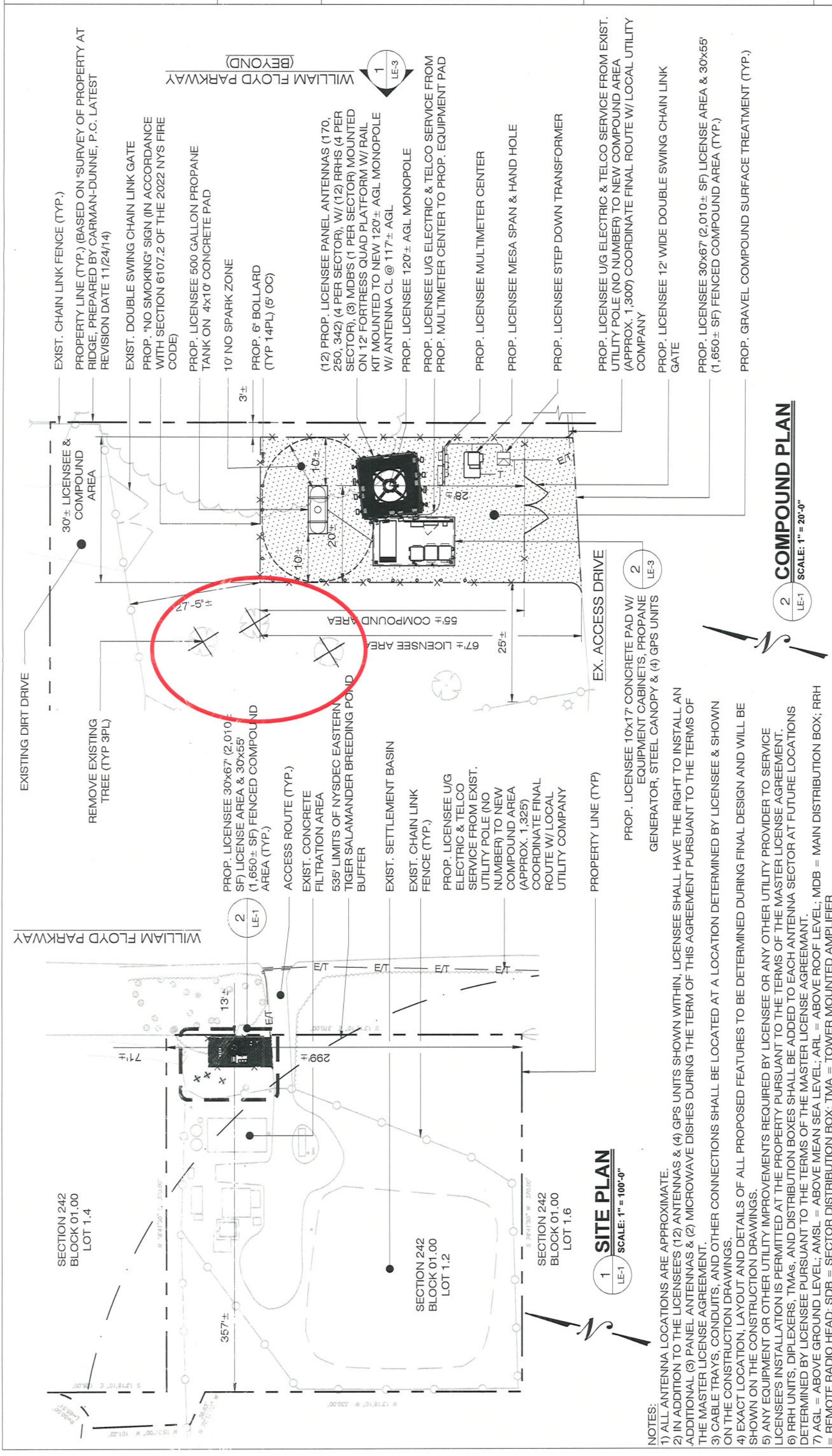
Please note that this letter does not relieve you of the responsibility of obtaining any necessary permits or approvals from local municipalities or other agencies.

Sincerely,

A handwritten signature in cursive script that reads "Sherri L. Aicher". The signature is written in black ink and is positioned above the printed name and title.

Sherri L. Aicher
Regional Permit Administrator

cc: VHB Engineering
BEH
Wildlife
File



PROPERTY INFORMATION:
 SITE NAME: RIDGE 2
 PROJECT CODE: 2011620082
 SITE ADDRESS: 2195 WILLIAM FLOYD PKWY.
 RIDGE, NY 11961

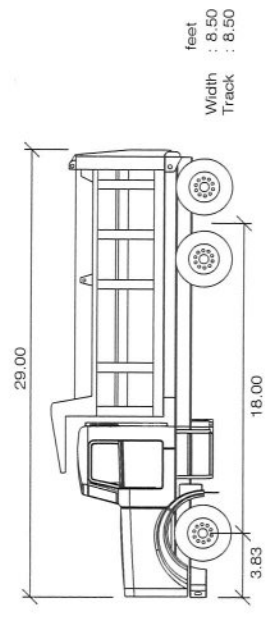
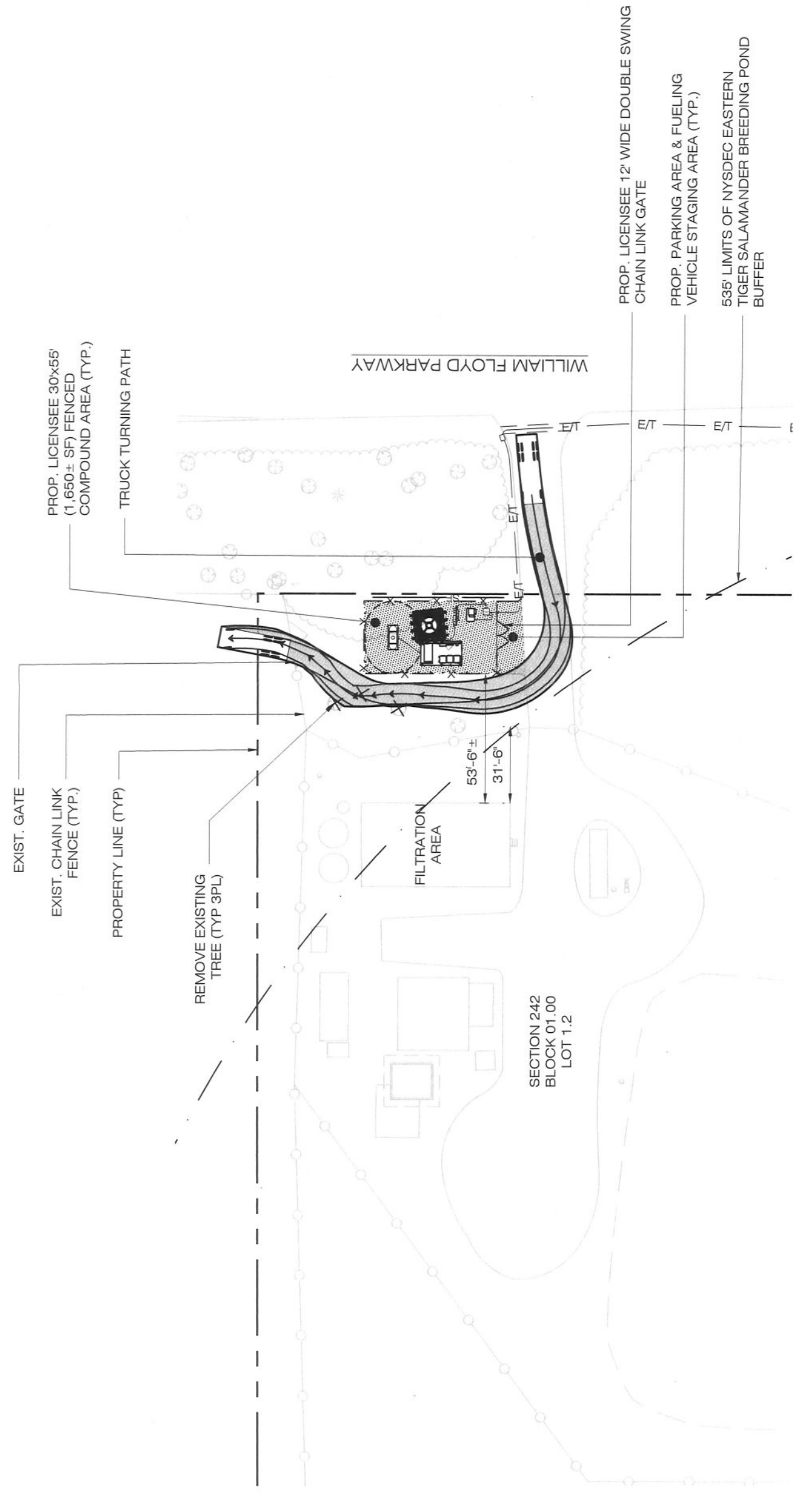
T/OF PROP. PANEL ANTENNA:
 ALPHA 120'-0"± (AGL) or 208'-0"± (AMSL)
 BETA 120'-0"± (AGL) or 208'-0"± (AMSL)
 GAMMA 120'-0"± (AGL) or 208'-0"± (AMSL)

SITE INFORMATION:
 -DISTRICT: 0200
 -SECTION: 242
 -BLOCK: 01.00
 -LOT(S): 1,2,1,4
 -ZONING: WASTE HANDLING/MGMT ZONE
 -LATITUDE: N 40° 54' 58.17" (N 40.916158)
 -LONGITUDE: W 72° 52' 51.08" (W 72.880856)
 -ELEVATION: 86± AMSL

OWNER INFORMATION:
 -OWNER/LANDLORD: SUFFOLK COUNTY
 100 VETERANS MEMORIAL HIGHWAY (P.O. BOX 6100)
 HAUPPAUGE, NY 11788
 -CONTACT: MICHAEL JOHNSON (631-853-8092)

REVISIONS:
 -REV0: 04/10/19: FOR REVIEW: RCB
 -REV1: 07/16/19: COUNTY COMMENTS: RCB
 -REV2: 10/18/19: CLIENT COMMENTS: RCB
 -REV3: 06/30/22: COUNTY COMMENTS: RCB
 -REV4: 09/07/22: COUNTY COMMENTS: RCB
 -REV5: 12/15/22: COUNTY COMMENTS: RCB
 -REV6: 02/22/23: COUNTY COMMENTS: RCB
 -REV7: 03/03/23: CLIENT COMMENTS: RCB

REVISIONS:
 -REV0: 04/10/19: FOR REVIEW: RCB
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 -REV6: 02/22/23: COUNTY COMMENTS: RCB
 -REV7: 03/03/23: CLIENT COMMENTS: RCB



1 TRUCK TURNING PLAN
 LE-2 SCALE: 1" = 50'-0"



SECTION 242
 BLOCK 01.00
 LOT 1.2

(12) PROP. LICENSEE PANEL ANTENNAS (170, 250, 342) (4 PER SECTOR), W/ (12) RRHs (4 PER SECTOR), (3) MDBs (1 PER SECTOR) MOUNTED ON 12' FORTRESS QUAD PLATFORM W/ RAIL KIT MOUNTED TO NEW 120± AGL MONOPOLE W/ ANTENNA CL @ 117± AGL

FUTURE CARRIER ANTENNAS (TYP.)
 FUTURE CARRIER ANTENNAS (TYP.)
 FUTURE CARRIER ANTENNAS (TYP.)

PROP. 6" BOLLARD, 5' O.C. (TYP. 14PL)

PROP. LICENSEE 120± AGL MONOPOLE

PROP. LICENSEE STEP DOWN TRANSFORMER

PROP. LICENSEE MESA SPAN & HAND HOLE
 PROP. LICENSEE MULTIMETER CENTER

PROP. LICENSEE EQUIPMENT CABINETS, PROPANE GENERATOR, STEEL CANOPY & (4) GPS UNITS ON 10'x17' CONCRETE PAD

PROP. LICENSEE 500 GALLON PROPANE TANK ON 4'x10' CONCRETE PAD

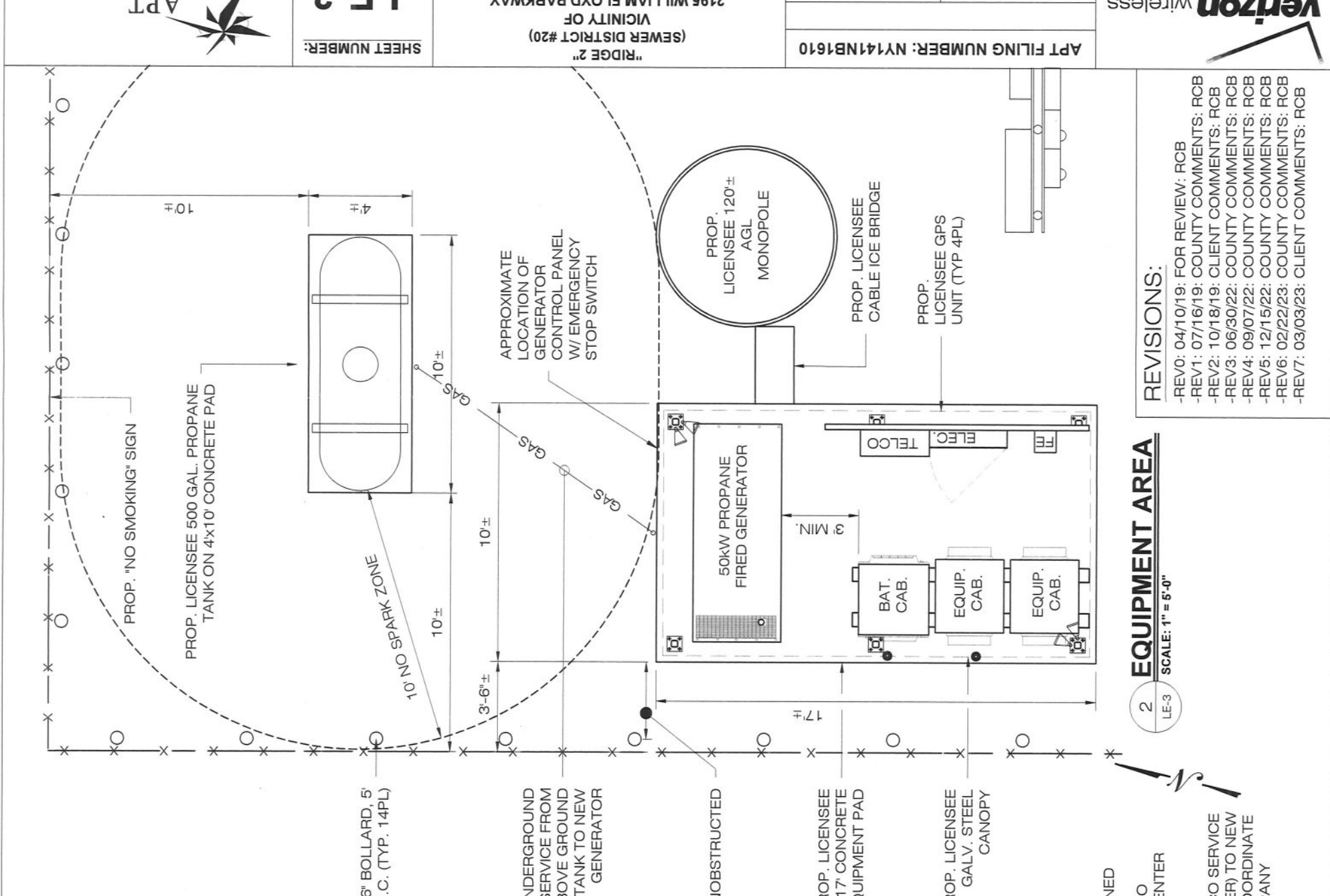
PROP. LICENSEE 30'x67' (2,010± SF) LICENSE AREA & 30'x55' (1,650± SF) FENCED COMPOUND AREA (TYP.)

NEW UNDERGROUND PROPANE GAS SERVICE FROM NEW ABOVE GROUND PROPANE TANK TO NEW GENERATOR

TOWER FOUNDATION TO BE DETERMINED

PROP. LICENSEE U/G ELECTRIC & TELCO SERVICE FROM PROP. MULTIMETER CENTER TO PROP. EQUIPMENT PAD

PROP. LICENSEE U/G ELECTRIC & TELCO SERVICE FROM EXIST. UTILITY POLE (NO NUMBER) TO NEW COMPOUND AREA (APPROX. 1,325) COORDINATE FINAL ROUTE W/ LOCAL UTILITY COMPANY



2 EQUIPMENT AREA
 LE-3 SCALE: 1" = 5'-0"

- REVISIONS:**
- REV0: 04/10/19: FOR REVIEW: RCB
 - REV1: 07/16/19: COUNTY COMMENTS: RCB
 - REV2: 10/18/19: CLIENT COMMENTS: RCB
 - REV3: 06/30/22: COUNTY COMMENTS: RCB
 - REV4: 09/07/22: COUNTY COMMENTS: RCB
 - REV5: 12/15/22: COUNTY COMMENTS: RCB
 - REV6: 02/22/23: COUNTY COMMENTS: RCB
 - REV7: 03/03/23: CLIENT COMMENTS: RCB

1 EAST ELEVATION
 LE-3 SCALE: 1/16" = 1'-0"

